



Town of Hilton Head Island

Design Review Board Meeting

Tuesday, January 28, 2025, 2:30 PM

**1 Town Center Court, Hilton Head Island, SC
Conference Room Four**

The Design Review Board meeting will be held in person at Town Hall in the Conference Room Four.

- 1. Call to Order**
- 2. Adoption of the Agenda**
- 3. Approval of the Minutes**
 - a. Regular Meeting Minutes of January 14, 2025
- 4. Unfinished Business**
 - a. DRB-000079-2025 - 37 New Orleans Road - Michael Anthony's - Final Review
- 5. New Business**
 - a. DRB-000036-2025 - 25 Hospital Center Boulevard - Sign System Review
- 6. Public Comment - Non Agenda Items**
- 7. Board Business**
- 8. Staff Reports**
 - a. Updates to the 2025 Meeting Dates
- 9. Adjournment**

FOIA Compliance: Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Hilton Head Island will not discriminate against qualified

individuals with disabilities on the basis of disability in its services, programs, or activities. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Hilton Head Island ADA Coordinator as soon as possible but no later than 48 hours before the scheduled event.

Municipal Association of South Carolina (MASC) Civility Pledge:

“I pledge to build a stronger and more prosperous community by advocating for civil engagement, respecting others and their viewpoints, and finding solutions for the betterment of my city or town.”



Town of Hilton Head Island DESIGN REVIEW BOARD MEETING Tuesday, January 14, 2025, 2:30 PM Minutes

1. Call to Order

This meeting was called to order at 2:32pm.

2. Adoption of the Agenda

Mr. Parker made a motion to adopt the agenda. Ms. Fitzpatrick seconded. The motion passed unanimously.

3. Approval of the Minutes

a. Regular Meeting Minutes of December 10th, 2024

Ms. Pastor made a motion to approve the meeting minutes of December 10th. Vice Chair Lippert seconded. The motion passed unanimously.

4. Unfinished Business

a. DRB-000008-2025 - 9 Harborside Lane, Shelter Cove Marina - San MIGUELS Bar - Final

Mr. Parker and Mr. Theodore recused themselves and left the dias. Melissa Paul-Leto presented the San MIGUELS Bar application for final approval. The applicant, Tim Probst of PDG Architects, answered questions from the Board. After discussions, Vice Chair Lippert made a motion to approve the application with the following conditions: adhere to staff comments, including those from the fire department; confirm the color and temperature of the LED light strip fixture and submit a cut sheet; confirm that the handrails will be dark bronze; ensure all stucco walls abutting will receive a skim coat; ensure the new stairs will match; and confirm the fan color is bronze. Ms. Fitzpatrick seconded. The motion passed unanimously.

5. New Business

a. DRB-001675-2024 - 1016 William Hilton Parkway - Beaufort Memorial Hospital - Conceptual - Design Packet

Mr. Theodore and Mr. Parker returned to the dias. Chair Carstens recused himself, passed the gavel to Vice Chair Lippert, and left the dias. Ms. Paul-Leto presented the Beaufort Memorial Hospital for conceptual review. Applicant presented, stating that this is both urgent care and an emergency room. The Board questioned the applicants on various aspects of the design including how the design fits in with the architectural style of

Hilton Head Island, noise concerns, location, the equipment screenings, utilities and transformers, etc. The applicant and architect requested guidance on sidewalk plans and how best to connect these walkways to their neighbors. The Board requested they study the location of the bike racks, and the accuracy of the tree survey to the current site plans. The Board also advised to add more textured elements, and reconsidering the architecture clad metals.

Mr. Parker made a motion to approve with the following conditions: the color palette needs to be more natural, and white paint and Charleston Red Brick will most likely not be approved; to introduce roof elements or softening the architecture to be more in keeping with Hilton Head Island style; the lighting will meet all requirements of the Town due to its 24/7 hours of operation; signs will be reviewed under a separate submittal; the utilities will be run to avoid root systems of the oak tree(s); connection to the future sidewalk path on William Hilton Parkway will be provided; the aluminum glass screen will not be approved and will need to be restudied; make the generator screen a part of the building architecture; study the overall architecture to be more in keeping with Island character. Mr. Theodore seconded. The motion passed unanimously.

6. Public Comment - Non Agenda Items

7. Board Business

a. Review and Approval of the 2025 meeting dates

Chair Carstens returned to the dias. Vice Chair Lippert returned the gavel to Chair Carstens. Vice Chair Lippert made a motion to approve the 2025 meeting dates. Ms. Fitzpatrick seconded. The motion passed unanimously.

8. Staff Reports

9. Adjournment

This meeting was adjourned at 3:56 p.m.

The recording of this Meeting can be found on the Town's website at www.hiltonheadislandsc.gov

**Michael Anthony's Restaurant
37 New Orleans Road
Final Submittal
January 28, 2025
DRB-000079-2025**



Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, SC 29928
Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY

Date Received: _____
Accepted by: _____
DRB #: _____
Meeting Date: _____

Applicant/Agent Name: BRENT ROBINSON Company: BRENT ROBINSON ARCHITECT LLC
Mailing Address: 774 BOYD CREEK DR City: RIDGELAND State: SC Zip: 29936
Telephone: 843-368-9411 Fax: _____ E-mail: BRENT@BRENTROBINSONARCHITECT.COM
Project Name: MICHAEL ANTHONYS Project Address: 37 NEW ORLEANS RD
Parcel Number [PIN]: R 5 5 2 0 1 5 0 0 C 0 1 0 4 0 0 0 0
Zoning District: Light Commerical Overlay District(s): Corridor Overlay

**CORRIDOR REVIEW, MAJOR
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

☐ Concept Approval – Proposed Development

☒ Final Approval – Proposed Development

☒ Alteration/Addition

☐ Sign

Submittal Requirements for ***All*** projects:

☒ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

☒ Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

☐ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

☐ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.

☐ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.

☐ Context photographs of neighboring uses and architectural styles.

☐ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.

☐ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- ☒ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- ☐ Final site development plan meeting the requirements of Appendix D: D-6.F.
- ☒ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- ☒ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- ☐ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- ☐ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- ☐ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- ☐ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- ☐ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- ☐ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- ☐ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- ☐ Proposed landscaping plan.

For wall signs:

- ☐ Photograph or drawing of the building depicting the proposed location of the sign.
- ☐ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. ☐ YES ☒ NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Brent A. Robinson
SIGNATURE

01-14-25
DATE



Brent Robinson Architect, LLC
774 Boyd Creek Dr
Ridgeland, SC 29936

P 843-252-0833
E brent@brentrobinsonarchitect.com

SUPPLEMENTAL DOCUMENTS

Issued APRIL 30th, 2024

Client Information:

Michael Anthony's Cucina Italiana
37 New Orleans Rd
Hilton Head Island, SC 29928

Project Narrative

The Architect has completed as-built drawings needed for construction documentation and a proposed new layout based on the Owner provided program with necessary modifications as required to meet current codes. The work consists of the following:

- Complete an Asbuilt for the existing spaces occupied by Michael Anthony's and portions of the exterior of the adjacent spaces as needed.
- Explore enclosing approximately 440 sq ft of the existing service area to accommodate an internal connection between the two kitchens, to be used as receiving/storage and access to a new outside freezer on the existing porch.
- The existing stairs to second floor shall be relocated to the rear and a new path around the building shall be provided for fire egress. Relocation of the stairs will allow a more open front façade and inviting entrance into the restaurant.
- We will maintain crossover access to second floor offices/demo kitchen and provide some much needed cover for entry into the sides of the restaurant. This will also create more of a storefront in the existing alleyway.
- Repair or replace siding & trim as needed
- MEP Engineering to address temperature and humidity issues in the existing kitchen.
- Design parapet wall on proposed connector to hide roof top mechanical units. Relocate existing equipment & utilities as needed to accommodate to new construction.
- Preserve existing live oak in the rear and work around its trunk and root system during the design process.
- The proposed addition is to be used for storage and receiving only. It will not affect personnel or patron counts and should not affect parking counts or landscaping. The intent is to stay within the confines of the existing building footprint with the exception of the stair relocation to the back.

Orleans Plaza, L.L.C.

*37 New Orleans Road
P.O. Box 7511
Hilton Head, S.C. 29938*

Paul D. Menzel, Managing Member

Town of Hilton Head
One Town Center
Hilton Head, SC 29928

November 13, 2024

To Whom It May Concern,

I am writing this letter to provide as acknowledgement and authorization for the Afra Group, Inc., dba Michael Anthony's Cucina Italiana and Michael Anthony's Café to renovate their locations in accordance with the plans created by Brent Robinson, architect. Further that the AFRA Group, Inc., as key tenant of the plaza, has always had, and will continue to have, the parking required for normal business operations.

If you are in need of further information please feel free to call or e-mail me.

Paul

Paul D. Menzel
Managing Member
Orleans Plaza, L.L.C.
(843) 683-7285
orleansplaza@aol.com

**Michael Anthony's Restaurant
37 New Orleans Road
Comment Response Letter
based on the May 14, 2024
Conceptual Submittal
January 28, 2025
DRB-000079-2025**



Brent Robinson Architect, LLC
774 Boyd Creek Dr
Ridgeland, SC 29936
P 843-252-0833
E brent@brentrobinsonarchitect.com

Town of HHI DRB – Comment Response Letter

Issued Jan 14th, 2025

Client Information:

Michael Anthony's Italian Cuchina
37 New Orleans Rd
Hilton Head Island, SC 29928

DRB-000699-2024

To Whom it may concern,

We have addressed the comments from our Conceptual DRB review (dated 5/14/2024) as follows:

1. Physical Material and Color Board on a 11"x 17" **See provided.**
2. Landscape Plan around where staircase was removed and existing small landscape bed. **See Landscape plan**
3. Lighting details and specifications.
4. Connections and prominent building architectural details, as needed. **See Arch drawings**
5. Final floor plans and elevation drawings. **See Arch drawings**
6. Plantings being addressed between the two stairs. **See Landscape plan**
7. Colors and materials match existing. **Will comply**
8. Color of roof be submitted. **See color board**
9. Details of back stairs, handrails, the patio area be submitted. **See Arch drawings**
10. The storage room doors refine details, materials, and colors. **See Arch drawings**

We appreciate your time and look forward to the meeting. If there are any questions or additional information needed please let me know.

Thanks,

Brent A Robinson
Brent A Robinson, AIA
Architect

**Michael Anthony's Restaurant
37 New Orleans Road
Existing Photos
January 18, 2025
DRB-000079-2025**



Brent Robinson Architect, LLC
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E brent@brentrobinsonarchitect.com

Photos of Existing Building:





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E brent@brentrobinsonarchitect.com



**Michael Anthony's Restaurant
37 New Orleans Road
Plan Set
January 18, 2025
DRB-000079-2025**



SEAL

SEAL

MICHAEL ANTHONY'S
37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

REVISIONS

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PROJECT NO.

23020

DATE

01/13/2025

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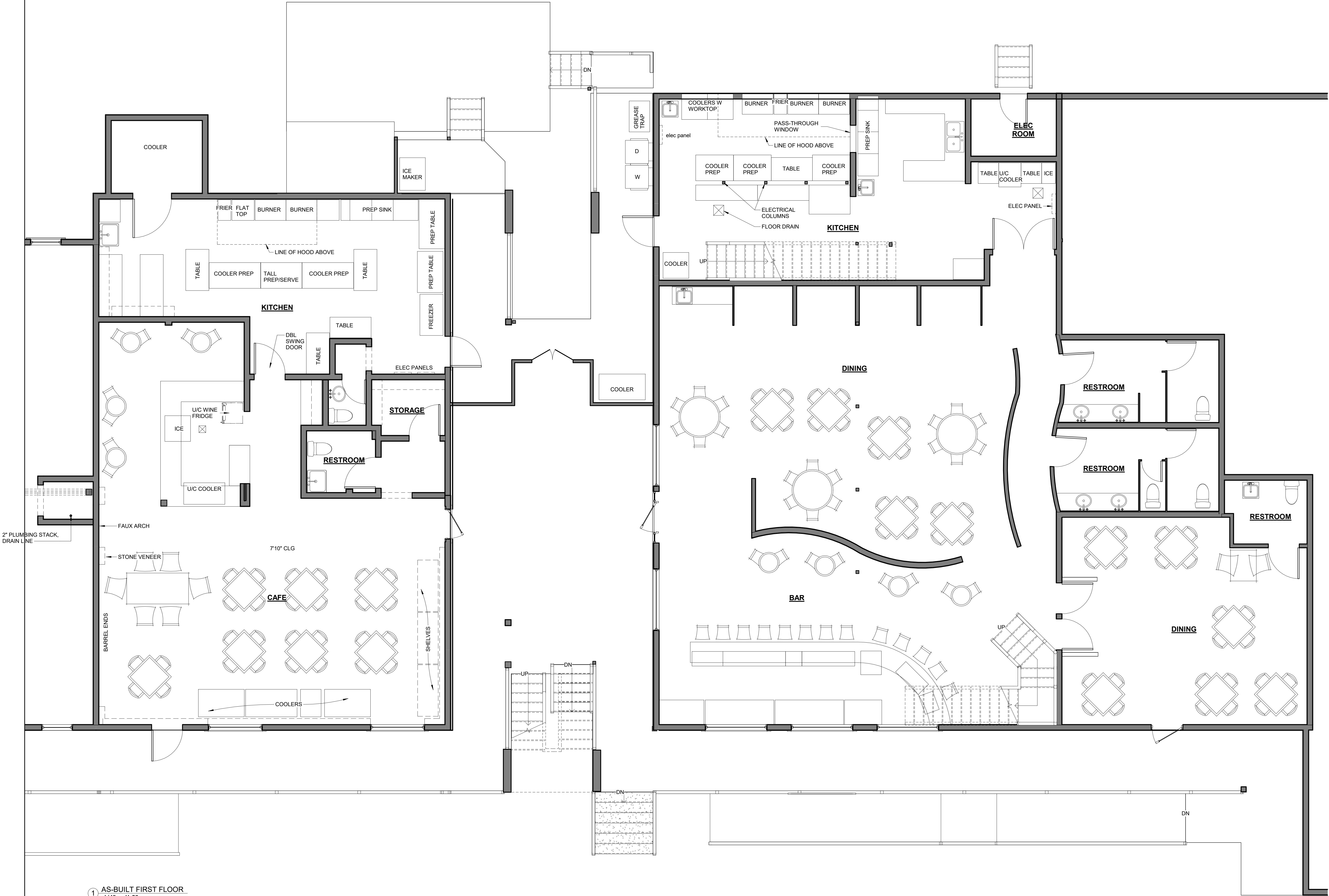
B. ROBINSON

CHECKED BY

SHEET NO.

AB200

AS-BUILT FIRST
FLOOR



1 AS-BUILT FIRST FLOOR
1/4" = 1'-0"



① AS-BUILT SECOND FLOOR
1/4" = 1'-0"



SEAL

SEAL

MICHAEL ANTHONY'S
37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

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23020

DATE

01/13/2025

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AB201

AS-BUILT SECOND
FLOOR



MICHAEL ANTHONY'S

37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

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23020

DATE
01/13/2025

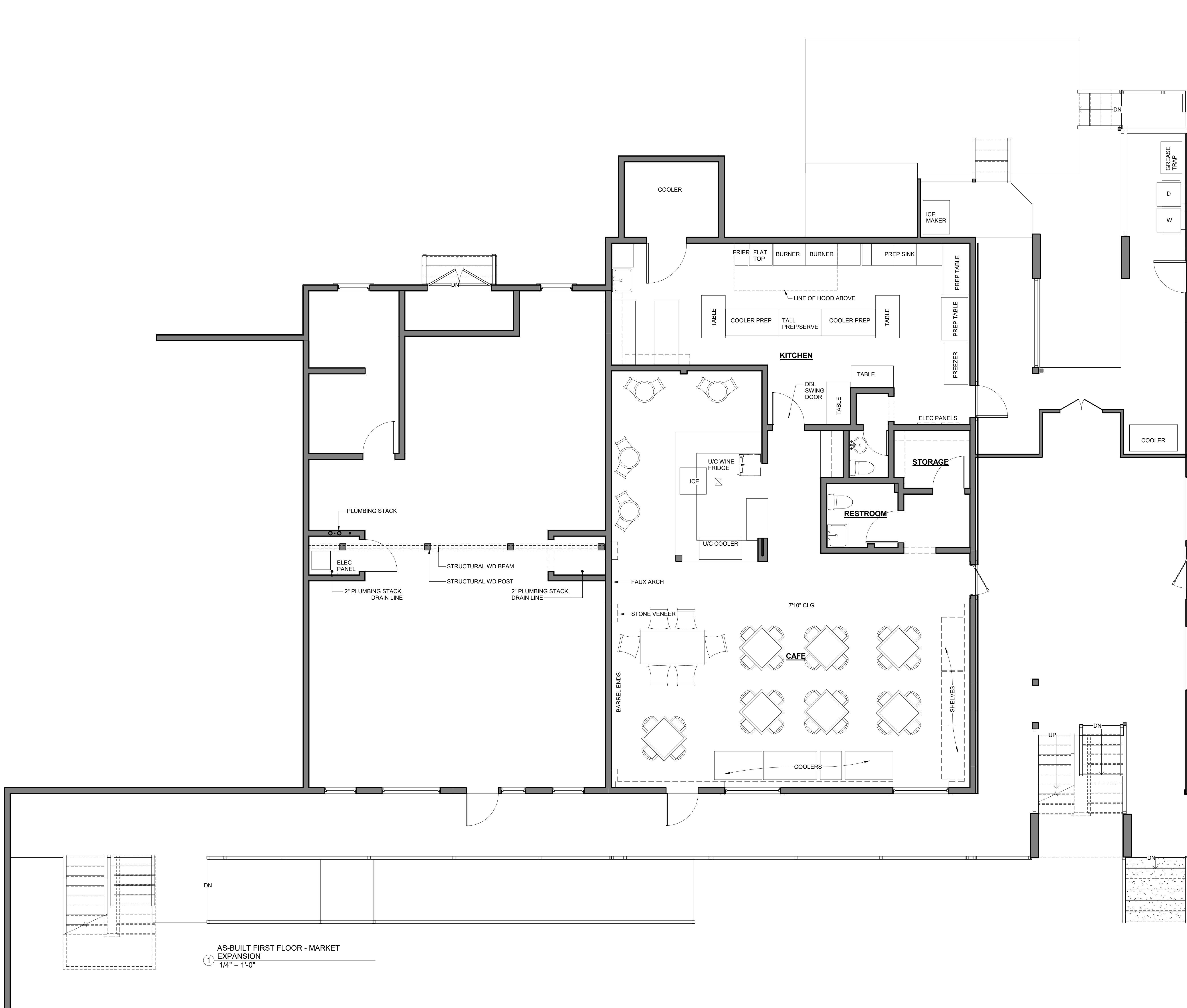
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B. ROBINSON

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SHEET NO.

AB202

MARKET EXP
ASBUILT PLAN



AS-BUILT FIRST FLOOR - MARKET
EXPANSION
1/4" = 1'-0"



① AS-BUILT FRONT ELEVATION
1/4" = 1'-0"



② AS-BUILT REAR ELEVATION
1/4" = 1'-0"



SEAL

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MICHAEL ANTHONY'S
37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

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23020

DATE
01/13/2025

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B. ROBINSON

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SHEET NO.

AB300

AS-BUILT
ELEVATIONS

SEAL

SEAL

MICHAEL ANTHONY'S
37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

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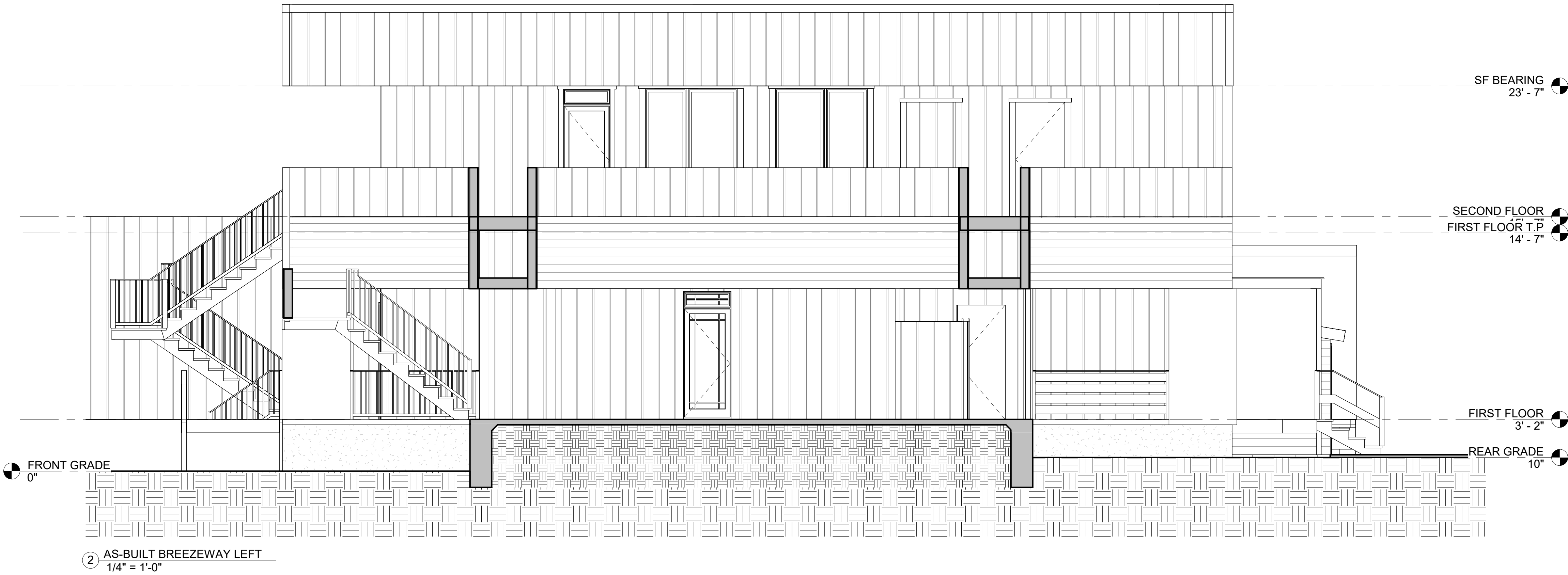
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01/13/2025

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B. ROBINSON
CHECKED BY

SHEET NO.

AB301

AS-BUILT
ELEVATIONS



FINAL DRB 01/13/2025

MICHAEL ANTHONY'S CUCINA ITALIANA

37 NEW ORLEAN'S RD
HILTON HEAD ISLAND, SC 29928

OWNER

ARCHITECT

MICHAEL ANTHONY'S CUCINA ITALIANA

BRENT ROBINSON ARCHITECT, LLC
LIC #: 101629 (Firm), 10046 (Individual)

37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

774 BOYD CREEK DR.
RIDGELAND, SC 29936

CONTACT:
XXX
ph:
email:

CONTACT:
Brent Robinson, AIA, NCARB
ph: (843) 252-0833
email: brent@brentrobinsonarchitect.com



SEAL

SEAL

MICHAEL ANTHONY'S
37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

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PROJECT NO.
23020
DATE
01/13/2025
DRAWN BY
B. ROBINSON
CHECKED BY

SHEET NO.
A000

COVER

GENERAL NOTES

- ARCHITECT IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THESE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE. THE ABOVE NAMED COMP ANY AND ARCHITECT OF RECORD ARE NOT LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES, ALL WORK REQUIRING MEASURING SHALL BE DONE ACCORDING TO FIGURES ON DRAWINGS AND NOT SCALED FROM DRAWINGS. THE ARCHITECT SHALL FURNISH ANY MISSING DIMENSIONS UPON REQUEST.
- ALL WORK SHALL CONFORM TO PREY AILING CODES, ORDINANCES AND REQUIREMENTS, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND INSPECTIONS REQUIRED FOR CONSTRUCTION AND SHALL PAY ALL APPLICABLE FEES. EXISTING CONDITIONS AND ACTUAL FIELD CONDITIONS MAY VARY FROM INDICATIONS ON DRAWINGS. ALL NEW WORK RELATED TO OR AFFECTED BY EXISTING CONDITIONS.
- SHALL BE MODIFIED TO ACHIEVE THE INTENT OF THE DRAWINGS (COORDINATE WITH ARCHITECT AND OWNER). THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES TO THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH DIRECTLY AFFECTED DEMOLITION OR CONSTRUCTION.
- THE CONTRACTOR SHALL SURVEY PROJECT SITE BEFORE BEGINNING ANY WORK TO VERIFY EXISTING CONDITIONS, REPORT ANY DISCREPANCIES TO OWNER AND ARCHITECT BEFORE BEGINNING WORK.
- PRIOR TO ANY NEW WORK, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARCHITECT OF ANY UNFORESEEN EXISTING CONDITIONS IN NEED OF REPAIR OR WHICH MAY CAUSE DAMAGE TO THE NEW WORK. THE CONTRACTOR SHALL NOTIFY AND ALLOW SUFFICIENT TIME FOR THE OWNER AND ARCHITECT TO INSPECT THE CONDITION OF THE EXPOSED WORK PRIOR TO INSTALLING NEW CONSTRUCTION.
- INFORMATION CONTAINED ON THESE DRAWINGS IS PROVIDED FOR THE CONVINIENCE OF THE GENERAL CONTRACTOR IN EXECUTING THE WORK, EVERY ATTEMPT HAS BEEN MADE TO PROVIDE COMPLETE AND ACCURATE REPRESENTATIONS OF SUCH CONDITIONS.
- ALL ITEMS ON PLANS, ELEVATIONS AND DETAILS FOR NEW CONSTRUCTION SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.

DRAWING INDEX

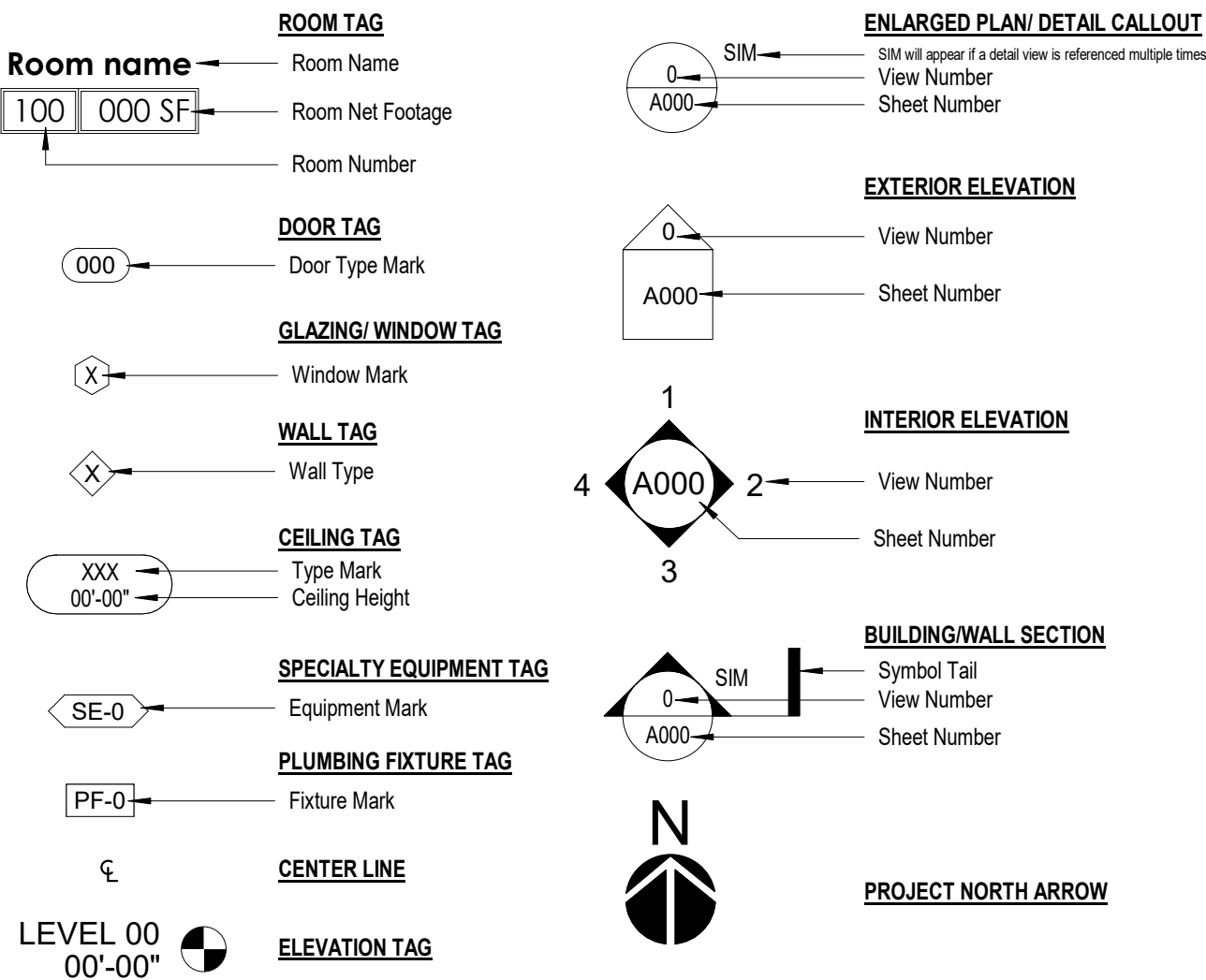
ARCHITECTURAL

Sheet Number	Sheet Name
A000	COVER
A001	ADA
A002	INT. ELEV. / WALL TYPES / FIN. SCHED
A003	LIFE SAFETY & ADA FIRST FLOOR
A004	SECOND FLOOR LIFE SAFETY
A100	ARCHITECTURAL SITE PLAN
A200	FOUNDATION PLAN
A201	FLOOR PLAN
A202	SECOND FLOOR PLAN
A203	ROOF PLAN
A204	MARKET EXPANSION PLAN
A300	ELEVATIONS
A302	PERSPECTIVES
A303	PERSPECTIVES
A400	BUILDING SECTIONS
A500	WALL SECTIONS
A501	SECTION DETAILS

SQUARE FOOTAGE SUMMARY

SQUARE FOOTAGE SUMMARY

STANDARD SYMBOLS



CODE SUMMARY

CODE REFERENCES:

2021 INTERNATIONAL BUILDING CODE (IBC)
2021 INTERNATIONAL FIRE CODE (IFC)
2021 INTERNATIONAL FUEL GAS CODE (IFGC)
2021 NATIONAL MECHANICAL CODE (NMC)
2017 NATIONAL ELECTRIC CODE (NEC)
2017 ICC/A117.1
2009 INTERNATIONAL ENERGY CONSERVATION CODE
NATIONAL FIRE PROTECTION AGENCY 90A, 96, 101

NAME OF PROJECT:
ADDRESS:

MICHAEL ANTHONY'S
37 New Orleans Rd
Hilton Head Island, SC 29928

PROPOSED USE:

COMMERCIAL

OWNER / CONTACT PERSON:

ELLIOT SAW MILLING

CODE ENFORCEMENT JURISDICTION:

TOWN OF ESTILL

BUILDING DATA:

OCCUPANCY CLASSIFICATION: (S-1) STORAGE & (B) BUSINESS (ACCESSORY)
MIXED OCCUPANCY: Yes _____ No ☒ Separation N/A Hr.
CONSTRUCTION TYPE: ☐ I-A ☐ I-B ☐ II-A ☒ II-B ☐ V-A ☐ V-B ☐ III-B
Type _____
MIXED CONSTRUCTION: Yes _____ No ☒
SPRINKLERED: Yes _____ No ☒
FIRE DISTRICT: Yes _____ No ☒
MEZZANINE: Yes _____ No ☒
HIGH RISE: Yes _____ No ☒

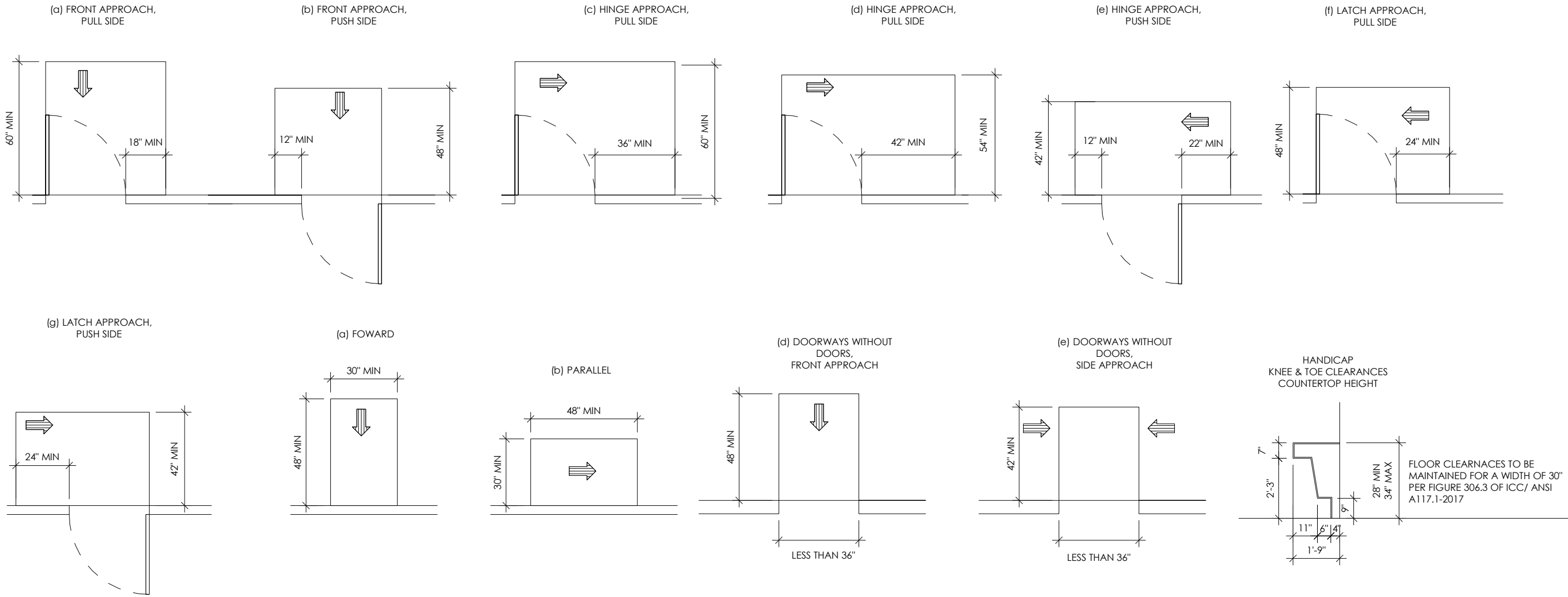
BUILDING HEIGHT:
NO STORIES:
FLOOD ZONE:
BASE FLOOD ELEV:

EXISTING _____
2
X
N/A

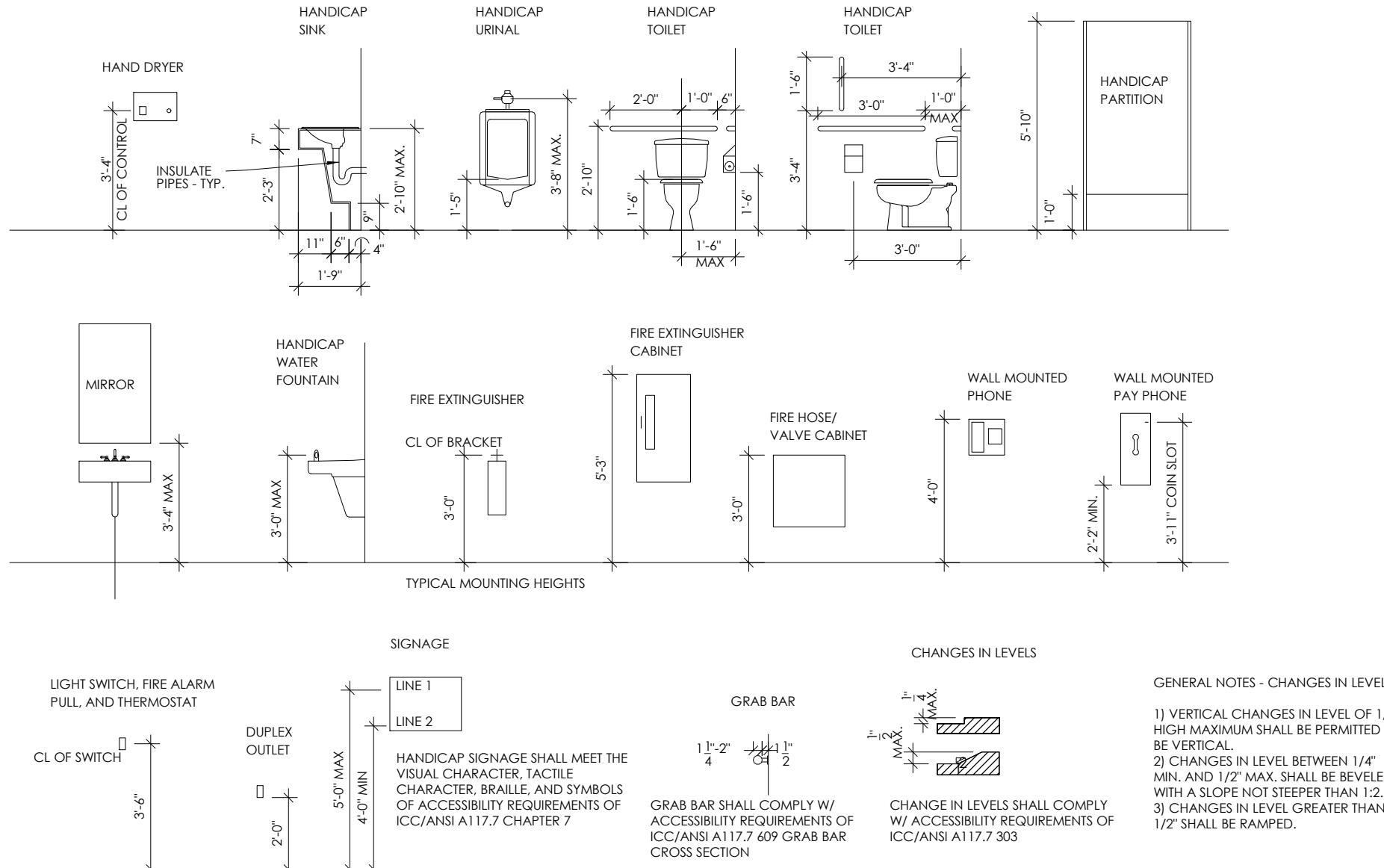
TYPE OF SEWAGE:
FRAME TYPE:

SEWER _____
WOOD _____

MINIMUM CRITERIA FOR ACCESSIBLE DOOR CLEARANCES
THIS INFORMATION IS FOR REFERENCE PURPOSES
PER FIGURE 404.2.3.1 OF ICC/ANSI A117.1-2017



MINIMUM CRITERIA FOR TYPICAL ACCESSIBLE
MOUNTING HEIGHTS. THIS INFORMATION IS FOR
REFERENCE PURPOSES PER ICC/ANSI A117.1-2017



4 ANSI MOUNTING HEIGHTS 1/4" = 1'-0"

LIFE SAFETY PLAN LEGEND

- NON RATED PARTITION
- TRAVEL DISTANCE
- EGRESS DOOR EXIT CAPACITY (# OF OCCUPANTS PER NFPA 101)
- FIRE EXTINGUISHER
 - USE CLASS 'A' EXTINGUISHER FOR GENERAL AREAS
 - REFER TO NFPA 10 FOR OTHER EXTINGUISHER TYPES
 - ALL EXTINGUISHERS TO BE MADE OF NON-FERROUS MATERIAL TO MEET MR COMPATIBILITY
 - 75'-0" MAX DISTANCE FOR CLASS 'A' EXTINGUISHERS
- SELF-POWERED ILLUMINATED EXIT SIGN (COORDINATE LOCATIONS WITH ELECTRICAL LIGHTING PLAN)
 - ARROW DENOTES DIRECTION OF EXIT PATH
 - REFER TO ELECTRICAL DRAWINGS FOR EXACT LOCATION AND TECHNICAL SPECIFICATIONS
 - CENTER OVER DOORS WHEN APPLICABLE

THIS DRAWING IS PROVIDED TO HELP THE GENERAL CONTRACTOR TO INSTALL BUILDING ELEMENTS IN COMPLIANCE WITH 2017 ICC A117.1 FOR ACCESSIBLE DESIGN. IT IS NOT THE ARCHITECT'S INTENT TO LIST COMPLETE REGULATIONS & GUIDELINES IN THOSE DOCUMENTS. THE GENERAL CONTRACTOR IS RESPONSIBLE TO INSTALL ALL THE BUILDING ELEMENTS ACCORDING TO THE ADOPTED STANDARD REGARDLESS OF WHETHER OR NOT IT IS SHOWN HERE.

GENERAL ADA NOTES:

- ALL PROPOSED WORK TO COMPLY WITH APPLICABLE REQUIREMENTS FOR HANDICAPPED ACCESSIBILITY.
- CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST.
- ACCESSIBLE ROUTES TO BE PROVIDED BETWEEN FACILITIES ON THE GROUND FLOOR, PROVIDING A MINIMUM OF 36 INCHES OF WIDTH ALONG THE ACCESSIBLE ROUTE AND A MINIMUM OF 32 INCHES OF WIDTH AT DOORWAYS PER CHAPTER 4, INCLUDING SECTIONS 401-410.

302 FLOOR & GROUND SURFACES

FLOOR AND GROUND SURFACES (INCLUDING FLOOR MATERIAL TRANSITIONS) IN PUBLIC AREAS SHALL BE STABLE, FIRM, AND SLIP-RESISTANT AND SHALL COMPLY WITH SECTION 302, INCLUDING:
A. SECTION 302.3: OPENINGS

303 CHANGES IN LEVEL

CHANGES IN LEVEL (INCLUDING FLOOR MATERIAL TRANSITIONS) IN PUBLIC AREAS SHALL COMPLY WITH 2010 ADA SECTION 303, INCLUDING:
A. SECTION 303.2: VERTICAL
B. SECTION 303.3: BEVELED
C. SECTION 303.4: RAMPED

304 TURNING SPACE

- A. 67" DIAMETER SPACE SHALL BE PROVIDED FOR WHEELCHAIR TURNING.
- B. T-SHAPED SPACE SHALL BE PROVIDED FOR WHEELCHAIR TURNING.

305 CLEAR FLOOR & GROUND SPACE

- A. A CLEAR FLOOR SPACE OF 30"x48" SHALL BE PROVIDED FOR FORWARD AND PARALLEL APPROACHES. SEE ADA DIAGRAMS ON THIS SHEET.

306 KNEE & TOE CLEARANCE

- A. CLEARANCES SHALL BE PROVIDED FOR WHEELCHAIR ACCESS PER 306.2 & 306.3. SEE ADA DIAGRAMS ON THIS SHEET.

308 REACH RANGES

- A. REACH RANGES SHALL COMPLY WITH SECTION 308. SEE ADA DIAGRAMS ON THIS SHEET.

404 DOORS

- A. DOORWAYS SHALL HAVE A MINIMUM CLEAR OPENING OF 32" WITH THE DOOR OPEN 90 DEGREES MEASURED BETWEEN THE FACE OF THE DOOR AND THE STOP. FOR CLEARWAY WIDTH AND DEPTH SEE ADA DIAGRAMS ON THIS SHEET.
- B. FOR MANEUVERING CLEARANCES AT DOORS SEE ADA DIAGRAMS ON THIS SHEET.

505 HANDRAILS

- A. PROVIDE HANDRAILS ON BOTH SIDES OF RAMP SEGMENTS.
- B. THE CLEAR SPACE BETWEEN HANDRAIL AND THE WALL SHALL BE 1-1/2".
- C. THE GRIPPING SURFACE SHALL BE 1-1/4" OR 1-1/2" DIAMETER.
- D. THE TOP OF THE GRIPPING SURFACE SHALL BE MOUNTED BETWEEN 30" AND 34" ABOVE THE RAMP SURFACE.

602 DRINKING FOUNTAINS

- A. THE SPOUT HEIGHT SHALL BE NO HIGHER THAN 36" ABOVE THE FLOOR AND COMPLY WITH SECTIONS 307 & 602.

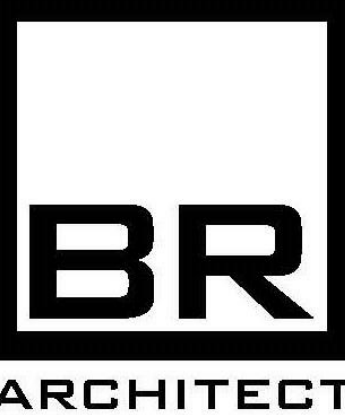
604 WATER CLOSETS

- A. THE HEIGHT OF WATER CLOSETS SHALL BE 17" TO 19" ABOVE THE FLOOR TO THE TOP OF THE TOILET SEAT. FOR HEIGHTS AND CONFIGURATIONS OF GRAB BARS AND STALLS, SEE ADA DIAGRAMS ON THIS SHEET.
- B. FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.

606 LAVATORIES AND SINKS

- A. LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF 29" FROM THE FLOOR TO THE BOTTOM OF THE APRON. KNEE AND TOE CLEARANCES TO COMPLY WITH FIG 31.
- B. SINKS SHALL BE MOUNTED WITH THE COUNTER OR RIM NO HIGHER THAN 34" FROM THE FLOOR.
- C. A CLEAR FLOOR SPACE OF 30"x48" SHALL BE PROVIDED IN FRONT OF A LAVATORY OR SINK TO ALLOW A FORWARD APPROACH AND TO COMPLY WITH ADA DIAGRAMS ON THIS SHEET.
- D. HOT WATER AND DRAIN PIPES UNDER LAVATORIES OR SINKS SHALL BE INSULATED.

NOTE: SIDEWALKS LEADING UP TO ACCESSIBLE UNITS SHALL HAVE A MAXIMUM RUNNING SLOPE OF 5%.



SEAL

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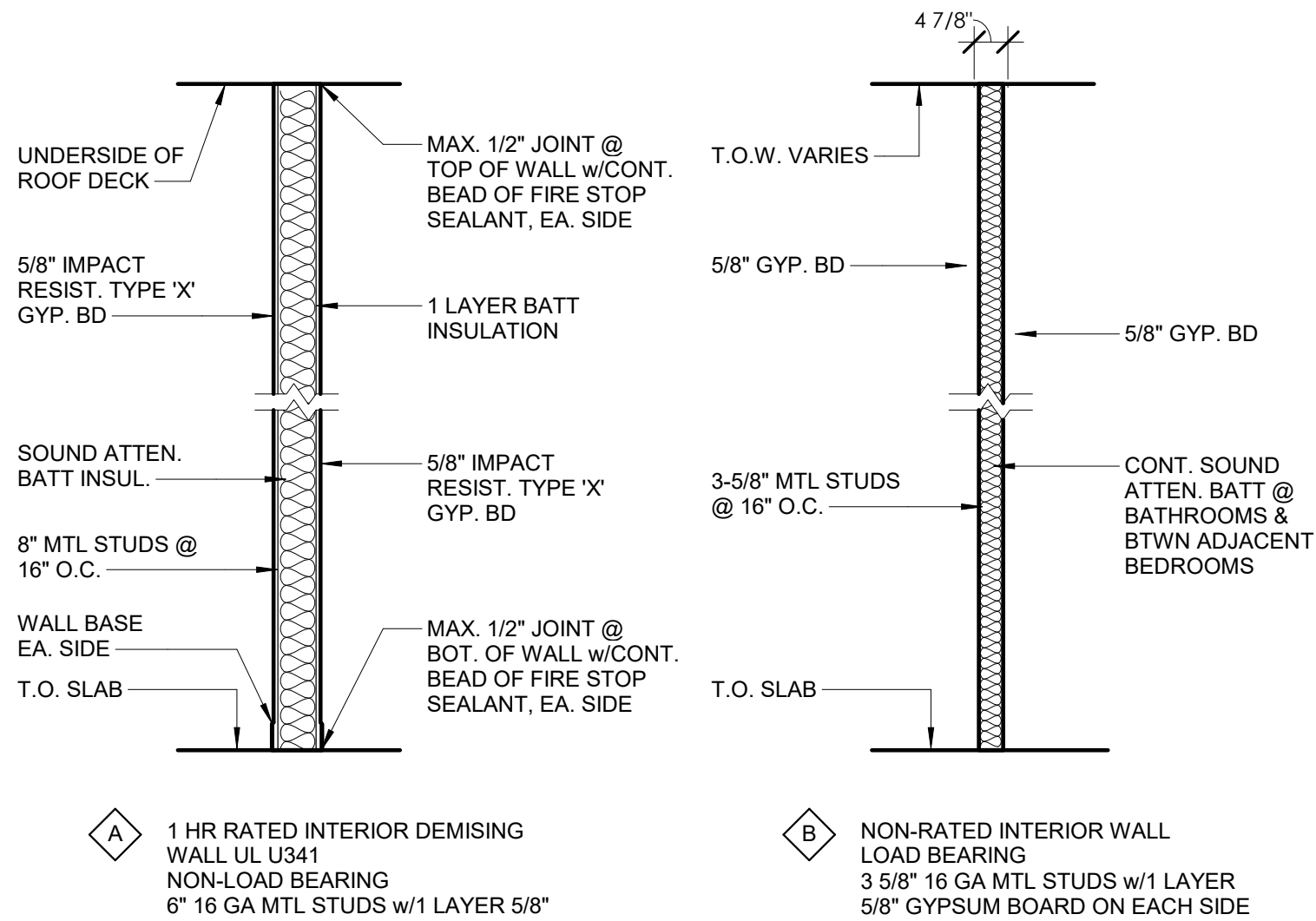
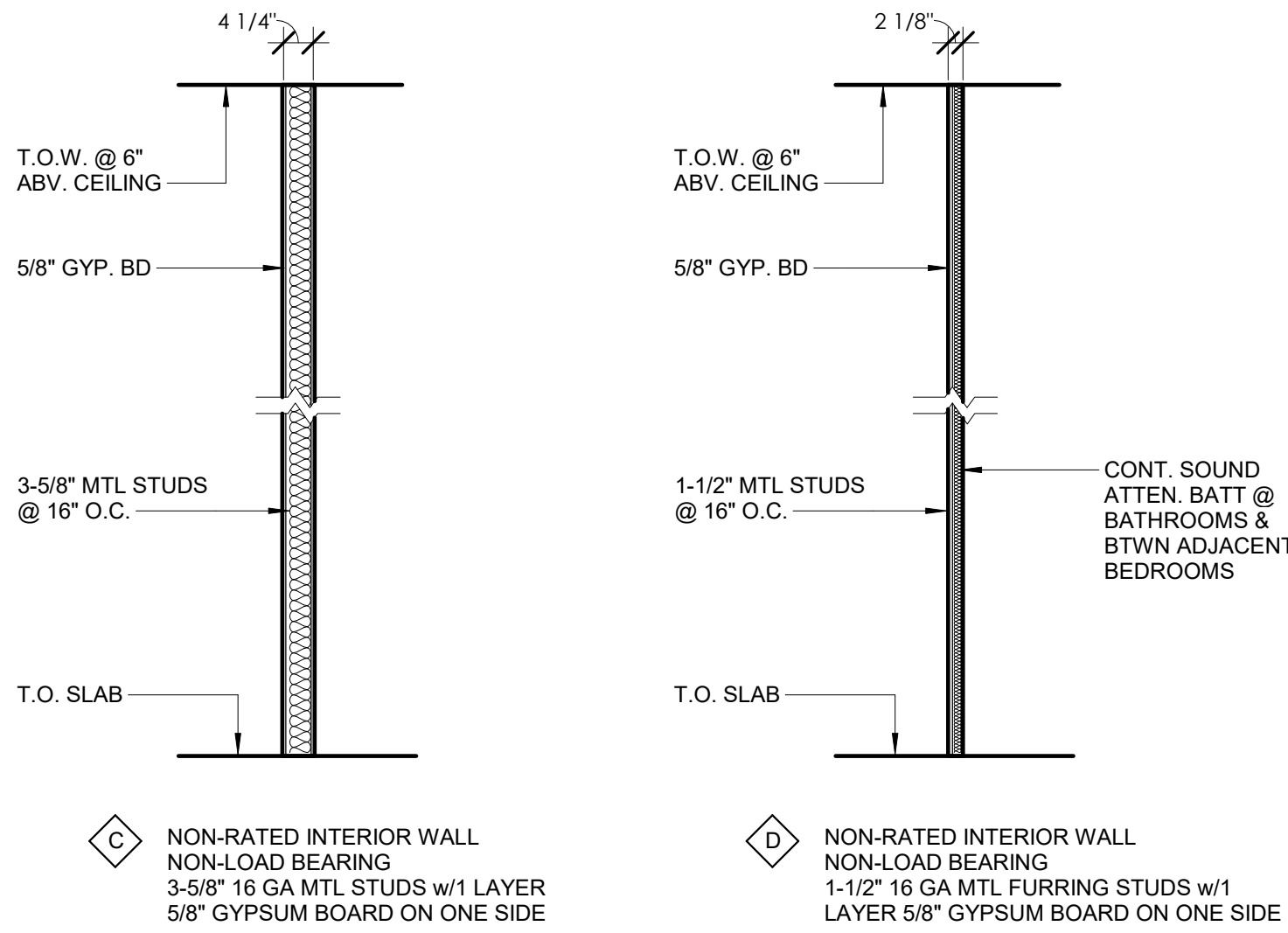
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SHEET NO.

A001

ADA



5 WALL TYPES
1/2" = 1'-0"

NOTE:
FOR FIXTURE, ACCESSORY AND GRAB BAR MOUNTING HEIGHTS, SEE MOUNTING HEIGHTS ON SHEET A001.

- FINISH LEGEND:
- ACT-1: Acoustical ceiling tile, 24"x24"
 - LVT-1: Luxury vinyl tile
 - PT-1: Paint, Two-coat commercial grade
 - PT-2: Paint, Two-coat commercial grade
 - RB-1: 4" rubber base
 - SC-1: Sealed concrete
 - T-1: Tile, ceramic
 - FCB-1: Fiber cement board

NOTE: ALL FINISHES TO BE OWNER SELECTED.

GENERAL FINISH NOTES:

- ALL MECHANICAL, ELECTRICAL, PLUMBING, SECURITY, UTILITY, CABLE TV OR TELEPHONE EQUIPMENT SHALL BE INSTALLED SO AS NOT TO BE IN CONFLICT WITH ANY DOOR, WINDOW, OR POINT OF TRANSITION BETWEEN TWO OR MORE FINISH MATERIALS
- THE GENERAL CONTRACTOR SHALL COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL, FIRE PROTECTION AND THE RESPECTIVE INSTALLERS. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION, CONSULT WITH THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK.
- CONTRACTOR TO PROVIDE NECESSARY BLOCKING FOR ALL WALL MOUNTED FIXTURES PER ADA REQUIREMENTS AND MANUFACTURER'S SPECIFICATIONS. BLOCKING SHALL BE INSPECTED AND VERIFIED PRIOR TO CLOSING UP WALLS.
- ALL GYPSUM WALLBOARD PARTITIONS SHALL BE ERECTED AS SHOWN ON THE PLANS, DETAILS OR AS CALLED FOR IN THE SPECIFICATIONS. ALL GYPSUM WALLBOARD PARTITION JOINTS SHALL BE LOCATED SO THAT PANEL EDGES FALL ON ALTERNATE STUDS. ALL JOINTS SHALL BE TAPED, SPACKLED AND FINISHED TO A LEVEL 4 FINISH AS PER THE GYPSUM ASSOCIATION'S LATEST GUIDELINES, TO RECEIVE NEW WALL TREATMENT AND FINISHES.
- ALL JOINTS IN NEW PARTITIONS, AS WELL AS JUNCTURES BETWEEN EXISTING AND NEW PARTITIONS, SHALL BE TAPED AND SPACKLED WITH A SMOOTH AND FLUSH FINISH.
- ACOUSTICAL INSULATION BLANKETS SHALL BE USED TO FILL ANY GAPS, SPACES OR VOIDS BETWEEN EXISTING STUDS OR INSULATION BLANKETS TO RENDER A CONTINUOUS SOUND BARRIER.
- ALL EXPOSED GYPSUM WALLBOARD CORNERS ARE TO BE FITTED WITH PLASTIC CORNER BEADS.
- GREEN BOARD OR MOISTURE RESISTANT BACKER BOARD SHALL BE INSTALLED IN WET AREAS PER CODE REQUIREMENTS (CEILING AND WALLS).
- CONTRACTOR SHALL APPLY REDGARD WATERPROOF BARRIER OR APPROVED EQUAL TO ENTIRE FLOOR SURFACE IN TILED AREAS PER MANUFACTURER'S SPECIFICATIONS. WATERPROOF BARRIER SHALL ALSO BE APPLIED TO A HEIGHT OF 4' AFF ON ADJACENT WALLS.
- PROVIDE OWNER SELECTED BASE TRIM THROUGHOUT EXCEPT AS NOTED. WOOD TRIM SHALL BE OF PAINT GRADE WITH ONE (1) COAT APPROVED PRIMER AND TWO (2) COATS MINIMUM FINISH PAINT.
- CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS, TOOLS AND OTHER EQUIPMENT, SERVICES AND SUPERVISION REQUIRED TO COMPLETE ALL EXTERIOR AND INTERIOR PAINTING AND DECORATING WORK AS INDICATED ON FINISH SCHEDULES AND TO THE FULL EXTENT OF THE DRAWINGS AND SPECIFICATIONS.
- ALL PAINTING WORK SHALL BE IN ACCORDANCE TO INDUSTRY STANDARDS & THE MPI ARCHITECTURAL PAINTING MANUAL.
- ALL INTERIOR AND EXTERIOR TRIM AND FINISHES TO MATCH EXCEPT WHERE NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE OWNER WITH MFR SPEC SHEET FOR APPROVAL PRIOR TO ORDERING.
- CONTRACTOR SHALL COORDINATE FIXTURE & EQUIPMENT LAYOUT WITH CABINET MAKER/DESIGNER.
- ALL FIXTURES & EQUIPMENT SHALL BE INSTALLED PER MFR'S WRITTEN INSTRUCTIONS. THIS SHALL INCLUDE ANY & ALL NECESSARY PARTS REQUIRED TO ENABLE A FULLY FUNCTIONING UNIT.
- CONTRACTOR MAY PROVIDE ALLOWANCES FOR FF&E NOT COVERED IN THE CONTRACT DOCUMENTS OTHERWISE, OWNER FURNISHED, CONTRACTOR INSTALLED ITEMS MAY BE REQUIRED.
- ALL PLUMBING FIXTURES TO BE LOW FLOW RATED U.N.O.
- ALL APPLIANCES TO BE MATCHING. OWNER SHALL APPROVE ALL APPLIANCES AND FIXTURES PRIOR TO ORDERING.
- ALL APPLIANCES AND EQUIPMENT SHALL BE TESTED PRIOR TO COMPLETION OF WORK TO ENSURE NORMAL WORKING OPERATION.

FINISH SCHEDULE						
Rm #	Name	Wall Finish	Base Finish	Floor Finish	Ceiling Finish	Comments
01	LOBBY					
02	OFFICE					
03	OFFICE					
04	OFFICE					
05	OFFICE					
06	CONFERENCE					
07	ELECTRICAL / IT					
08	STORAGE					
09	RESTROOM					
10	RESTROOM					
11	PATIO					
12	KITCHEN					
13	HALL					
14	OFFICE					
15	CONFERENCE #2					
16	STORAGE					
17	OFFICE					
18	PROCUREMENT					
19	OFFICE					
20	OFFICE					
21	RESTROOM					
22	RESTROOM					
23	RESTROOM					
24	STORAGE					
25	OFFICE					
26	OFFICE					
27	COVERED ENTRY					
28	KITCHEN					18'-10" x 20'-0"
29	COOLER					5'-6" x 8'-9"
30	COURTYARD					19'-8" x 17'-2"
31	STORAGE			8'-0" CLG		12'-9" x 20'-0"



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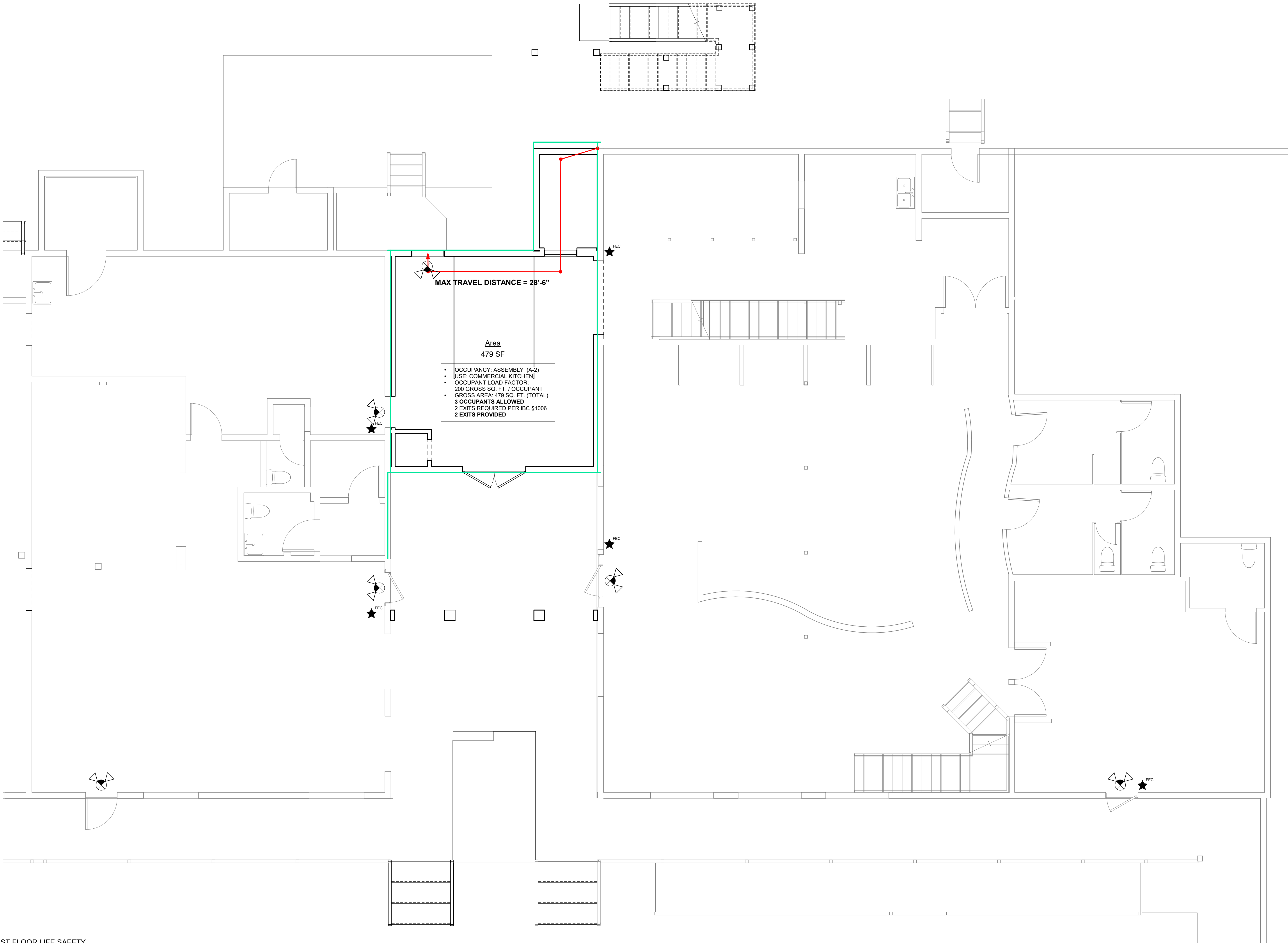
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SHEET NO.
A002

INT. ELEV. / WALL
TYPES / FIN. SCHED



① FIRST FLOOR LIFE SAFETY
1/4" = 1'-0"



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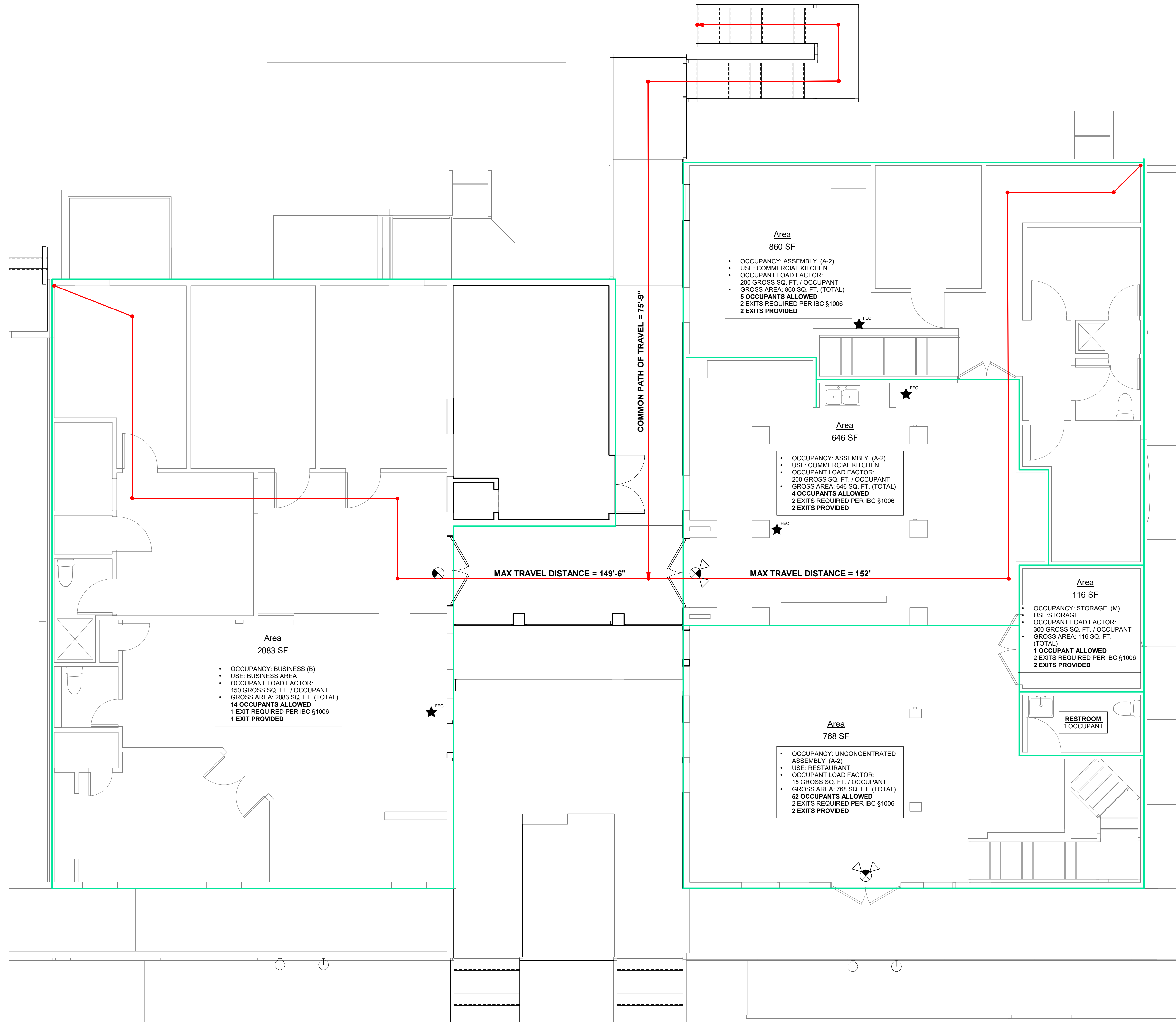
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A003

LIFE SAFETY & ADA
FIRST FLOOR



1 SECOND FLOOR LIFE SAFETY
1/4" = 1'-0"



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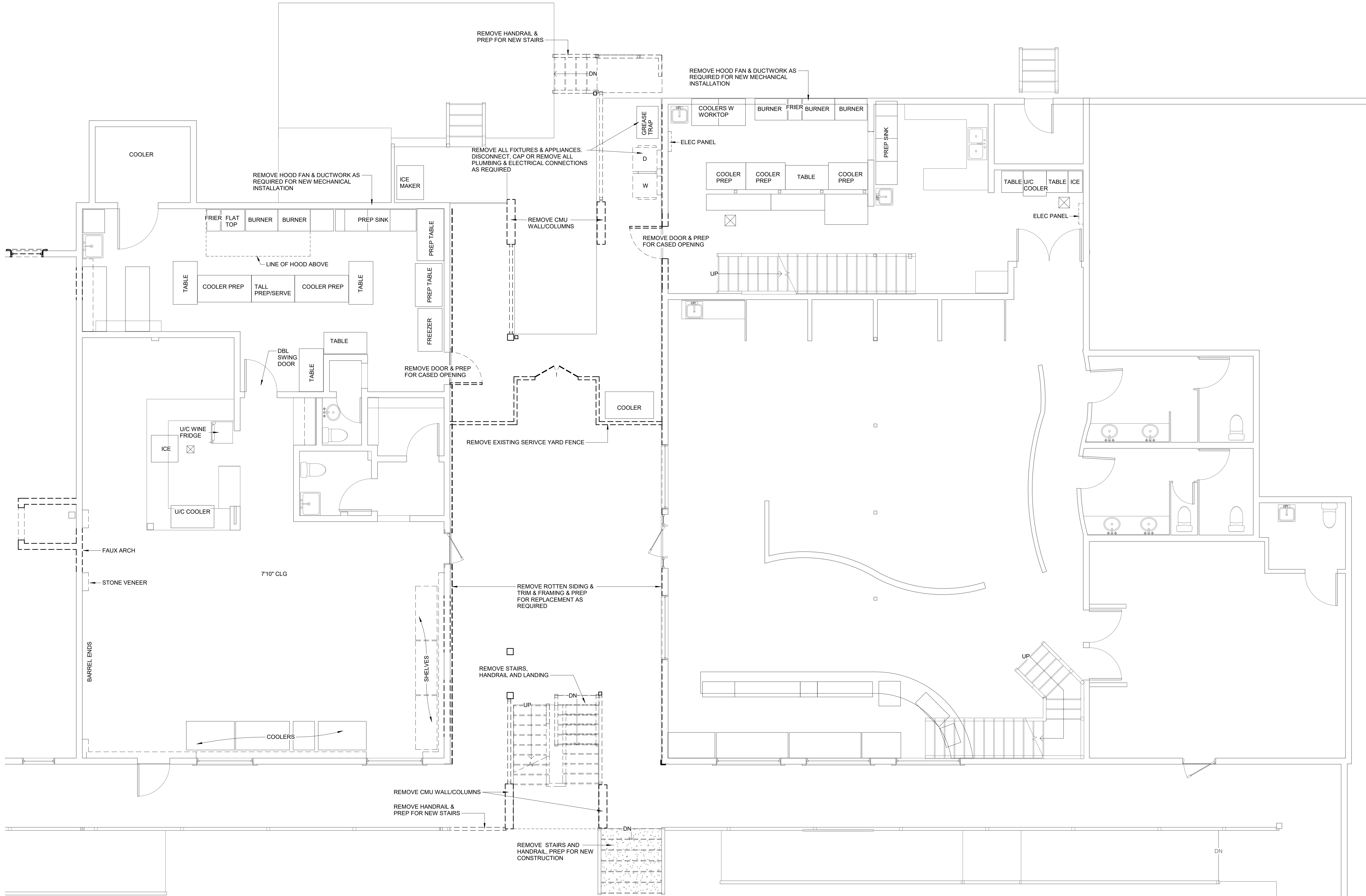
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A004

SECOND FLOOR
LIFE SAFETY



1 DEMO FIRST FLOOR
1/4" = 1'-0"



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D200

DEMO FIRST FLOOR



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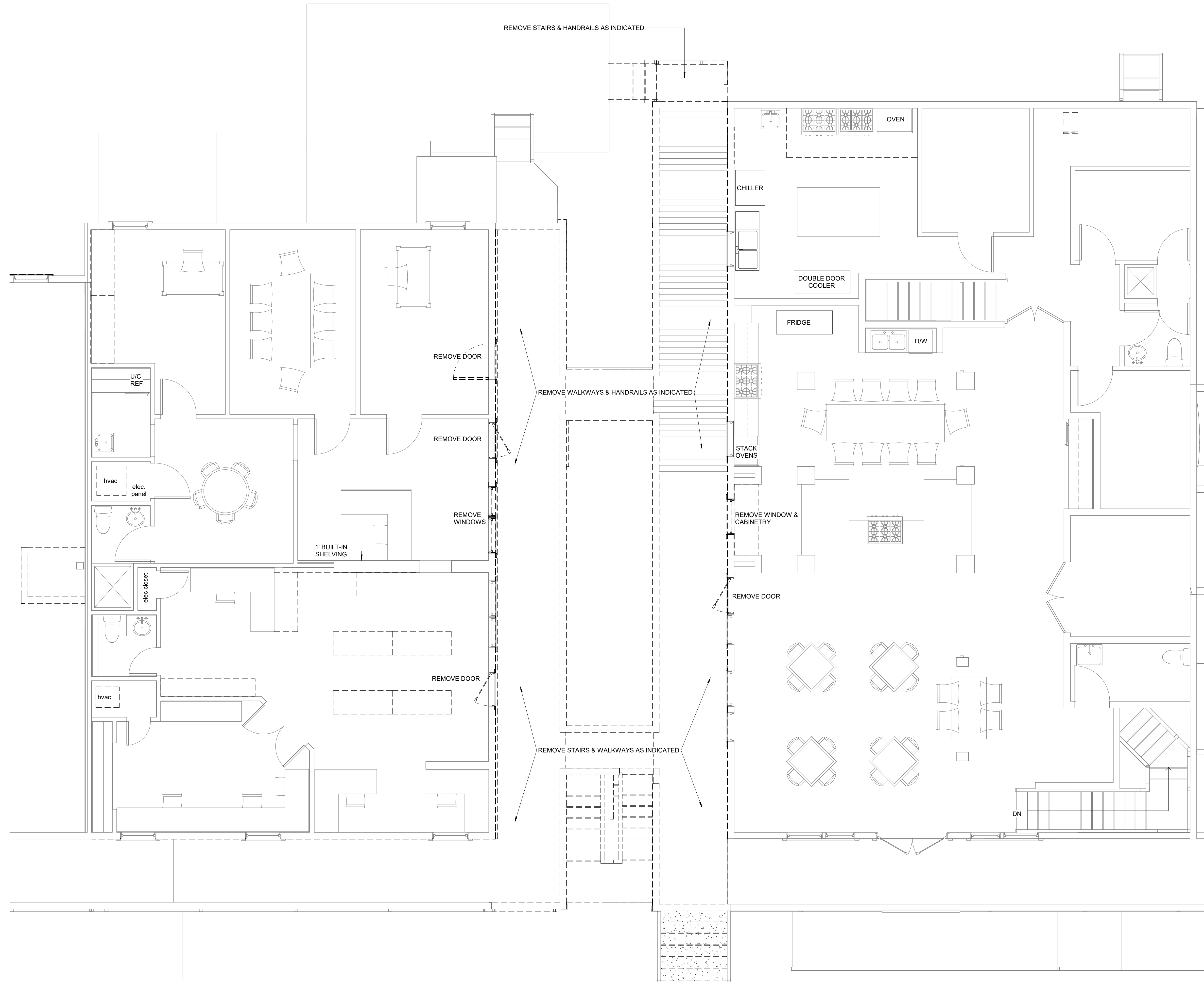
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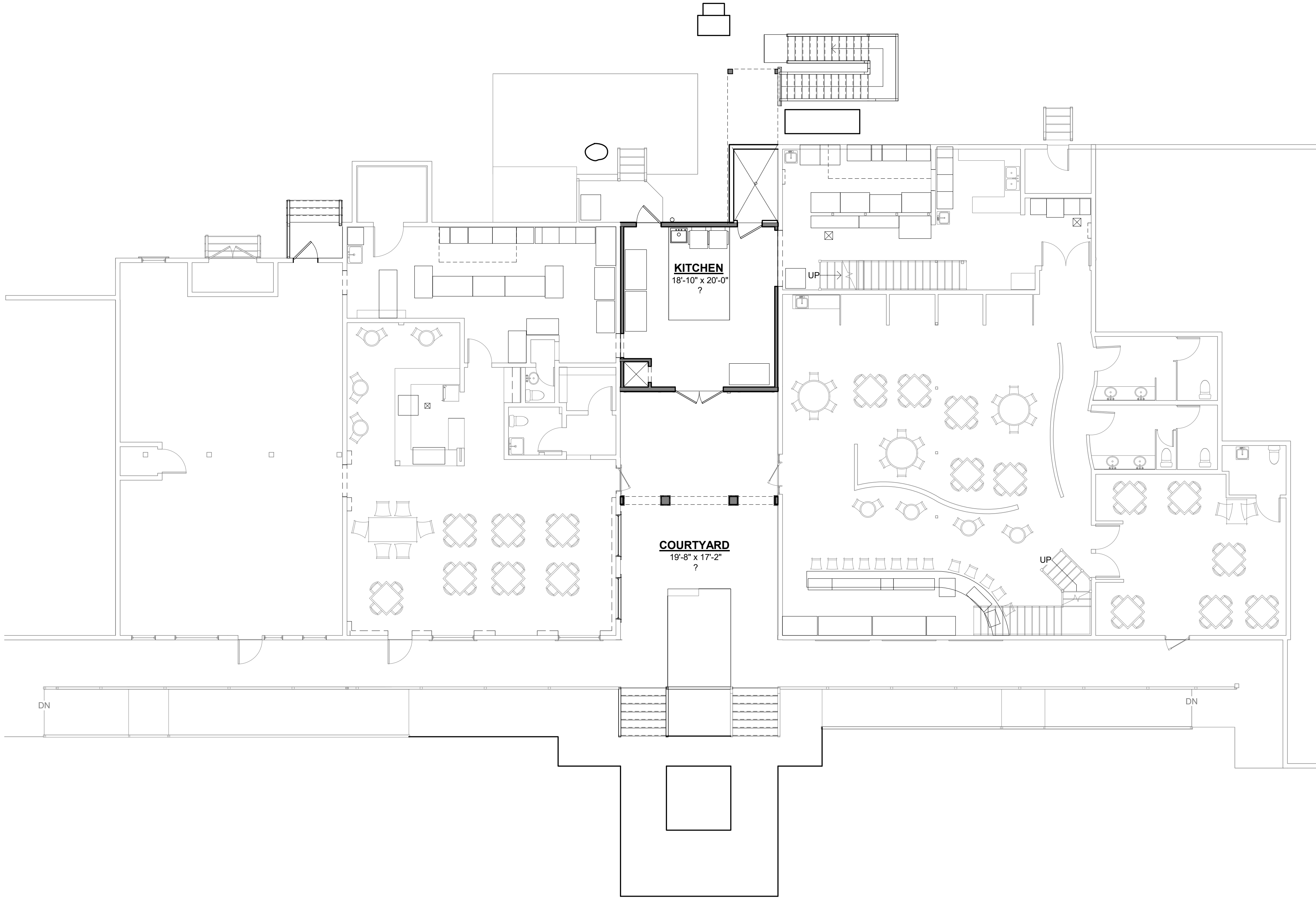
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D201

DEMO SECOND FLOOR



1 DEMO SECOND FLOOR
1/4" = 1'-0"



FIRST FLOOR - OVERALL BUILDING
PLAN
1/8" = 1'-0"



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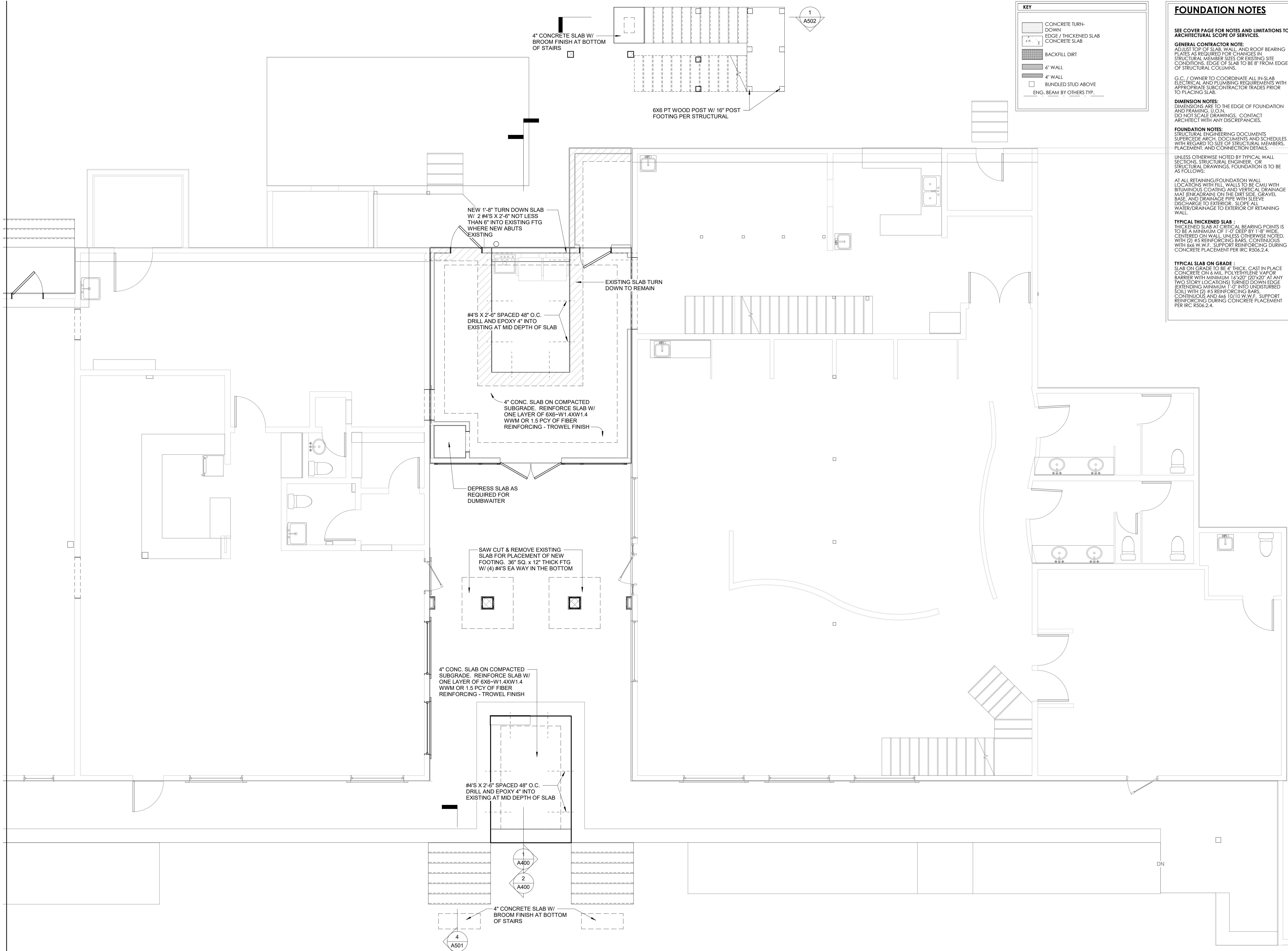
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A100

ARCHITECTURAL
SITE PLAN



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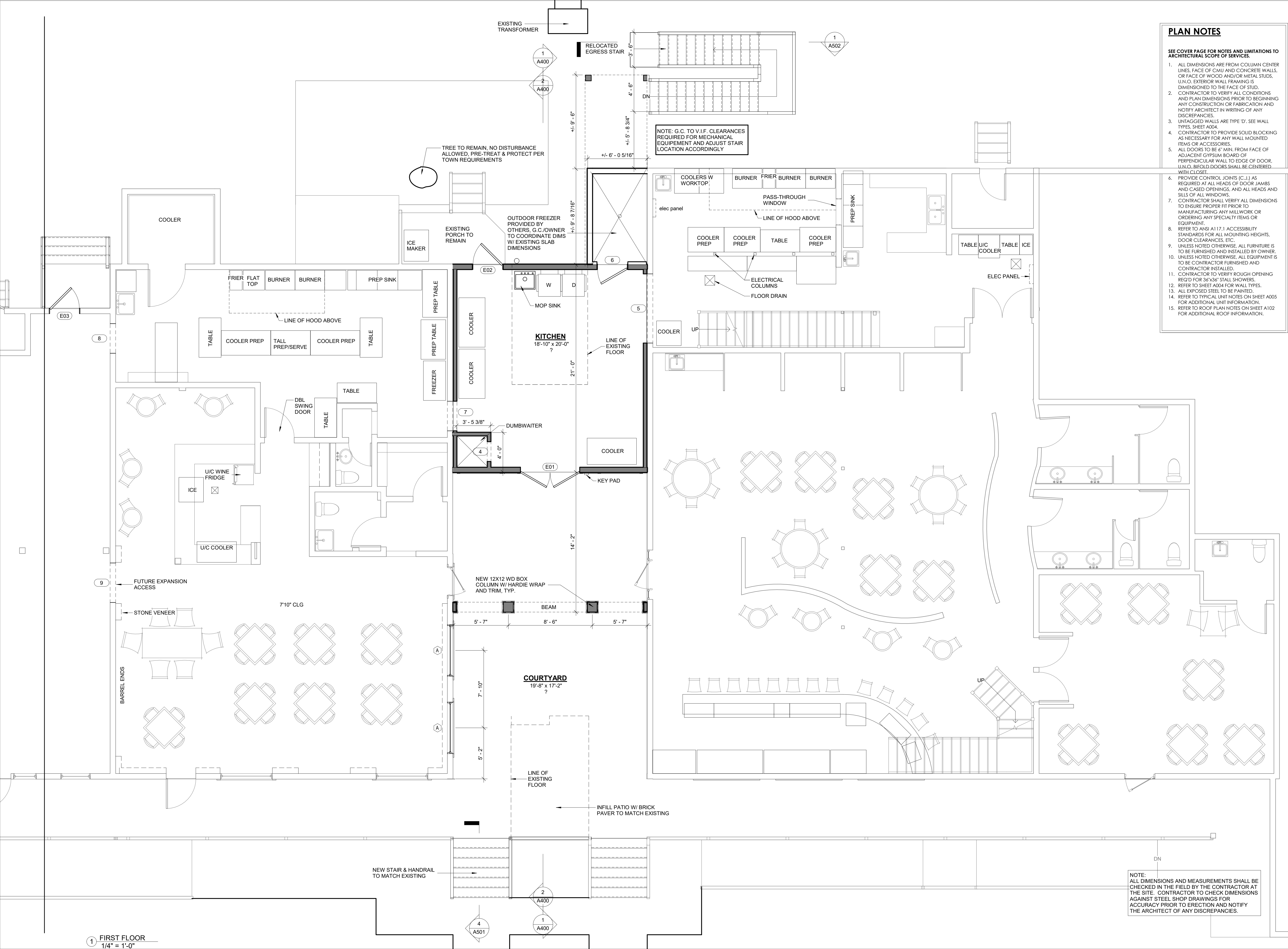
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A200

FOUNDATION PLAN



PLAN NOTES

- SEE COVER PAGE FOR NOTES AND LIMITATIONS TO ARCHITECTURAL SCOPE OF SERVICES.
- ALL DIMENSIONS ARE FROM COLUMN CENTER LINES, FACE OF CMU AND CONCRETE WALLS, OR FACE OF WOOD AND/OR METAL STUDS. U.N.O. EXTERIOR WALL FRAMING IS DIMENSIONED TO THE FACE OF STUD.
 - CONTRACTOR TO VERIFY ALL CONDITIONS AND PLAN DIMENSIONS PRIOR TO BEGINNING ANY CONSTRUCTION OR FABRICATION AND NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES.
 - UNTAGGED WALLS ARE TYPE 'D'. SEE WALL TYPES, SHEET A004.
 - CONTRACTOR TO PROVIDE SOLID BLOCKING AS NECESSARY FOR ANY WALL MOUNTED ITEMS OR ACCESSORIES.
 - ALL DOORS TO BE 6" MIN. FROM FACE OF ADJACENT GYPSUM BOARD OF PERPENDICULAR WALL TO EDGE OF DOOR, U.N.O. BIFOLD DOORS SHALL BE CENTERED WITH CLOSET.
 - PROVIDE CONTROL JOINTS (C-J) AS REQUIRED AT ALL HEADS OF DOOR JAMBS AND CASED OPENINGS, AND ALL HEADS AND SILLS OF ALL WINDOWS.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS TO ENSURE PROPER FIT PRIOR TO MANUFACTURING ANY MILLWORK OR ORDERING ANY SPECIALTY ITEMS OR EQUIPMENT.
 - REFER TO ANSI A117.1 ACCESSIBILITY STANDARDS FOR ALL MOUNTING HEIGHTS, DOOR CLEARANCES, ETC.
 - UNLESS NOTED OTHERWISE, ALL FURNITURE IS TO BE FURNISHED AND INSTALLED BY OWNER.
 - UNLESS NOTED OTHERWISE, ALL EQUIPMENT IS TO BE CONTRACTOR FURNISHED AND CONTRACTOR INSTALLED.
 - CONTRACTOR TO VERIFY ROUGH OPENING REQ'D FOR 36"x36" STALL SHOWERS.
 - REFER TO SHEET A004 FOR WALL TYPES.
 - ALL EXPOSED STEEL TO BE PAINTED.
 - REFER TO TYPICAL UNIT NOTES ON SHEET A005 FOR ADDITIONAL UNIT INFORMATION.
 - REFER TO ROOF PLAN NOTES ON SHEET A102 FOR ADDITIONAL ROOF INFORMATION.



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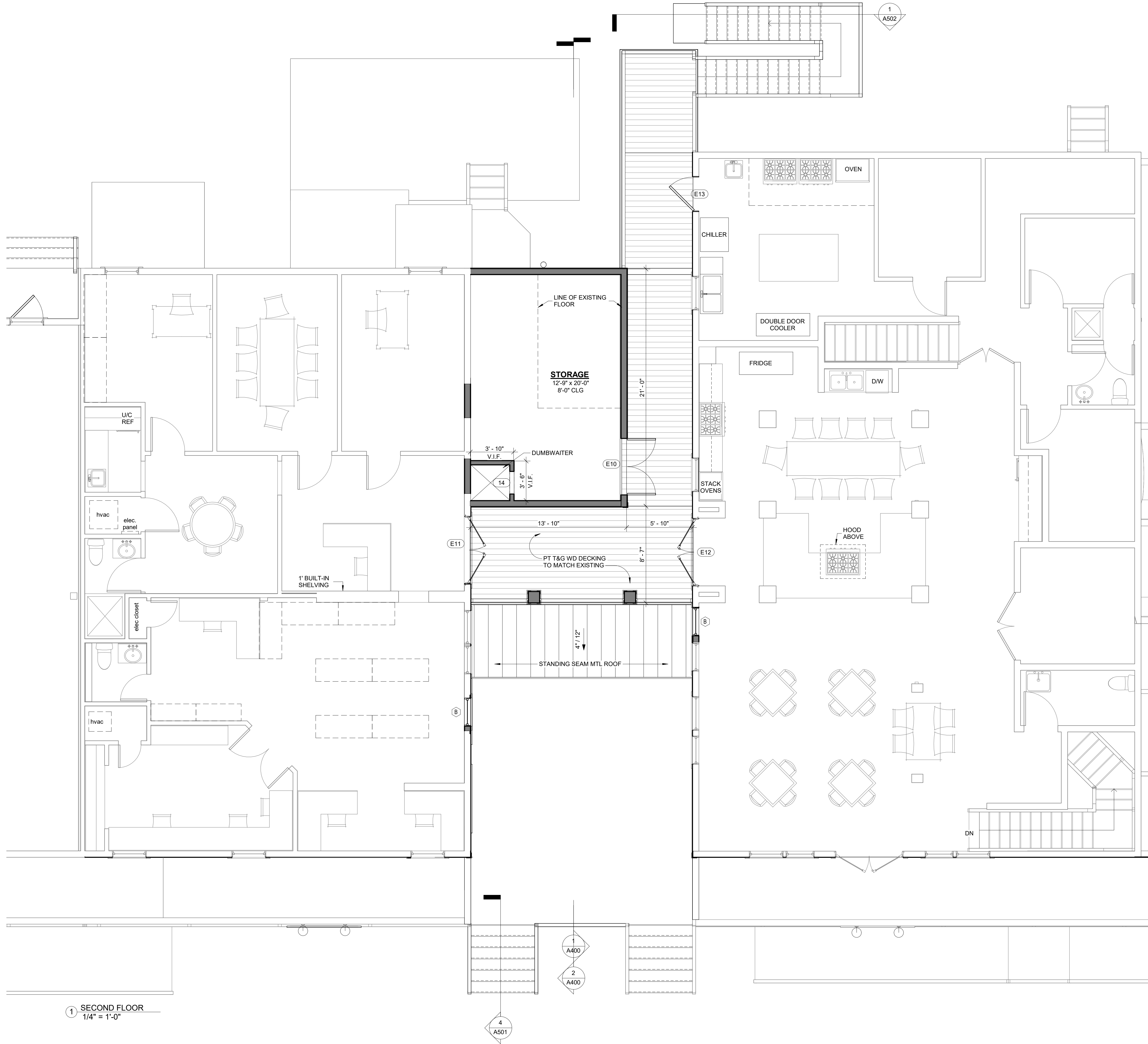
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A201

FLOOR PLAN

NOTE:
ALL DIMENSIONS AND MEASUREMENTS SHALL BE CHECKED IN THE FIELD BY THE CONTRACTOR AT THE SITE. CONTRACTOR TO CHECK DIMENSIONS AGAINST STEEL SHOP DRAWINGS FOR ACCURACY PRIOR TO ERECTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.



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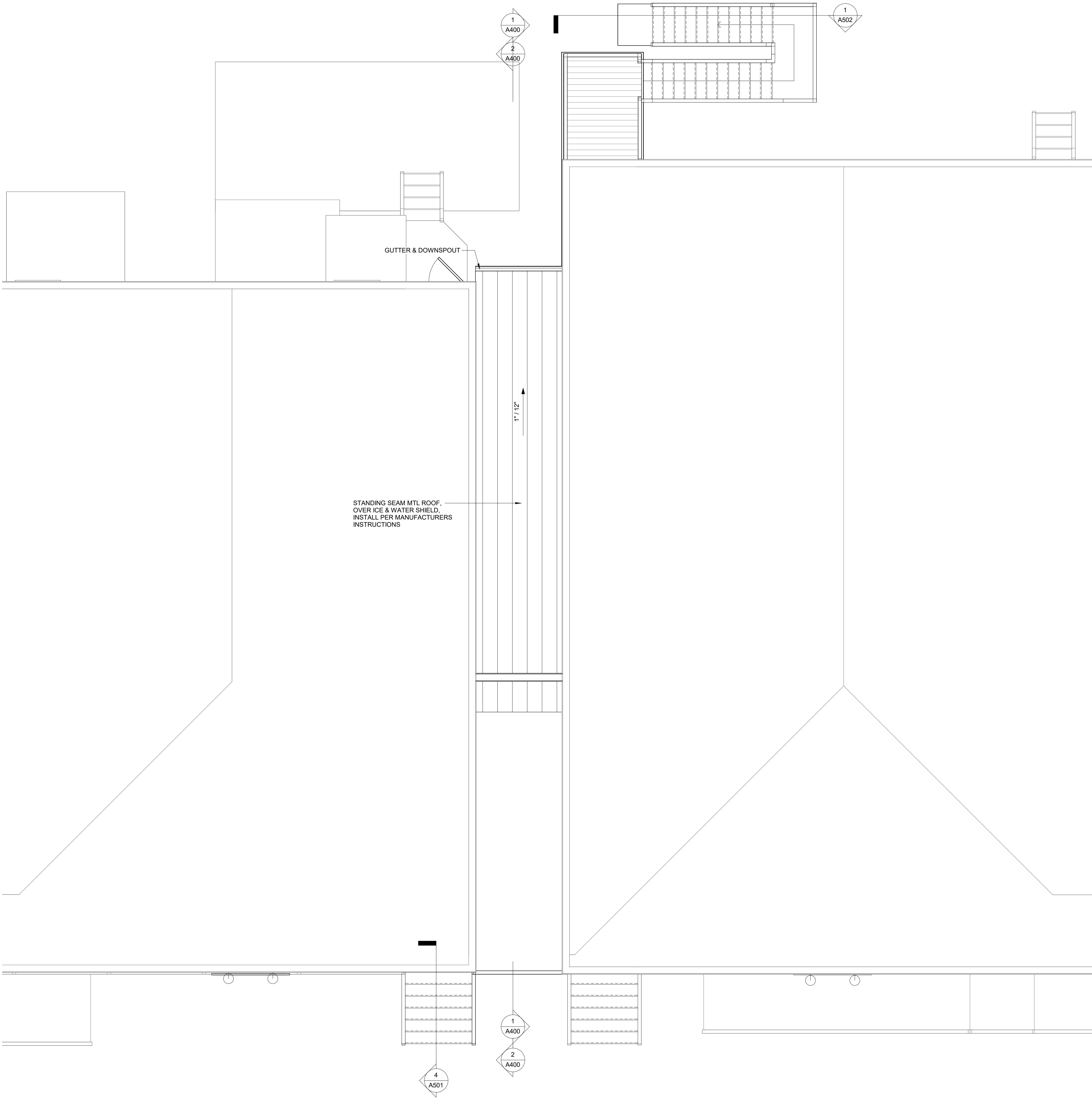
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SECOND FLOOR
PLAN



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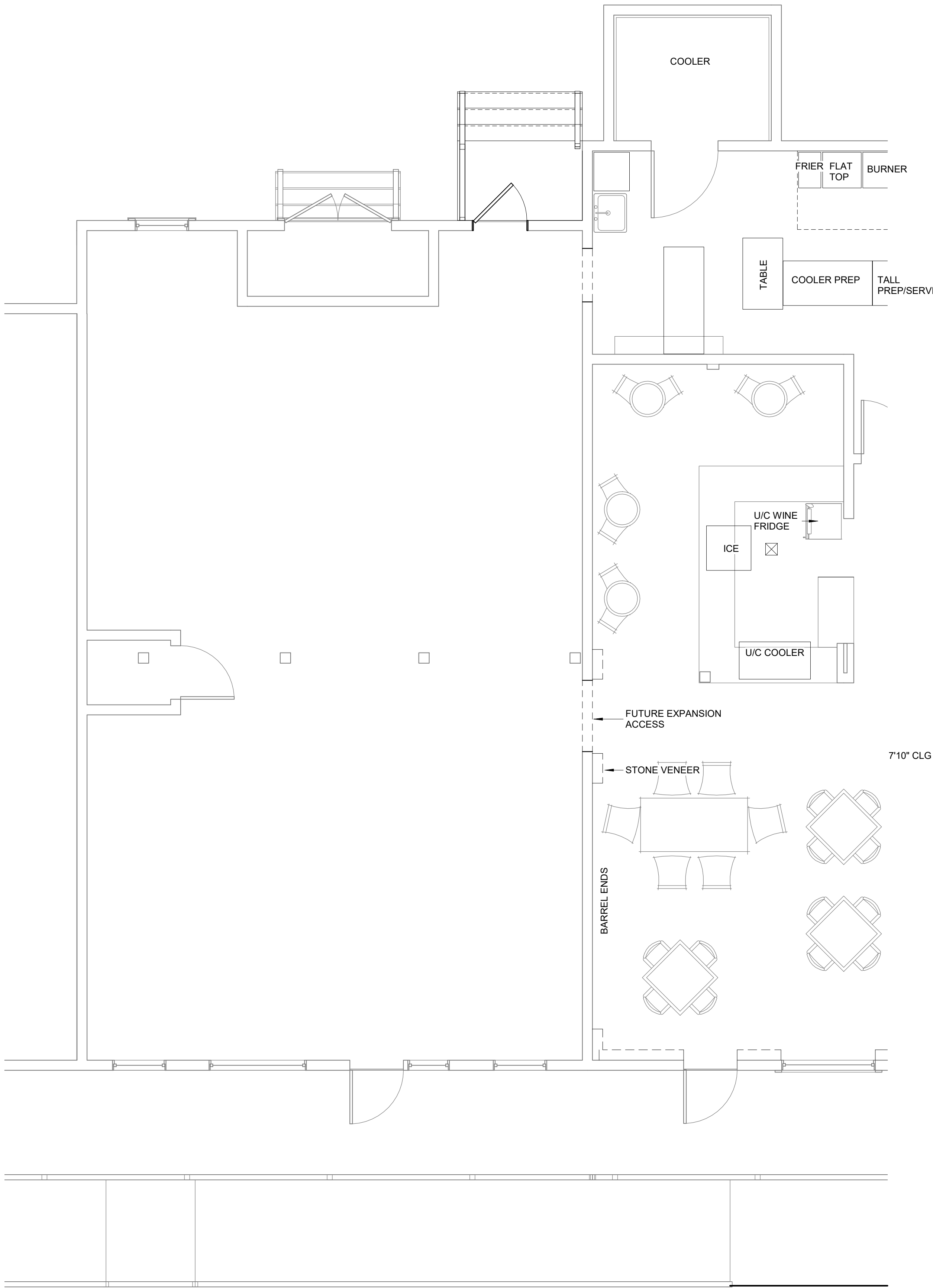
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A203

ROOF PLAN



① FIRST FLOOR - MARKET EXPANSION
1/4" = 1'-0"



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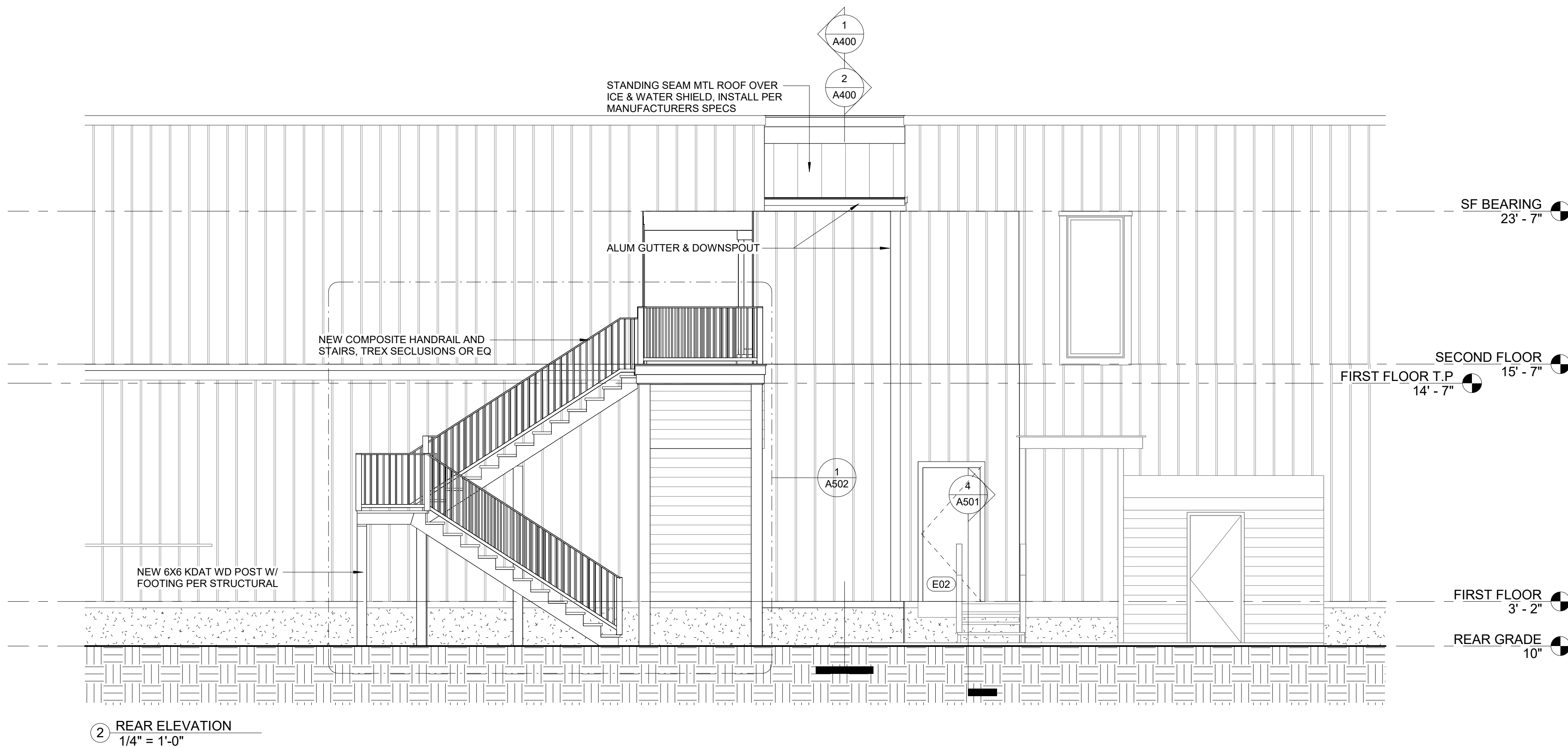
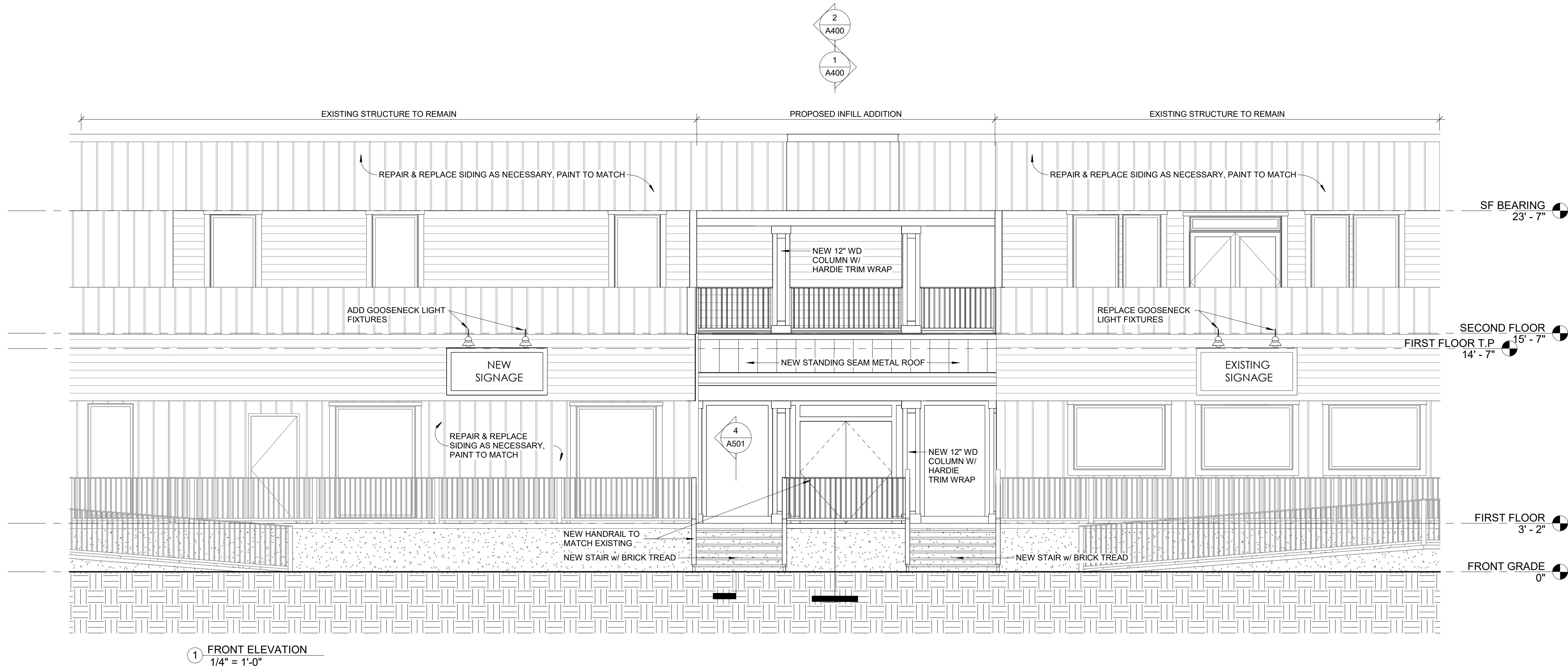
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A204

MARKET
EXPANSION PLAN



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A300

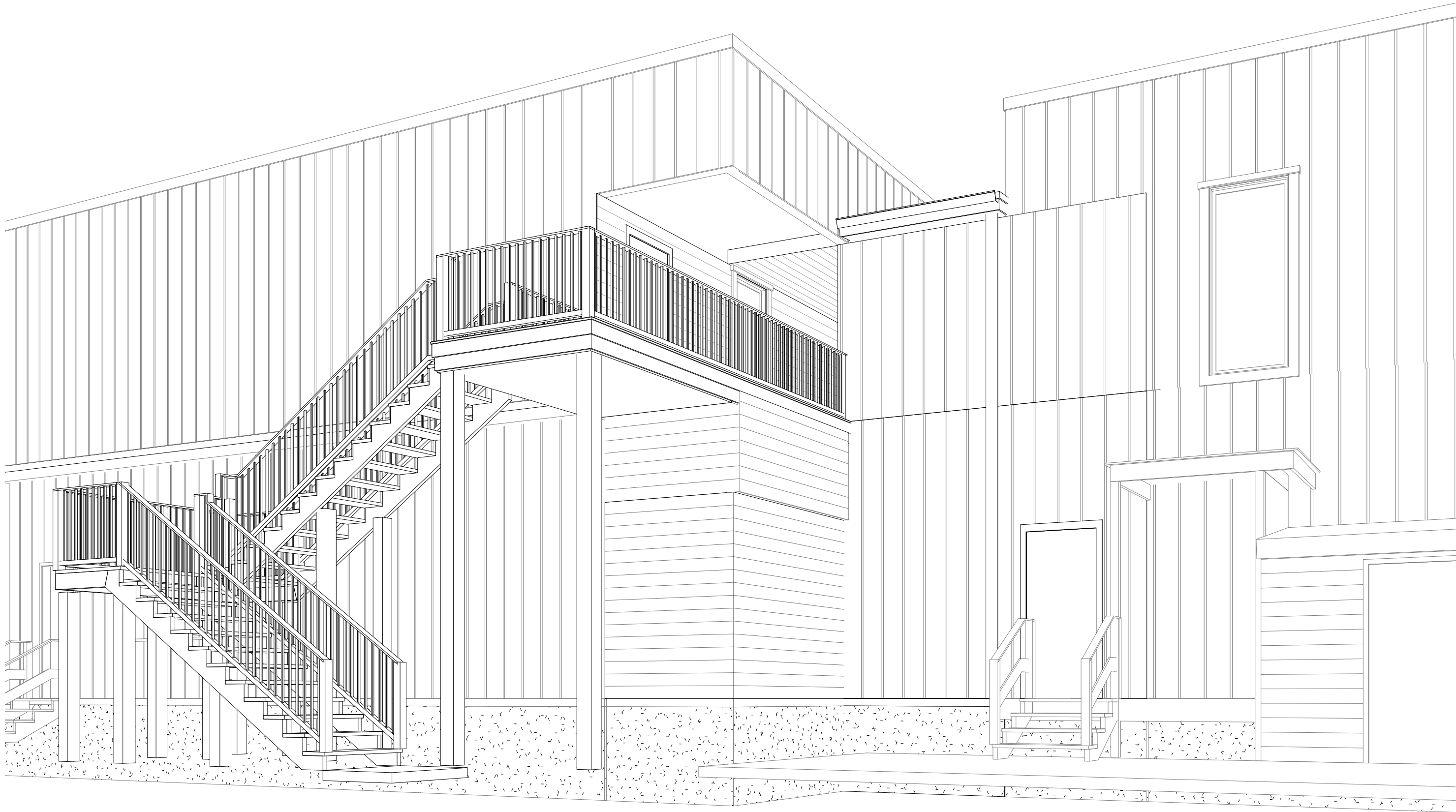
ELEVATIONS



2 3D View 2



3 3D View 3



1 3D View 1



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A302

PERSPECTIVES



1 3D View 4



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PROJECT NO.
23020

DATE
01/13/2025

DRAWN BY
B. ROBINSON

CHECKED BY

SHEET NO.

A303

PERSPECTIVES

SEAL

SEAL

MICHAEL ANTHONY'S
37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

REVISIONS

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PROJECT NO.
23020

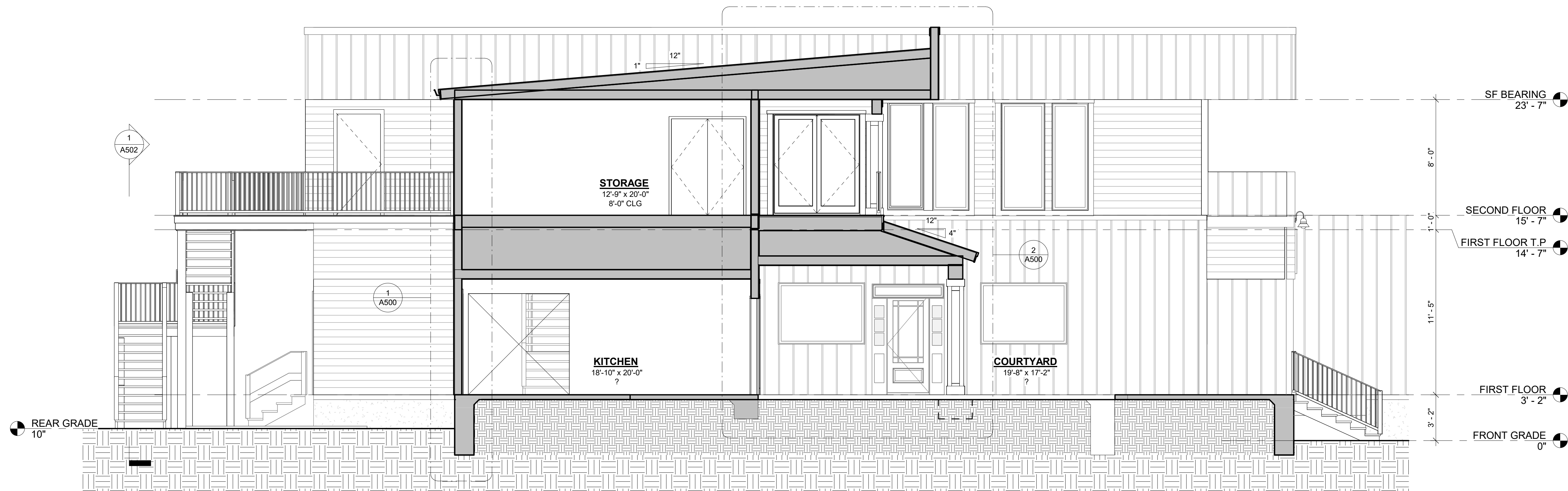
DATE
01/13/2025

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B. ROBINSON
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SHEET NO.

A400

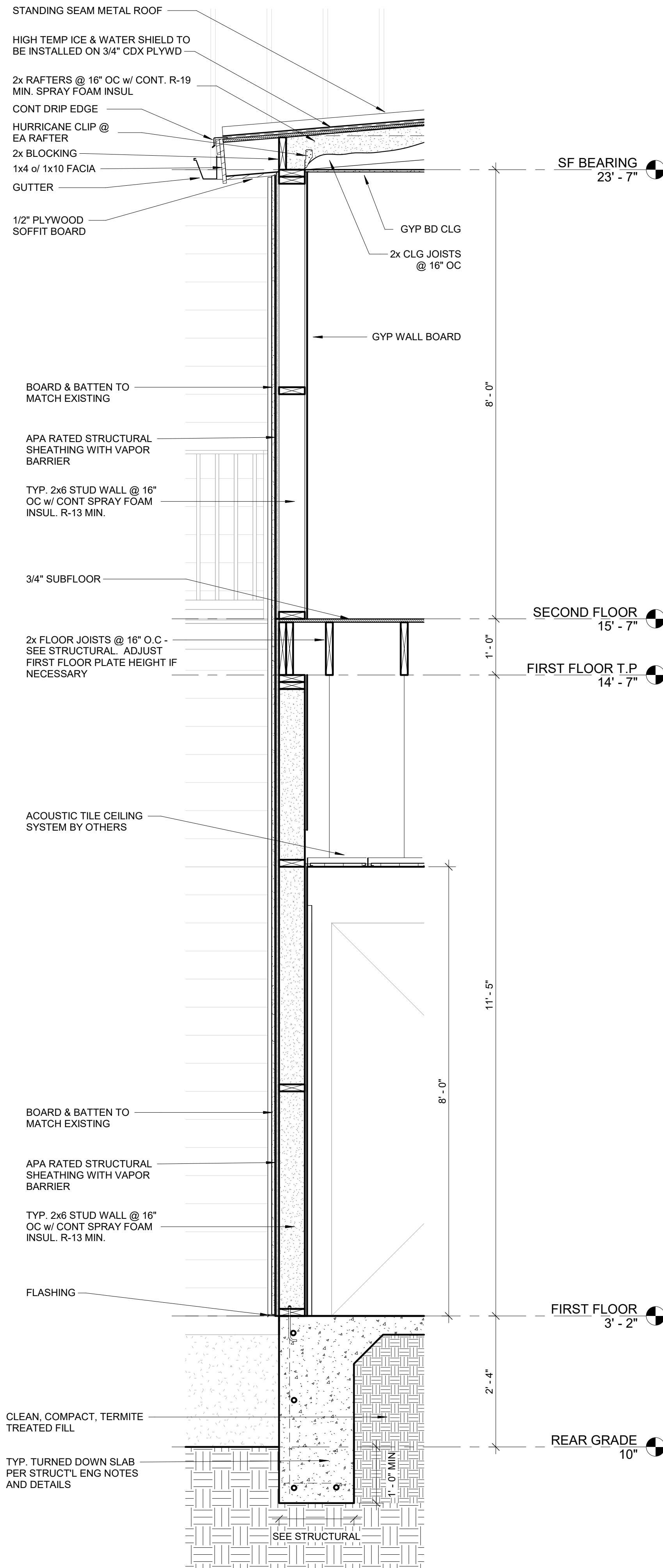
BUILDING SECTIONS



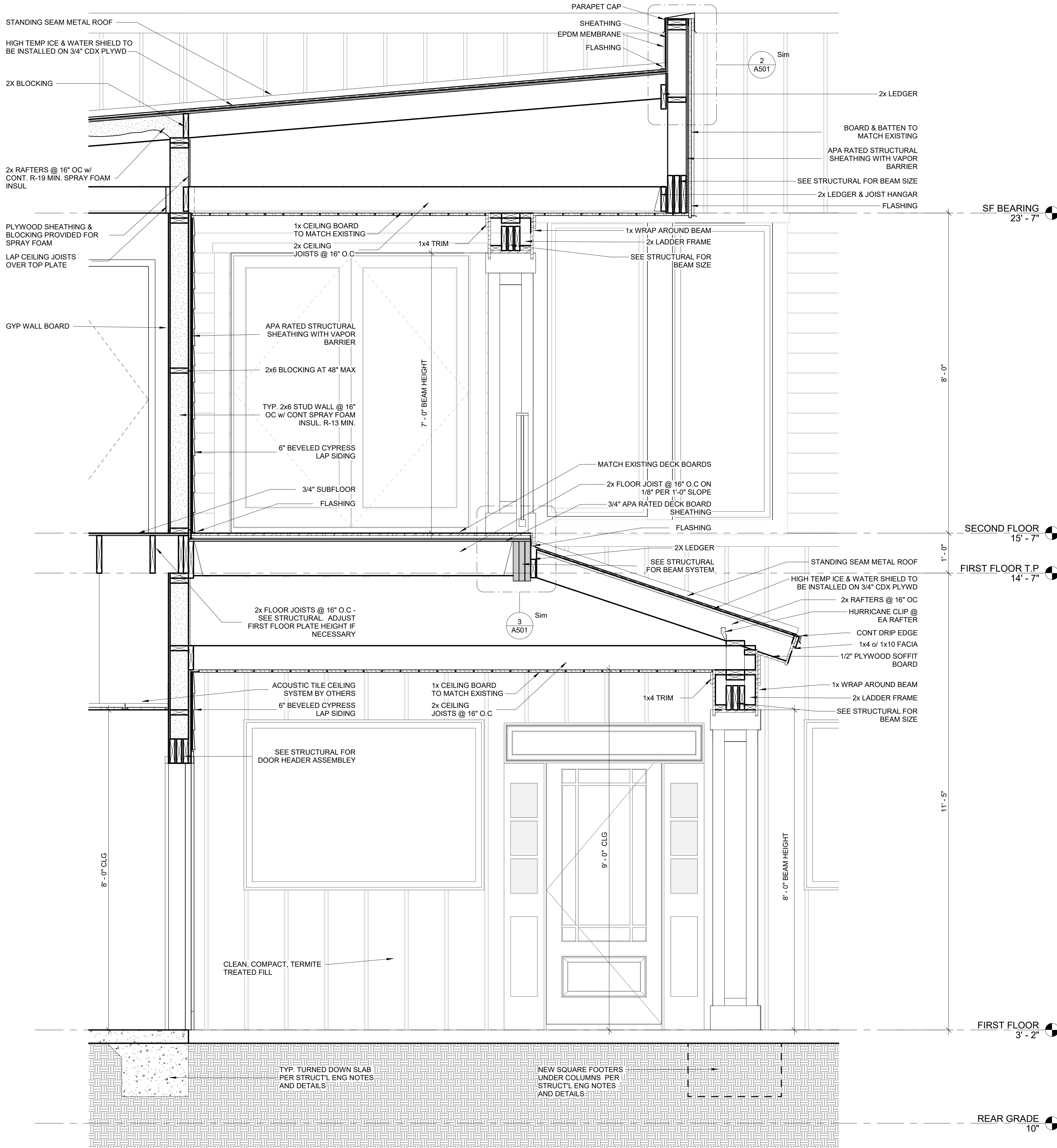
BUILDING SECTION @ BREEZEWAY &
RECEIVING
①
1/4" = 1'-0"



BUILDING SECTION @ BREEZEWAY &
RECEIVING CAFE SIDE
②
1/4" = 1'-0"



1 BUILDING SECTION @ BREEZEWAY & RECEIVING - Callout 1
3/4" = 1'-0"



2 BUILDING SECTION @ BREEZEWAY & RECEIVING - Callout 2
3/4" = 1'-0"



SEAL

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MICHAEL ANTHONY'S
37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

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23020

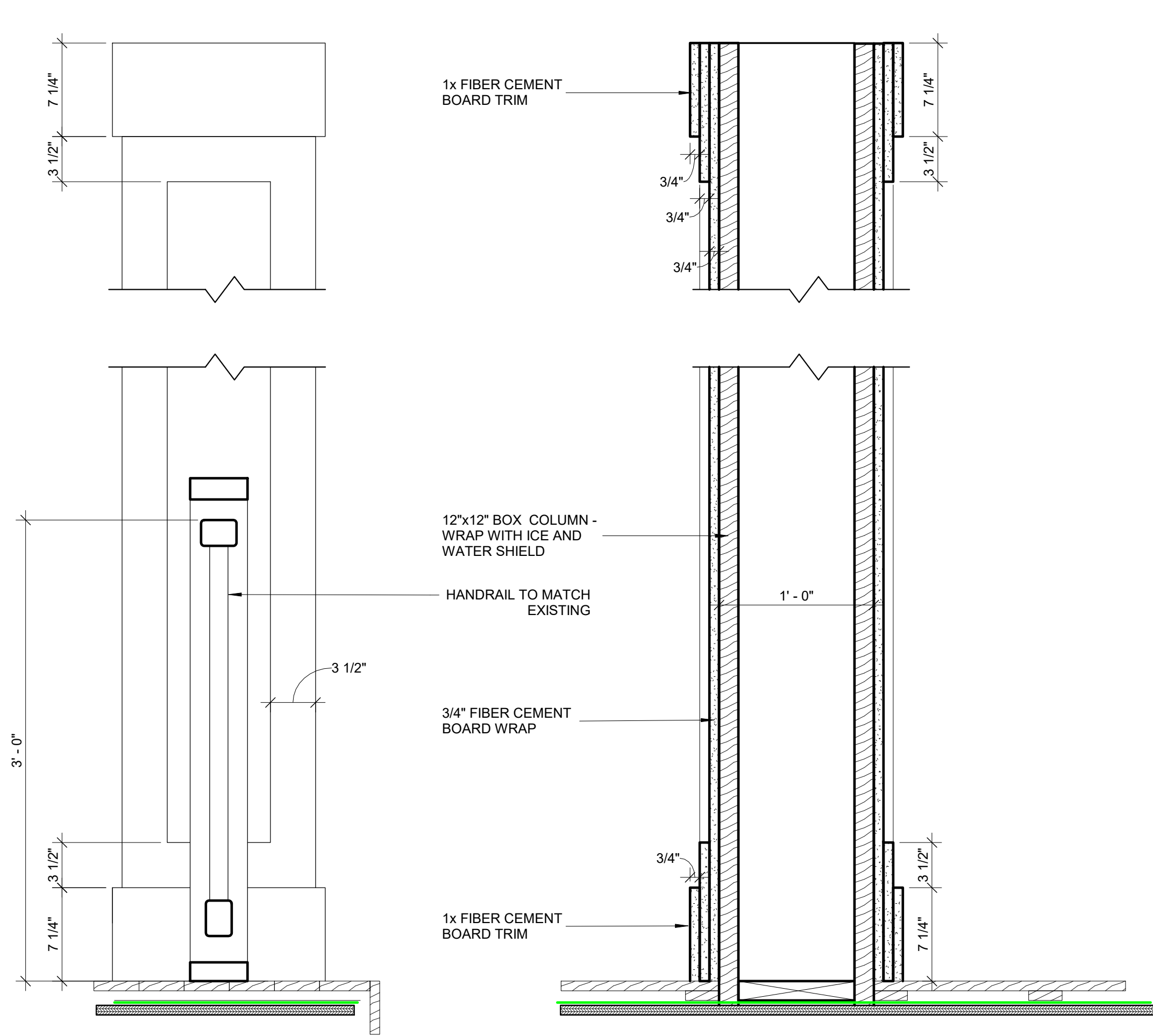
DATE
01/13/2025

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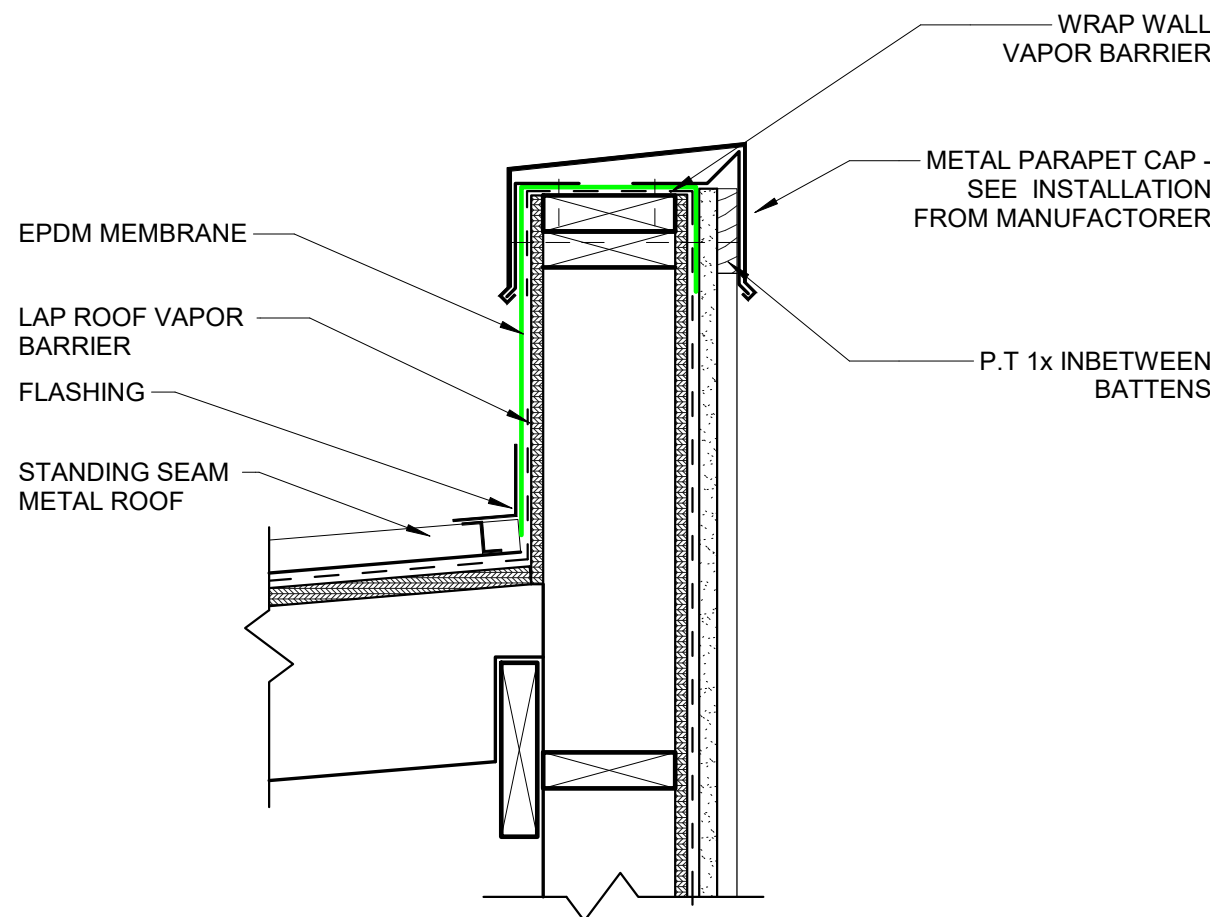
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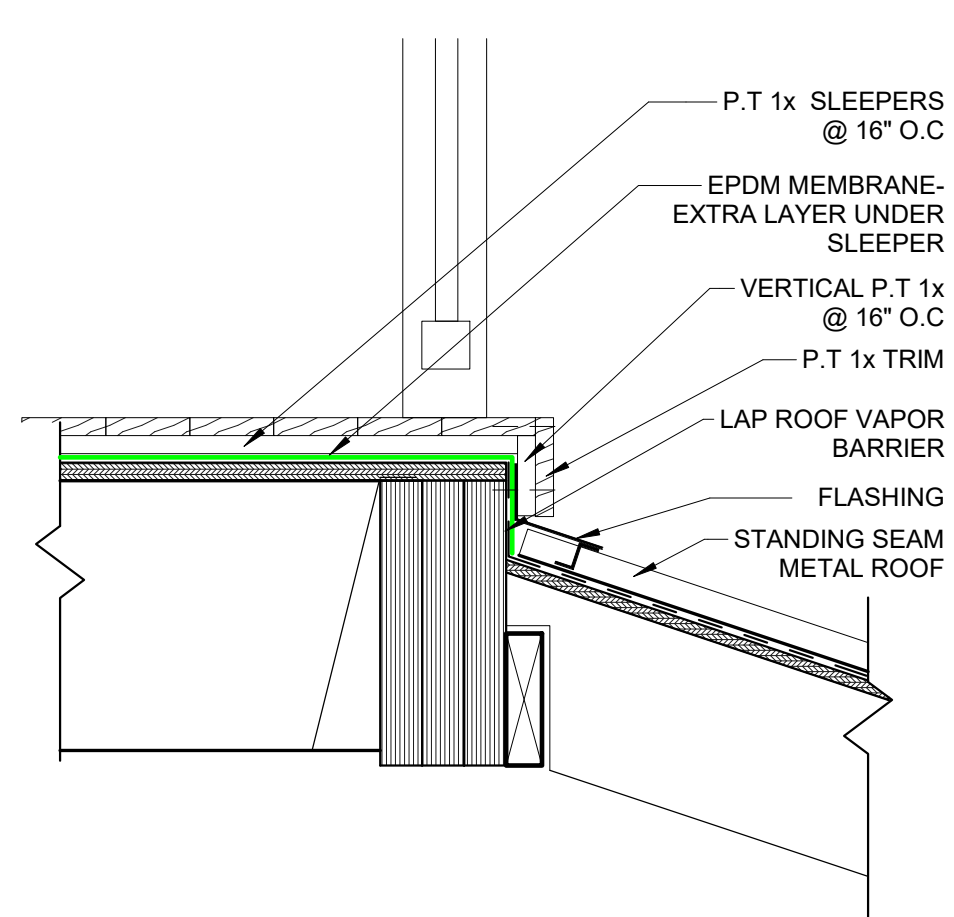
WALL SECTIONS



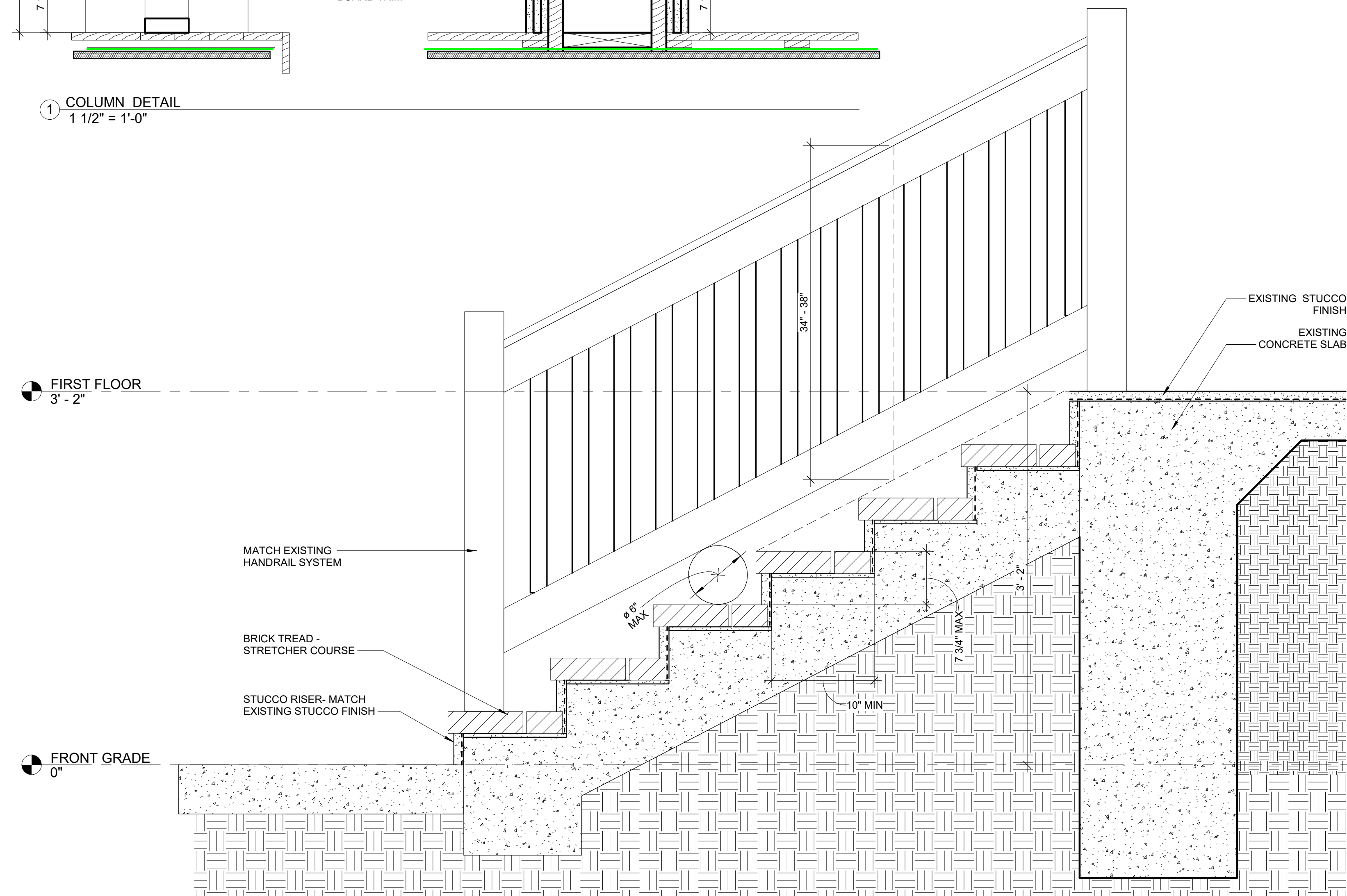
1 COLUMN DETAIL
1 1/2" = 1'-0"



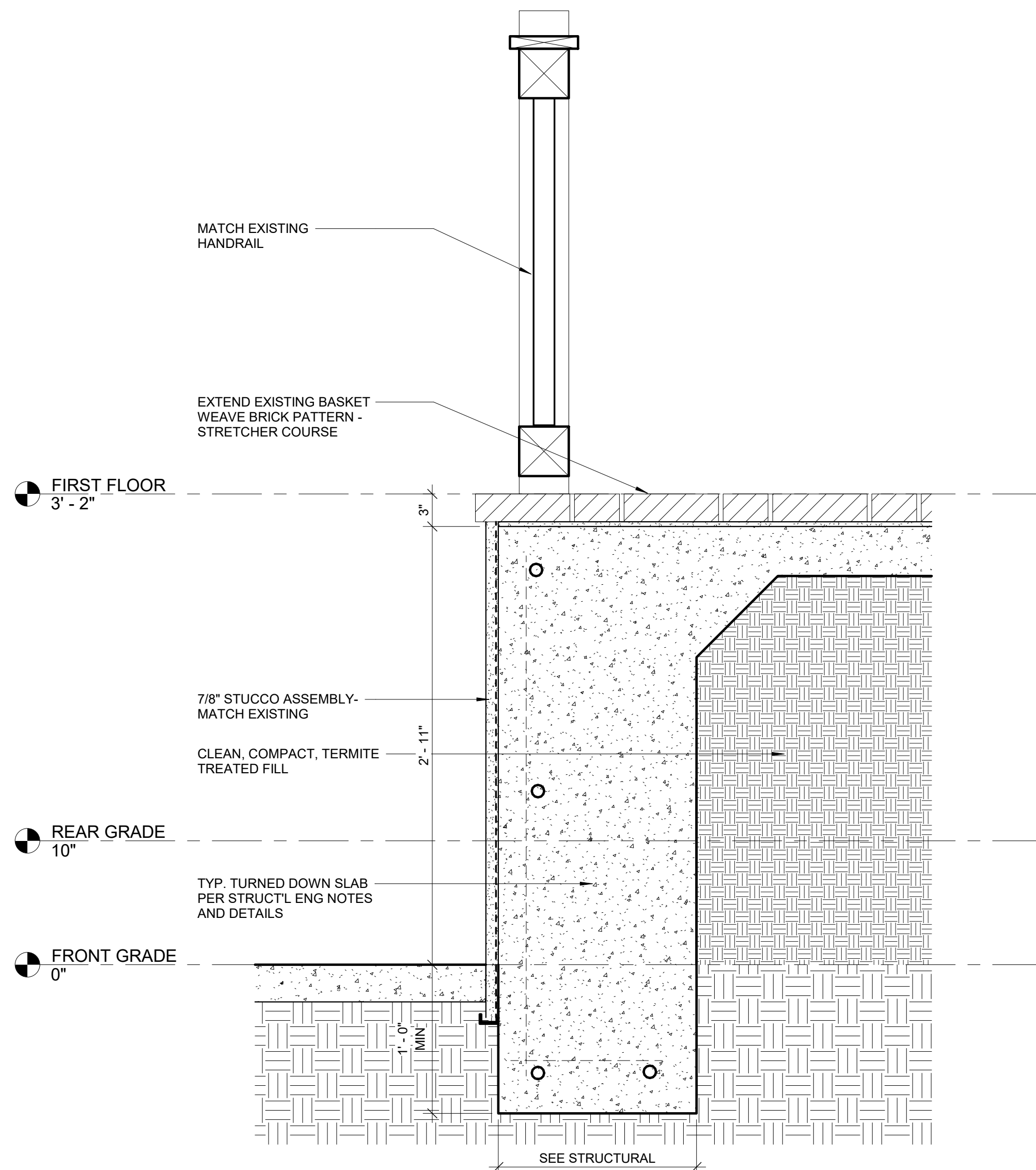
2 PARAPET DETAIL
1 1/2" = 1'-0"



3 PORCH DECK / ROOF JUNCTION
1 1/2" = 1'-0"



4 NEW STAIR DETAIL
1 1/2" = 1'-0"



5 NEW TURN DOWN SLAB DETAIL
1 1/2" = 1'-0"



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37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

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01/13/2025
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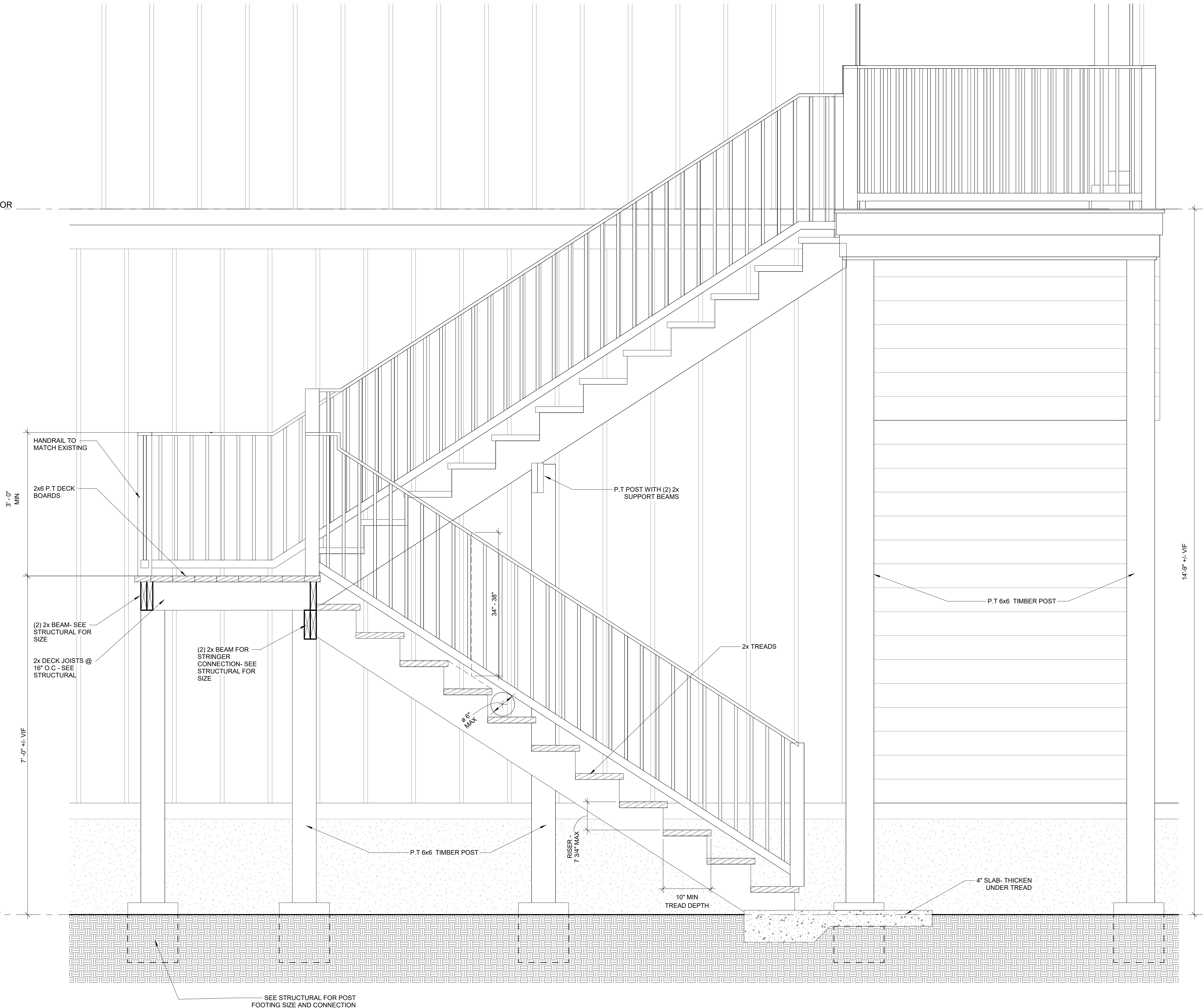
SHEET NO.

A501

SECTION DETAILS

SECOND FLOOR
15' - 7"

REAR GRADE
10"



1 STAIR SECTION
1" = 1'-0"



SEAL

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MICHAEL ANTHONY'S
37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

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PROJECT NO.
23020

DATE
01/13/2025

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SHEET NO.

A502

SECTION DETAILS



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37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

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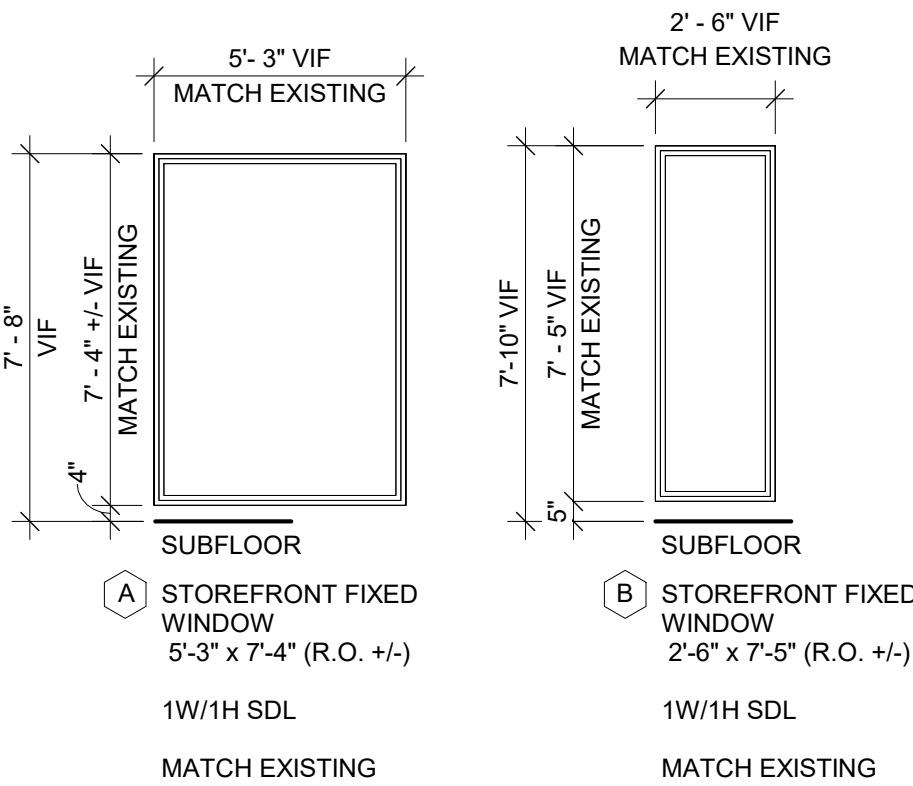
PROJECT NO.
23020
DATE
01/13/2025
DRAWN BY
B. ROBINSON
CHECKED BY

SHEET NO.
A600

DOOR & WINDOW
SCHEDULE

DOOR SCHEDULE										
Door						Frame		Finish		Hardware
Mark	Width	Height	Thickness	Material	Type	Material	Type	Door	Frame	
E01	6' - 0"	6' - 8"	1 3/4"	WD	DOUBLE EXTERIOR FLUSH PANEL DOOR- STOREFRONT					SEE ELEVATIONS
E02	3' - 0"	7' - 0"	2"		EXTERIOR FLUSH PANEL DOOR					SEE ELEVATIONS
E03	3' - 0"	7' - 0"	2"		EXTERIOR FLUSH PANEL DOOR					SEE ELEVATIONS
E10	5' - 0"	6' - 8"	1 3/4"	WD	DOUBLE EXTERIOR FLUSH PANEL DOOR- STOREFRONT					SEE ELEVATIONS
E11	6' - 0"	7' - 0"	1 3/4"		DOUBLE FRENCH DOOR WITH FULL GLASS					SEE ELEVATIONS
E12	6' - 0"	7' - 0"	1 3/4"		DOUBLE FRENCH DOOR WITH FULL GLASS					SEE ELEVATIONS
E13	3' - 0"	7' - 0"	2"		EXTERIOR FLUSH PANEL DOOR					SEE ELEVATIONS
8	3' - 0"	7' - 0"		-	DOOR OPENING					
4	2' - 0"	6' - 8"		-	DOOR OPENING					
5	0"	0"		-	DOOR OPENING					
6	3' - 0"	7' - 0"	2"		INTERIOR FLUSH PANEL DOOR					
7	3' - 0"	7' - 0"		-	DOOR OPENING					
9	4' - 0"	7' - 0"		-	DOOR OPENING					
14	2' - 0"	6' - 8"		-	DOOR OPENING					

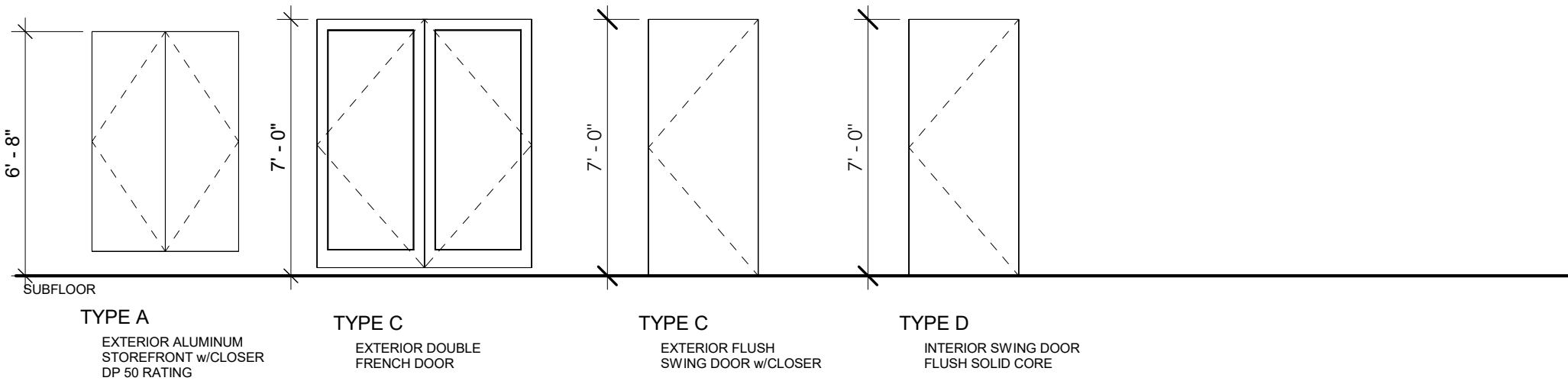
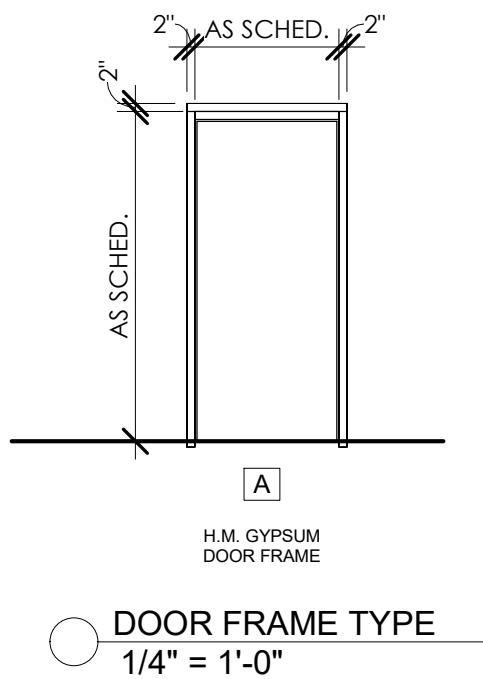
WINDOW SCHEDULE						
Type Mark	Type Comments	Width	Height	Head Height	Count	Comments
A	STORE FRONT FIXED WINDOW	5' - 3"	7' - 4"	7' - 8"	2	MATCH EXISTING
B	STORE FRONT FIXED WINDOW	2' - 6"	7' - 5"	7' - 10"	2	MATCH EXISTING



WINDOW SCHEDULE NOTES:

- PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANT GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION 1609.2 OF THE 2018 INTERNATIONAL BUILDING CODE. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.
- DESIGN PRESSURE TO BE DP50 RATING OR APPROVED EQUAL BY G.C./STRUCTURAL ENGINEER AND SHOULD COMPLY W/ ALL APPLICABLE BUILDING CODES & REGULATORY REQUIREMENTS.
- U VALUE AND SHGC TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS. ASSUME MAXIMUM U VALUE OF 0.5 AND MAXIMUM SHGC VALUE OF 0.25 FOR EAST, SOUTH & WEST FACING WINDOWS AND 0.33 FOR NORTH FACING WINDOWS PER IECC TABLE C402.4.
- G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURER'S SPECIFICATIONS.
- G.C. TO PREPARE OPENINGS PER ASTM E2112-07.
- IF SUBSTITUTIONS ARE MADE TO UNIT SIZES IN THE FIELD, THE G.C./OWNER SHOULD COORDINATE ROUGH OPENING SIZES WITH MANUFACTURERS SPECIFICATIONS.
- ALL DIVIDED LITES TO BE SIMULATED DIVIDE LITES (SDL).

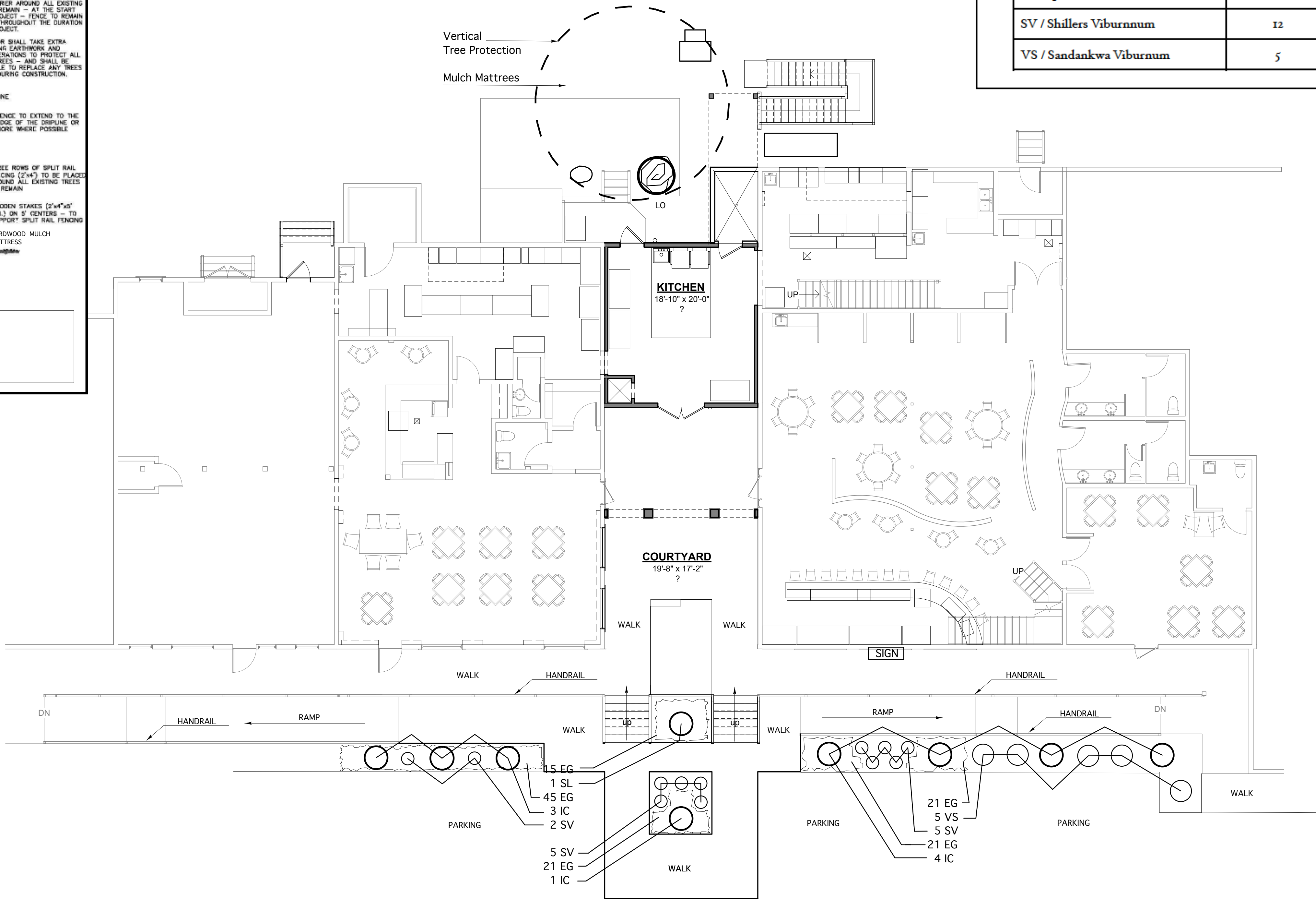
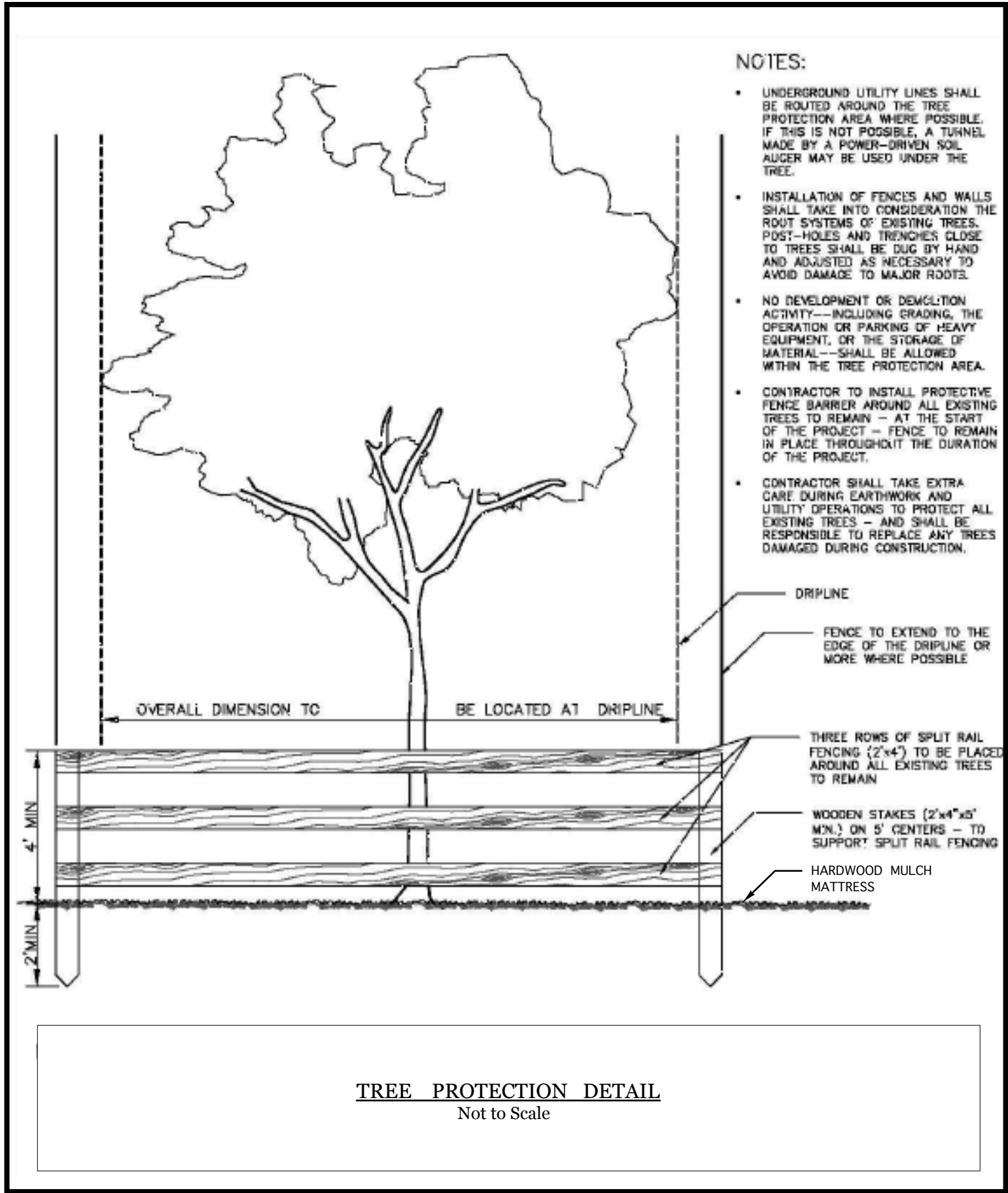
WINDOW ELEVATIONS
1/4" = 1'-0"



DOOR SCHEDULE NOTES:

- PROVIDE WOOD STRUCTURAL PANELS, IMPACT PANELS OR IMPACT RESISTANT GLAZING FOR OPENING PROTECTION AT ALL NEW WINDOWS, SKYLIGHTS AND DOORS IN ACCORDANCE W/ SECTION 1609.2 OF THE 2021 INTERNATIONAL BUILDING CODE. ALL PANELS MUST BE PRECUT, LABELED AND STORED ON SITE.
- DESIGN PRESSURE TO BE DP50 RATING OR APPROVED EQUAL BY G.C./STRUCTURAL ENGINEER AND SHOULD COMPLY W/ ALL APPLICABLE BUILDING CODES & REGULATORY REQUIREMENTS.
- U VALUE AND SHGC TO COMPLY W/ ALL APPLICABLE ENERGY CODES, BUILDING CODES AND REGULATORY REQUIREMENTS. ASSUME MAXIMUM U VALUE OF 0.83 FOR ENTRY DOORS AND MAXIMUM SHGC VALUE OF 0.4 PER IECC TABLE C402.4.
- G.C. TO COORDINATE ROUGH OPENINGS PER MANUFACTURERS SPECIFICATIONS.
- G.C. TO PREPARE OPENINGS PER ASTM E2112-07.
- IF SUBSTITUTIONS ARE MADE TO UNIT SIZES IN THE FIELD, THE G.C./OWNER SHOULD COORDINATE ROUGH OPENING SIZES WITH MANUFACTURERS SPECIFICATIONS.
- ALL FLUSH WOOD DOORS SHALL BE SOLID CORE 5 OR 7 STAVE CONSTRUCTION WITH GRADE 'A' FACES MATCHING. SPECIES TO BE SELECTED BY OWNER.
- KEY ALL DOORS TO OWNER'S REQUIREMENTS. CONDUCT PREINSTALLATION CONFERENCE WITH OWNER TO DETERMINE KEYING & SECURITY REQUIREMENTS. COORDINATE ACCESS CONTROL WITH OWNER.
- ALL DOOR OPENING HARDWARE & THRESHOLDS TO BE 2010 ADA COMPLIANT.

DOOR ELEVATIONS
1/4" = 1'-0"



LANDSCAPE DEVELOPMENT

as seen on the

FIRST FLOOR - OVERALL BUILDING

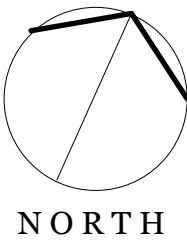
1 PLAN
1/8" = 1'-0"

PLAN NOTES

- The site is to be graded to provide run-off to drain inlets and / or swales as needed to prevent ponding or erosion.
- All existing / new plantings and lawn are to be automatically irrigated with 100% coverage and controlled with a 'rain sensor.'
- All existing / new plantings as well as unplanted areas are to be covered with pine needle with a thickness of no less than four inches.

PLANT LIST

SYMBOL / NAME	QUANTITY	SIZE
EG / Evergreen Giant Liriope	123	1 - 1.5' height
IC / Italian Cypress	8	10 - 12' height
SL / Split-leaf Philodendron	1	2.5 - 3s' height
SV / Shillers Viburnnum	12	2 - 2.5' height
VS / Sandankwa Viburnum	5	3 - 3.5' height



SEAL

SEAL

MICHAEL ANTHONY'S

37 NEW ORLEANS RD
HILTON HEAD ISLAND, SC 29928

REVISIONS

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PROJECT NO.
23020

DATE
03/04/2024

DRAWN BY
B.ROBINSON

CHECKED BY

SHEET NO.

A100

ARCHITECTURAL
SITE PLAN

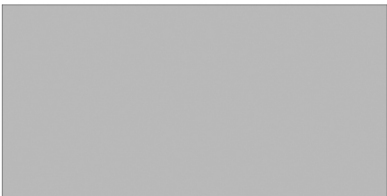


Jackson & Small Associates
Landscape Architecture

Alan H. Jackson IIc
Island Postal Center
13 Bow Circle PMB 209
Hilton Head Island, SC 29928
8433383017 Ajax16@mac.com

Michael S. Small IIc
PO Box 1788
Tybee Island, GA 31328
9127041118
MichaelSmall.asla@gmail.com

01/20/25



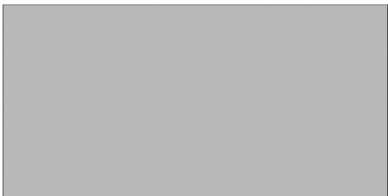
SIDING

WOOD SIDING TO MATCH KIND FOR KIND
MATCH EXISTING
ESSENTIAL GRAY - SW 6002



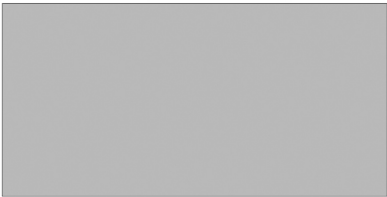
ROOF

STANDING SEAM METAL
4M METALS OR EQ
SLATE GRAY



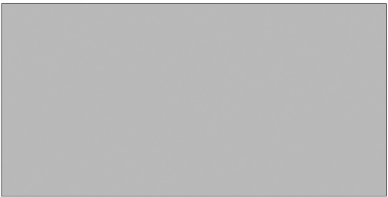
DOORS

VINYL / FIBERGLAS
THERMA-TRU OR EQ
ESSENTIAL GRAY - SW 6002



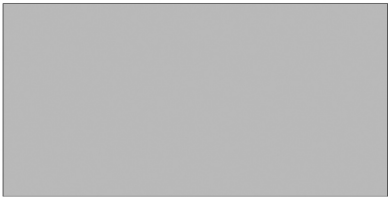
TRIM

PT WD TO MATCH
ESSENTIAL GRAY - SW 6002



WINDOWS

VINYL
JELDWEN
ESSENTIAL GRAY - SW 6002



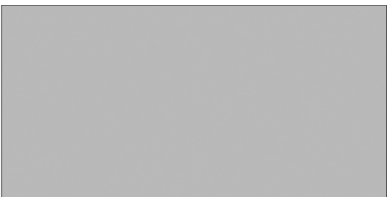
HANDRAILS

PT WD
MATCH EXISTING
ESSENTIAL GRAY - SW 6002



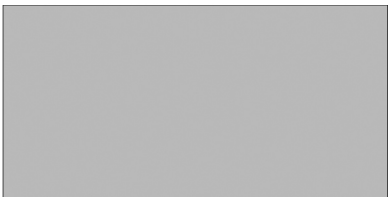
ENTRY DOOR

WOOD, STAINED
MAHOUGHANY



FOUNDATION

STUCCO W/ PLASTER FINISH
MATCH EXISTING
ESSENTIAL GRAY - SW 6002



COLUMNS

WD BOX COLUMN, WRAPPED W/ HARDIE
MATCH EXISTING
ESSENTIAL GRAY - SW 6002



TRIM ACCENT

CUSTOM COLOR TO MATCH EXISTING



MICHAEL ANTHONYS
ITALIAN CUCHINA
37 NEW ORLEAN'S RD
HILTON HEAD ISLAND, SC 29928

COLOR BOARD

Project number	23028	CB-01
Date	01-14-2025	
Drawn by	B ROBINSON	
Checked by	B ROBINSON	



EMBLEM 12" GOOSENECK WALL LIGHT

GNB121



FEATURES + BENEFITS

- Metal RLM shades are spun from heavy duty aluminum.
- Polyester powder coat finish provides color retention and scratch resistance.
- White powder coat shade interior for maximum light output.
- Painted Galvanized finish has Painted Galvanized shade interior.
- Dimmable with a dimmable bulb and compatible dimmer (not included).
- UL Listed for Wet Location.
- Warranty: Limited 1 Year.
- Made in USA.

SPECIFICATIONS

Product Dimensions:

Width 12", Height 20 3/4", Depth 25 1/8", Canopy Dia. 4 5/8"

Lamping:

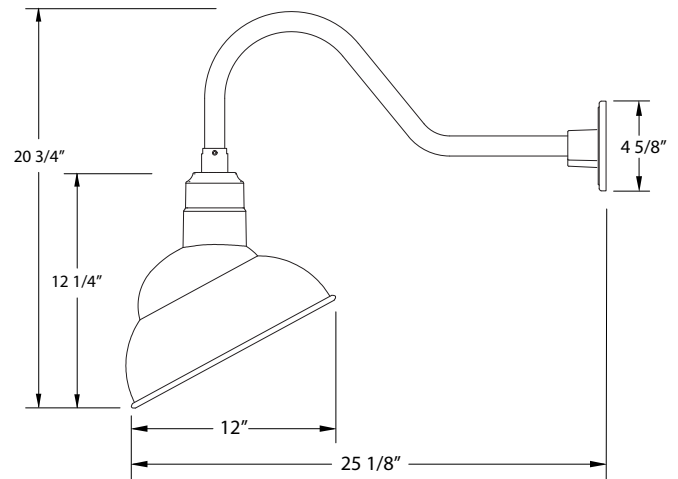
100W Medium Base per socket

Options:

- Finish: 40-Slate Gray, 41-Black, 42-Forest Green, 44-White Gloss, 48-Sea Green, 49-Painted Galvanized, 50-Navy, 51-Architectural Bronze, 54-Light Blue, 55-Barn Red
- Integrated LED: L12-10W, 800 Lumen, 95CRI, Adjustable CCT.
- Other Accessories: B01-Decorative Backplate Cover, S03-Swivel, W12-Wire Grill

Shipping:

At Montclair Light Works we proudly manufacture, assemble, and ship your lamp within 3 weeks from our factory in Montclair CA.



JOB/LOCATION

QUANTITY

DATE

NOTES

**Michael Anthony's Restaurant
37 New Orleans Road
Staff Comments
January 18, 2025
DRB-000079-2025**

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 37 New Orleans Road – Michael Anthony’s Restaurant

DRB-000079-2025

DATE: 1/28/2025

CATEGORY: Final

RECOMMENDATION: Approval ☒ Approval with Conditions ☐ Denial ☐

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	☒	☐	☐	
Existing Conditions match As-Built	☒	☐	☐	
Dimensioned Details and of Sections	☒	☐	☐	
Detail Illustrating Connection to Existing Structure	☒	☐	☐	
New Building Details Match Existing Building Details	☒	☐	☐	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	☒	☐	☐	
Promotes pedestrian scale and circulation	☒	☐	☐	
Design is unobtrusive and set into the natural environment	☒	☐	☐	
Utilizes natural materials and colors	☒	☐	☐	
Avoids distinctive vernacular styles	☒	☐	☐	
Design is appropriate for its use	☒	☐	☐	
All facades shall have equal design characteristics	☒	☐	☐	

Avoids monotonous planes or unrelieved repetition	☒	☐	☐	
Has a strong roof form with enough variety to provide visual interest	☒	☐	☐	
Overhangs are sufficient for the façade height.	☒	☐	☐	
Forms and details are sufficient to reduce the mass of the structure	☒	☐	☐	
Human scale is achieved by the use of proper proportions and architectural elements	☒	☐	☐	
Utilizes a variety of materials, textures and colors	☒	☐	☐	
Incorporates wood or wood simulating materials	☒	☐	☐	
Windows are in proportion to the facade	☒	☐	☐	
Details are clean, simple and appropriate while avoiding excessive ornamentation	☒	☐	☐	
Utilities and equipment are concealed from view	☒	☐	☐	
Decorative lighting is limited and low wattage and adds to the visual character	☒	☐	☐	
Accessory elements are designed to coordinate with the primary structure	☒	☐	☐	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	☒	☐	☐	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	☒	☐	☐	
Landscape is designed so that it may be maintained in its natural shape and size	☒	☐	☐	
Preserves a variety of existing native trees and shrubs	☒	☐	☐	
Provides for a harmonious setting for the site's structures, parking areas or other construction	☒	☐	☐	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	☒	☐	☐	
Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable elements of the project	☒	☐	☐	
A variety of species is selected for texture and color	☒	☐	☐	
Provides overall order and continuity of the Landscape plan	☒	☐	☐	

Native plants or plants that have historically been prevalent on the Island are utilized	☒	☐	☐	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	☒	☐	☐	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	☒	☐	☐	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	☒	☐	☐	
Proposed groundcovers are evergreen species with low maintenance needs	☒	☐	☐	
Large, grassed lawn areas encompassing a major portion of the site are avoided	☒	☐	☐	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	☐	☐	☒	
Ornamentals and Annuals are limited to entrances and other focal points	☒	☐	☐	

NATURAL RESOURCE PROTECTION				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	☒	☐	☐	
Supplemental and replacement trees meet LMO requirements for size, species and number	☒	☐	☐	
Wetlands if present are avoided and the required buffers are maintained	☐	☐	☒	
Sand dunes if present are not disturbed	☐	☐	☒	

COMMENTS & CONDITIONS
1. Staff recommends approval of the final review of Michael Anthony’s Final submittal with the following condition:
2. Any additional information as required by the Board.

**Novant Health
Hilton Head Hospital
25 Hospital Center Blvd.
Sign System
Design Review**

January 28, 2025



Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, SC 29928
Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY

Date Received: _____
Accepted by: _____
DRB #: _____
Meeting Date: _____

Applicant/Agent Name: Wendi Ferguson Company: Lockwood Identity Inc /dba SignArt
Mailing Address: PO BOX 560648 City: Charlotte State: NC Zip: 28256
Telephone: 704-597-9801 Fax: _____ E-mail: wendi@signartsign.com
Project Name: Novant Health Hilton Head Hospital Project Address: 25 Hospital Center Blvd, Hilton Head Island
Parcel Number [PIN]: R5 1 0 0 0 8 0 0 0 1 0 3 A 0 0 0 0
Zoning District: Medical Overlay District(s): Partial District ROW Arterial

**CORRIDOR REVIEW, MAJOR
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:

_____ Concept Approval – Proposed Development
_____ Final Approval – Proposed Development

Alteration/Addition

☒ Sign

Submittal Requirements for ***All*** projects:

_____ Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

☒ **Filing Fee:** Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, **Signs \$25**; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- _____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- _____ Final site development plan meeting the requirements of Appendix D: D-6.F.
- _____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- _____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- _____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- _____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- ☒ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- ☒ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- ☒ Proposed landscaping plan.

For wall signs:

- ☒ Photograph or drawing of the building depicting the proposed location of the sign.
- ☒ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. ☐ YES ☒ NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Wendi Ferguson
SIGNATURE

01/09/25
DATE

**Novant Health
Hilton Head Hospital
25 Hospital Center Blvd.
Sign System
Project Narrative**

At Hilton Head Hospital, we've long prided ourselves on our commitment to compassionate care – and that starts with ensuring patients can easily find their way in our facility. Now as part of Novant Health, we have embarked on a significant rebranding and navigational enhancement project that will improve our patients' experience even more.

The updates include changes to the identification signage to reflect the integration of Hilton Head Hospital into the Novant Health Family, alongside a name change to Novant Health Hilton Head Medical Center, and a major overhaul aimed at improving wayfinding for patients and visitors.

We began our project with a thorough assessment of the current directional signage, which was found to be confusing and outdated, making it hard for patients and visitors to navigate our campus. To change this, we focused our design on what we term “journeys.”

The first wayfinding journey focused on the path to the emergency department. Easily readable signs were strategically placed at every key intersection leading from the main entry point off Beach City Road to the emergency entrance. These signs not only used large, clear fonts but also colored panels, ensuring that even in a stressful situation, individuals could quickly locate emergency services.

For the second journey to doctors' offices and outpatient surgery areas, and the third journey for visitor arrival, the signage clearly indicates the parking and patient drop-off and pickup areas.

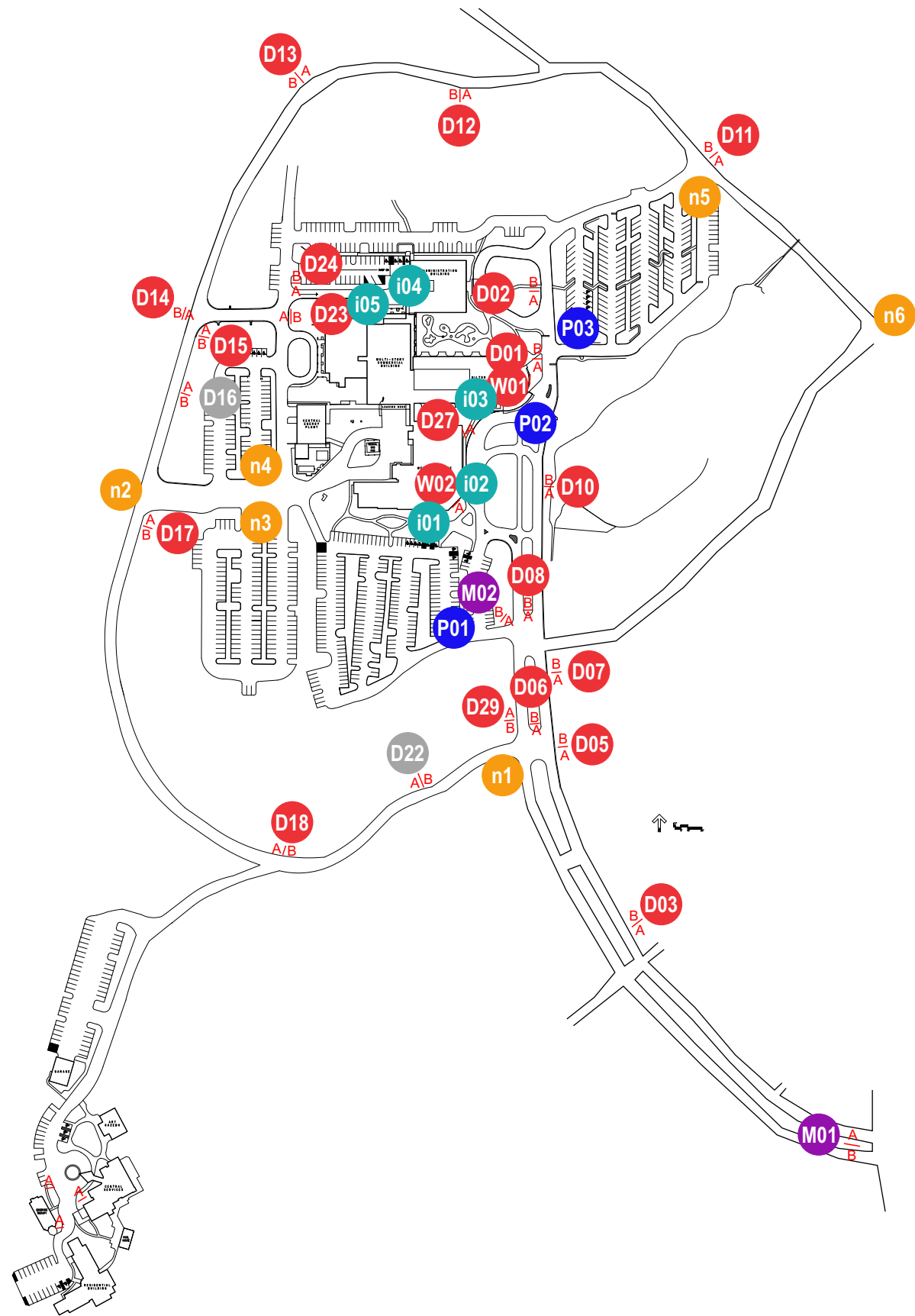
The fourth journey relates to passage along Bill Fries Drive and incorporates the elements of the first three journeys as well as directives for leaving the campus to reach Highway 278.

We also transformed our hospital identity with a signage system that takes into account the materials and shapes of related buildings on our campus – and which signals local pride by incorporating nature-based colors and our island's unique character.

By the end of the signage update, Hilton Head Hospital, now proudly Novant Health Hilton Head Medical Center, will be transformed with signage that bring clarity and accessibility, where every sign is a step toward healing and peace of mind.

HILTON HEAD
MAIN
SITE PLAN
Scale 1"=30'





HH001 Hilton Head Hospital Site Map Overall

Site Information

Address: 25 Hospital Center Blvd
City: Town of Hilton Head
State: SC 29926
PIN: R510 008 000 103A 0000
Zoned: Medical with Partial Overlay COW Arterial
Jurisdiction: Town of Hilton Head Island
Contact: Trey Lowe, Planner
TreyL@hiltonheadislandsc.gov
Town of Hilton Head Island
1 Town Center Court
Mount Pleasant, SC 28828
Office: 843-341-4690

Property Owner: Hilton Head Medical Center LLC
Property Owner Address: 25 HOSPITAL CENTER BLVD.
HILTON HEAD ISLAND, SC 29926

Total Acres: 15.63

SignArt
6225 Old Concord Road
Charlotte, NC 28213
P: 704.597.9801
www.signartsign.com

JOB ID: 42814
ISSUE DATE: 07/30/24
CUSTOMER: Novant Health
SALESPERSON: Randy Long
DESIGNER: Jordan Waddell

JOB LOCATION: NH Hilton Head Hospital
25 Hospital Center Blvd.
Hilton Head, SC
FILE PATH: N:\Novant Health\South Carolina\Hilton Head\25 Hospital Center Blvd- Hospital & Medical Plaza\42814 Permanent Signage

REVISIONS: 1 08/12/24 WF
2 10/30/24 WF
3 12/19/24 JA
4 12/30/24 WF
5 01/03/25 WF
6 01/07/25 WF
7

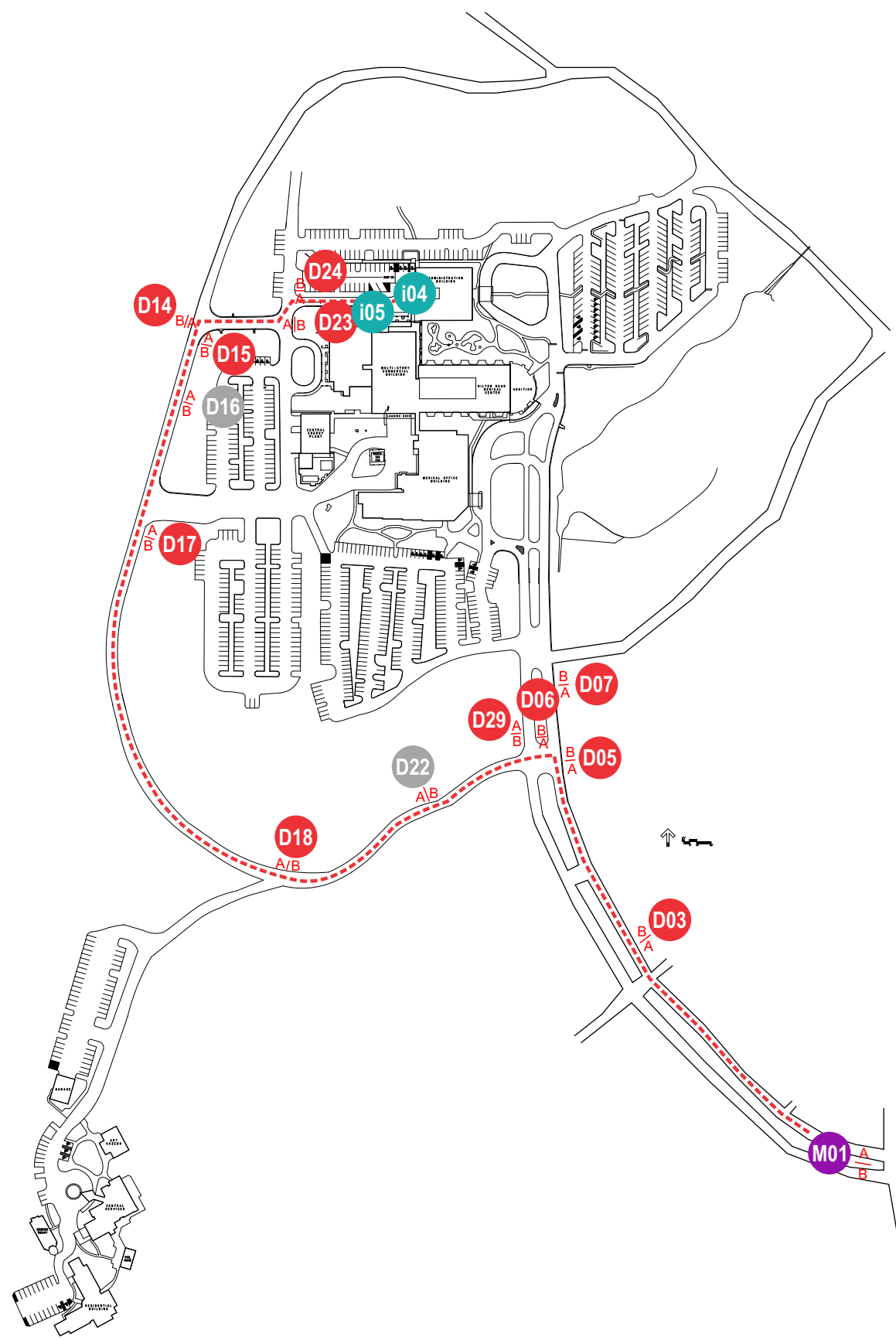
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Date:

Signature:

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HH002
Patient Journey Maps
Emergency Arrival

Site Information

Address: 25 Hospital Center Blvd
City: Town of Hilton Head
State: SC 29926
PIN: R510 008 000 103A 0000
Zoned:
Jurisdiction: Town of Hilton Head Island
Contact: Trey Lowe, Planner
TreyL@hiltonheadislandsc.gov
Town of Hilton Head Island
1 Town Center Court
Mount Pleasant, SC 28828
Office: 843-341-4690

Property Owner: Hilton Head Medical Center LLC
Property Owner Address: 25 HOSPITAL CENTER BLVD
HILTON HEAD ISLAN, SC 29926

Total Acres: 15.63

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DESIGNER: Jordan Waddell

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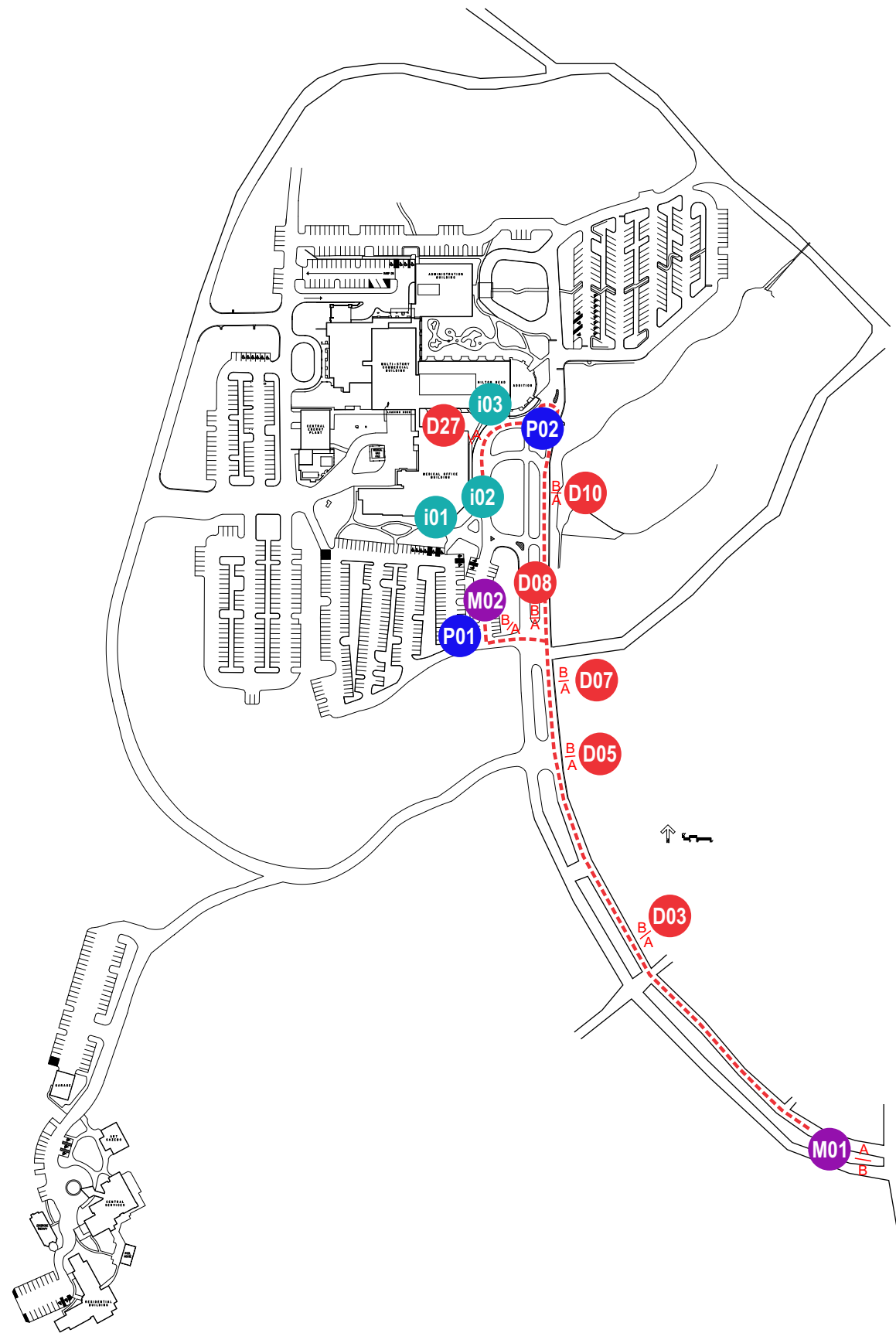
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HH003

Patient Journey Maps

Patient Arrival

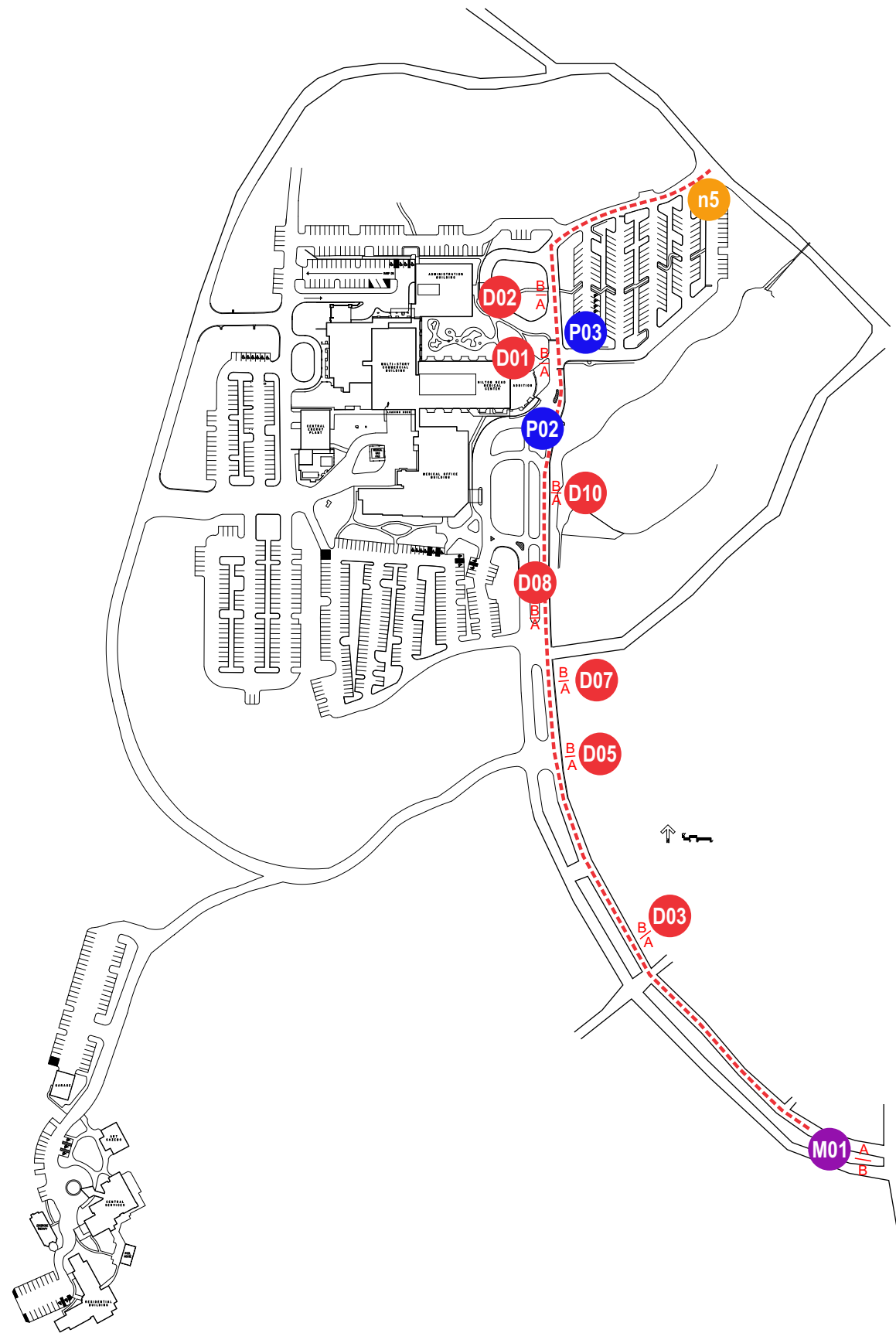
Site Information

Address: 25 Hospital Center Blvd
City: Town of Hilton Head
State: SC 29926
PIN: R510 008 000 103A 0000
Zoned:
Jurisdiction: Town of Hilton Head Island
Contact: Trey Lowe, Planner
TreyL@hiltonheadislandsc.gov
Town of Hilton Head Island
1 Town Center Court
Mount Pleasant, SC 28828
Office: 843-341-4690

Property Owner: Hilton Head Medical Center LLC
Property Owner Address: 25 HOSPITAL CENTER BLVD
HILTON HEAD ISLAN, SC 29926

Total Acres: 15.63

SignArt 6225 Old Concord Road Charlotte, NC 28213 P: 704.597.9801 www.signartsign.com	JOB ID: 42814	JOB LOCATION: NH Hilton Head Hospital	REVISIONS: 1 08/12/24 WF 2 10/30/24 WF 3 12/19/24 JA 4 12/30/24 WF 5 01/03/25 WF 6 01/07/25 WF 7	APPROVED FOR PRODUCTION Date: Signature:	NOTE: ALL SIGNS MANUFACTURED FOR 120v ELECTRICAL SERVICE UNLESS OTHERWISE NOTED PRIMARY POWER TO SIGN LOCATIONS BY OTHERS This drawing and the designs, plans, layouts and accompanying information contained herein, are the sole property of SignArt and may not be copied, recreated or distributed without the express written consent of SignArt.
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	CUSTOMER: Novant Health	Hilton Head, SC			
	SALESPERSON: Randy Long	FILE PATH: N\Novant Health\South Carolina\Hilton Head\25 Hospital Center Blvd- Hospital & Medical Plaza\42814 Permanent Signage			
	DESIGNER: Jordan Waddell				



HH004
Patient Journey Maps
Visitor Arrival

Site Information

Address: 25 Hospital Center Blvd
City: Town of Hilton Head
State: SC 29926
PIN: R510 008 000 103A 0000
Zoned:
Jurisdiction: Town of Hilton Head Island
Contact: Trey Lowe, Planner
TreyL@hiltonheadislandsc.gov
Town of Hilton Head Island
1 Town Center Court
Mount Pleasant, SC 28828
Office: 843-341-4690

Property Owner: Hilton Head Medical Center LLC
Property Owner Address: 25 HOSPITAL CENTER BLVD
HILTON HEAD ISLAN, SC 29926

Total Acres: 15.63

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Charlotte, NC 28213
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ISSUE DATE: 07/30/24
CUSTOMER: Novant Health
SALESPERSON: Randy Long
DESIGNER: Jordan Waddell

JOB LOCATION: NH Hilton Head Hospital
25 Hospital Center Blvd.
Hilton Head, SC
FILE PATH: N:\Novant Health\South Carolina\Hilton Head\25 Hospital Center Blvd- Hospital & Medical Plaza\42814 Permanent Signage

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6 01/07/25 WF
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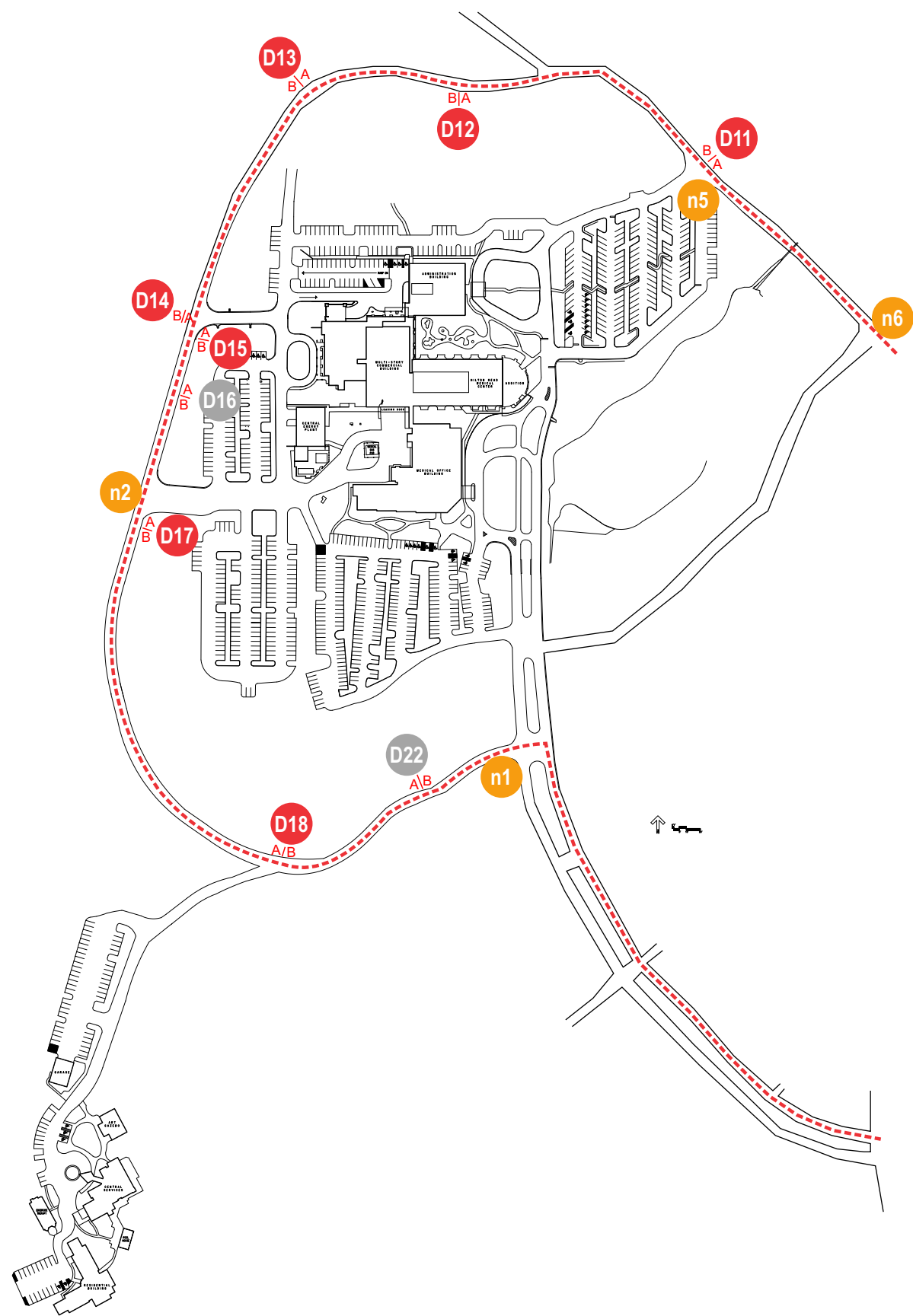
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HH005
Patient Journey Maps
Bill Fries Route and Exit

Site Information

Address: 25 Hospital Center Blvd
City: Town of Hilton Head
State: SC 29926
PIN: R510 008 000 103A 0000
Zoned:
Jurisdiction: Town of Hilton Head Island
Contact: Trey Lowe, Planner
TreyL@hiltonheadislandsc.gov
Town of Hilton Head Island
1 Town Center Court
Mount Pleasant, SC 28828
Office: 843-341-4690

Property Owner: Hilton Head Medical Center LLC
Property Owner Address: 25 HOSPITAL CENTER BLVD
HILTON HEAD ISLAN, SC 29926

Total Acres: 15.63

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SALESPERSON: Randy Long
DESIGNER: Jordan Waddell

JOB LOCATION: NH Hilton Head Hospital
25 Hospital Center Blvd.
Hilton Head, SC
FILE PATH: N\Novant Health\South Carolina\Hilton Head\25 Hospital Center Blvd- Hospital & Medical Plaza\42814 Permanent Signage

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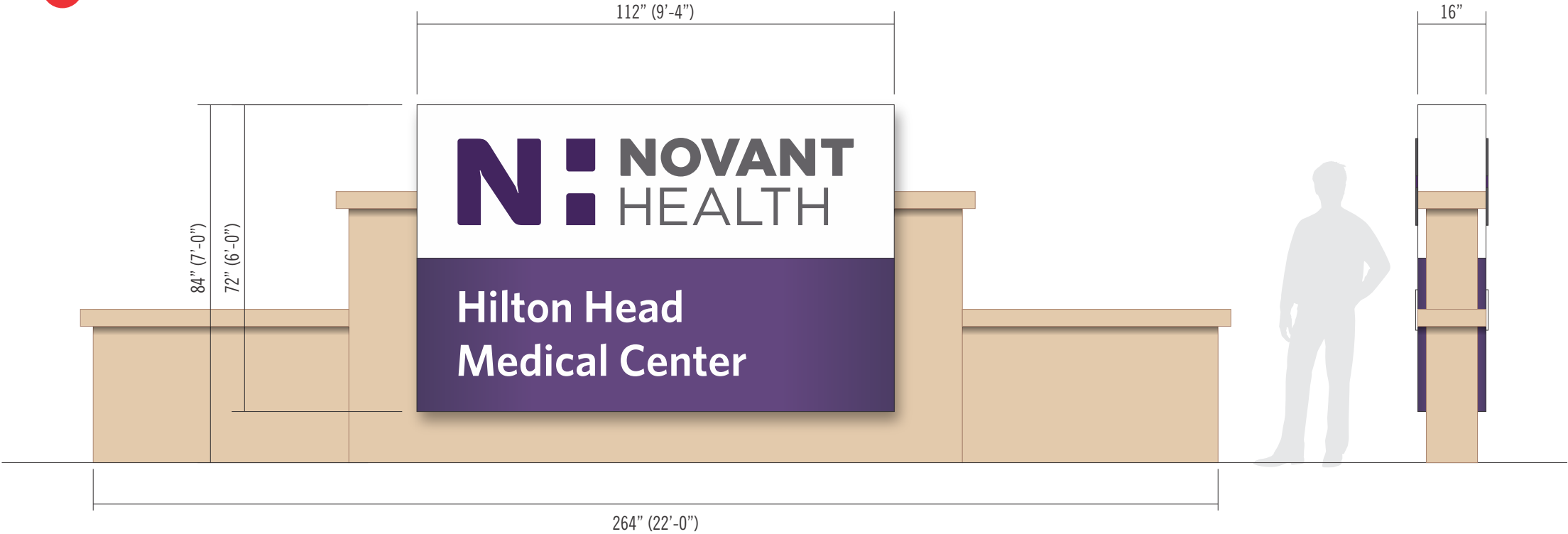
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FACE VIEW
Scale: 3/8"=1'-0"

M01



M01

Custom D/F Monument Sign
Qty: 1

SPECIFICATIONS:

1. D/F monument sign. Non-illuminated sign cabinet painted Novant standard Bright White and Aubergine. Sign cabinet mounted to structure/base. Structure/base to be painted SW 6113 Interactive Cream. Paint to have stucco textured finish. Logo/copy to be 1/2" acrylic with painted finish and stud mounted flush to cabinet. Monument to be installed in same location as previous face illuminated by existing lighting.
2. See next page for planned landscaping to work with the color palette of the sign.

COLORS & FINISHES:

- P1 = Bright White
- P2 = PMS Cool Gray 11 C
- P3 = PMS 269 C Aubergine
- P4 = SW 6113 Interactive Cream (Textured Finish)

SignArt

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Charlotte, NC 28213
P: 704.597.9801
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JOB ID: 42814
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CUSTOMER: Novant Health
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DESIGNER: Jordan Waddell

JOB LOCATION: NH Hilton Head Hospital
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Head\25 Hospital Center Blvd- Hospital &
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5 01/03/25 WF
6 01/07/25 WF
7 01/13/25 WF
8 01/22/25 WF

APPROVED FOR PRODUCTION

Date:

Signature:

NOTE: ALL SIGNS MANUFACTURED FOR 120v
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All signage to be installed in compliance with
National Electrical Code



All signage to be constructed and installed in
compliance with UL standards

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Evergreen flowers:

- Crepe myrtles flanking 1 side of the sign - *adds nice height*
- Platinum Beauty Lomandra - *for coverage and flow*
- Sunshine Ligustrum - *for contrasting color*
- **Crimson Fire Loropetlum – for color and fullness**

Seasonal flowers:

- mix of purple and white pansies annuals

MO1 Landscape Plan

Custom D/F Monument Sign
Qty: 1

SPECIFICATIONS:

1. D/F monument sign. Non-illuminated sign cabinet painted Novant standard Bright White and Aubergine. Sign cabinet mounted to structure/base. Structure/base to be painted SW 6113 Interactive Cream. Paint to have stucco textured finish. Logo/copy to be 1/2" acrylic with painted finish and stud mounted flush to cabinet. Monument to be installed in same location as previous face illuminated by existing lighting.
2. Planned landscaping to work with the color palette of the sign.

COLORS & FINISHES:

-  P1 = Bright White
-  P2 = PMS Cool Gray 11 C
-  P3 = PMS 269 C Aubergine
-  P4 = SW 6113 Interactive Cream (Textured Finish)

SignArt

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APPROVED FOR PRODUCTION

Date:

Signature:

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All signage to be installed in compliance with
National Electrical Code



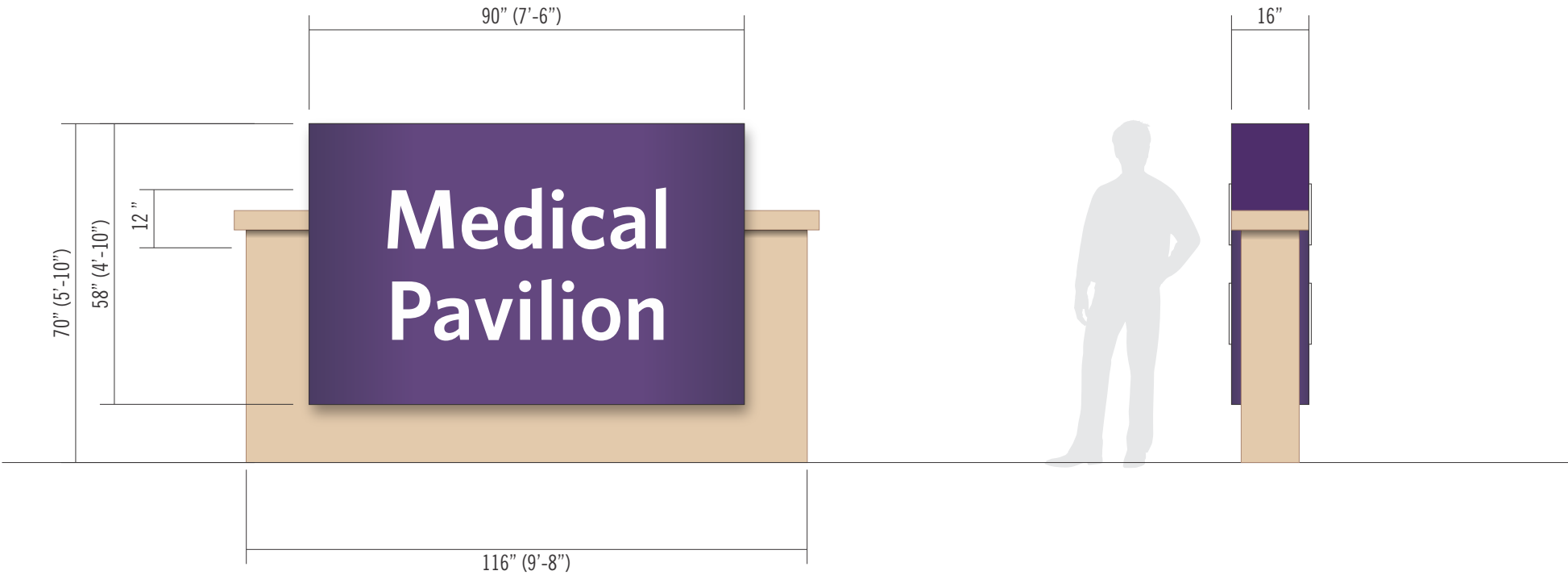
All signage to be constructed and installed in
compliance with UL standards

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FACE VIEW

Scale: 3/8"=1'-0"

M02



M02

Custom S/F Monument Sign

Qty: 1

SPECIFICATIONS:

1. D/F monument sign. Non-illuminated 1/8" thick aluminum faced sign cabinet with aluminum angle frame. Cabinet painted to match PMS 269C (Novant standard Aubergine.) Sign cabinet mounted to 4" steel post with concrete footer.
2. Structure/base to be aluminum painted to match Sherwin Williams 6113 Interactive Cream. Paint to have stucco textured finish.
3. Logo/copy to be 1/2" acrylic with painted White and stud mounted flush to cabinet.
4. Monument to be installed in same location as previous.

COLORS & FINISHES:

- P1 = Bright White
- P2 = PMS 269 C Aubergine
- P3 = SW 6113 Interactive Cream (Textured Finish)

SignArt

6225 Old Concord Road
Charlotte, NC 28213
P: 704.597.9801
www.signartsign.com

JOB ID: 42814

ISSUE DATE: 07/30/24

CUSTOMER: Novant Health

SALESPERSON: Randy Long

DESIGNER: Jordan Waddell

JOB LOCATION: NH Hilton Head Hospital

25 Hospital Center Blvd.

Hilton Head, SC

FILE PATH: N\Novant Health\South Carolina\Hilton Head\25 Hospital Center Blvd- Hospital & Medical Plaza\42814 Permanent Signage

REVISIONS: 1 08/12/24 WF

2 10/30/24 WF

3 12/19/24 JA

4 12/30/24 WF

5 01/03/25 WF

6 01/07/25 WF

7 01/13/25 WF

8 01/22/25 WF

APPROVED FOR PRODUCTION

Date:

Signature:

NOTE: ALL SIGNS MANUFACTURED FOR 120v
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All signage to be installed in compliance with
National Electrical Code



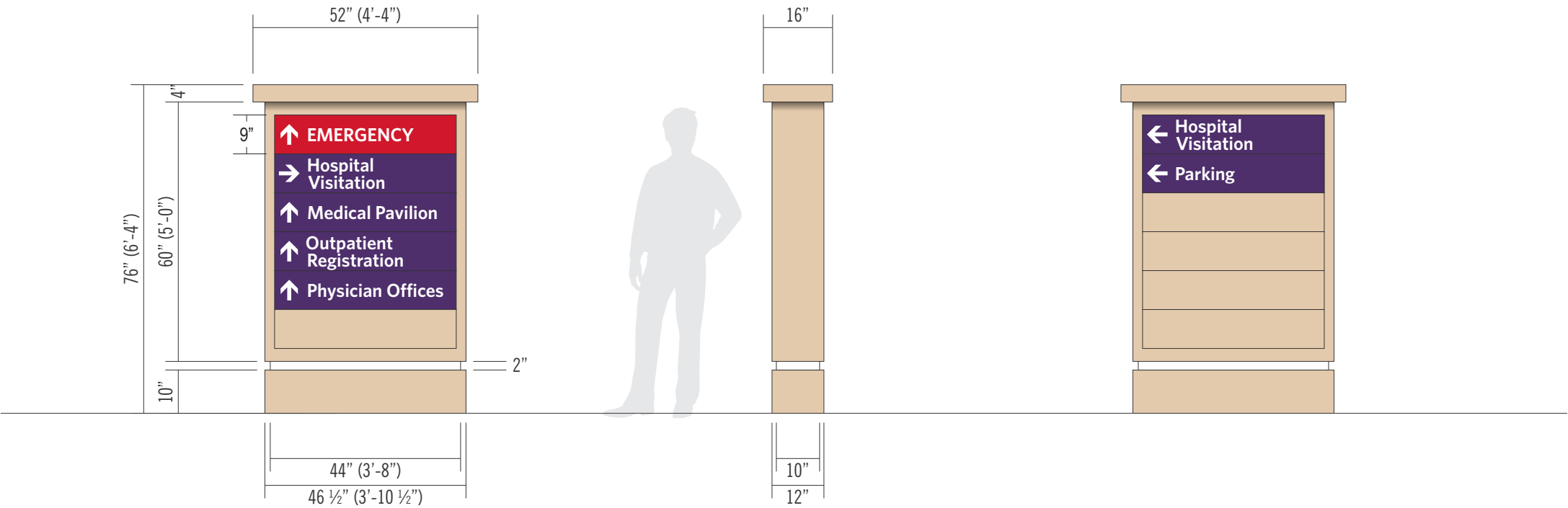
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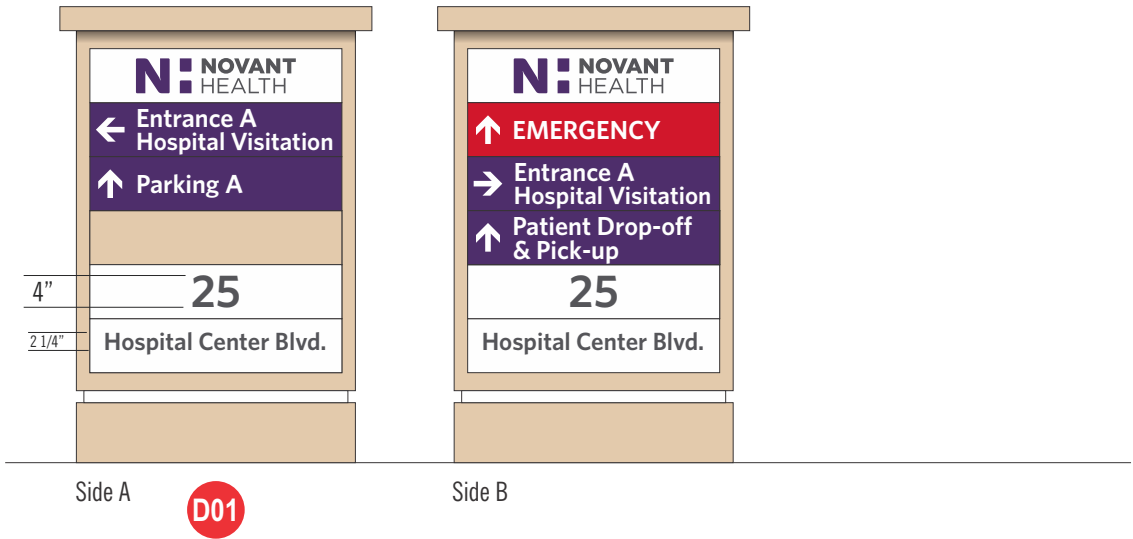
FACE VIEW
Scale: 3/8"=1'-0"

DL

Typical Style of Directional



Directional with Address at front entry



Directionals

Custom D/F Directional Signs
Qty: 24

SPECIFICATIONS:

1. D/F non-illuminated directional signs. Sign cabinet, topper, and base to be painted SW 6113 Interactive Cream. Paint to have stucco textured finish. Reveal painted brand standard bright white. Directional slats to be white acrylic with surface applied vinyl to face. Directional to be installed in same location as previous.

COLORS & FINISHES:

- P1 = Bright White
- P2 = SW 6113 Interactive Cream
- V1 = To Match PMS 269 C Aubergine
- V2 = 3M Regal Red

SignArt

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www.signartsign.com

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SALESPERSON: Randy Long
DESIGNER: Jordan Waddell

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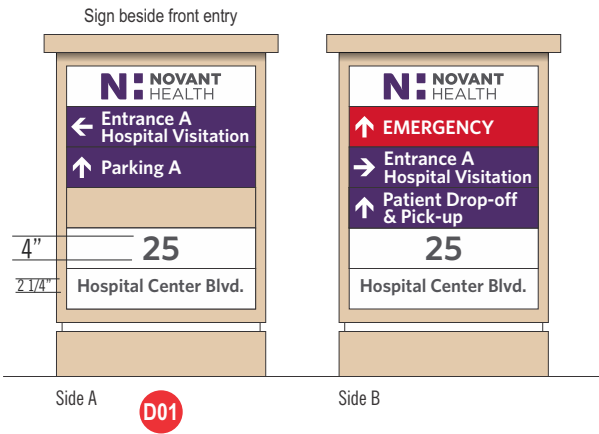
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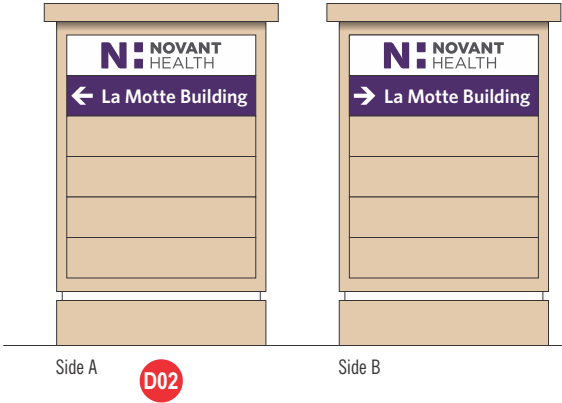
NOTE: ALL SIGNS MANUFACTURED FOR 120v
ELECTRICAL SERVICE UNLESS OTHERWISE NOTED
PRIMARY POWER TO SIGN LOCATIONS BY OTHERS

 All signage to be installed in compliance with National Electrical Code
 All signage to be constructed and installed in compliance with UL standards

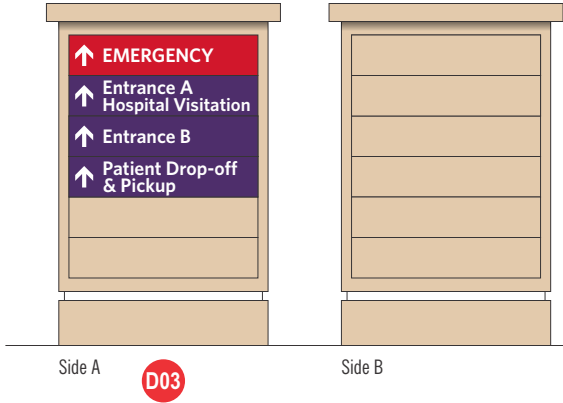
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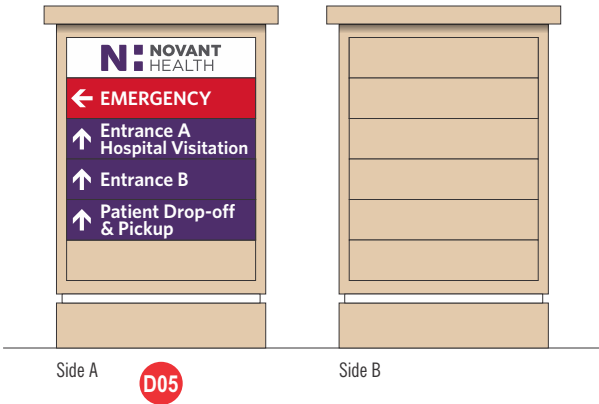
EXISTING CONDITIONS



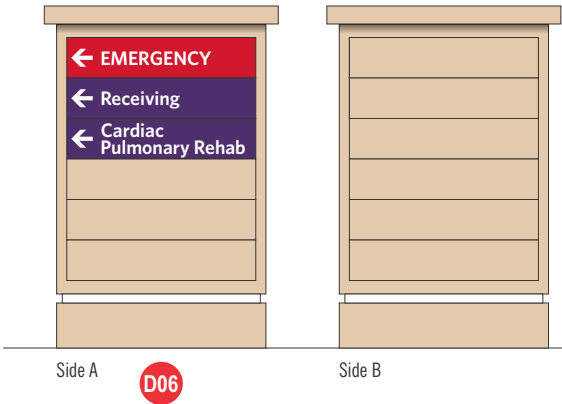
EXISTING CONDITIONS



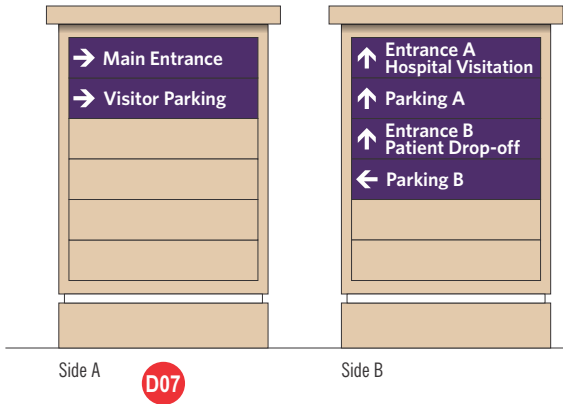
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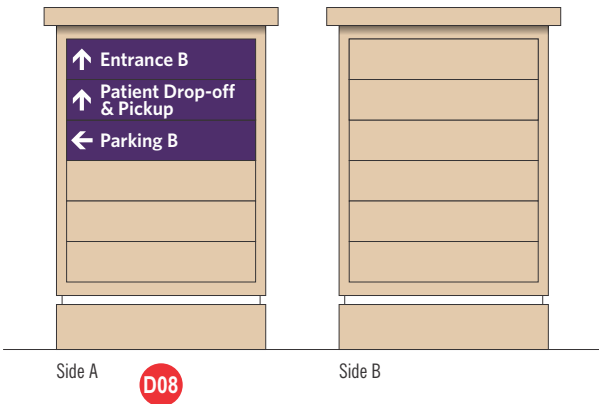
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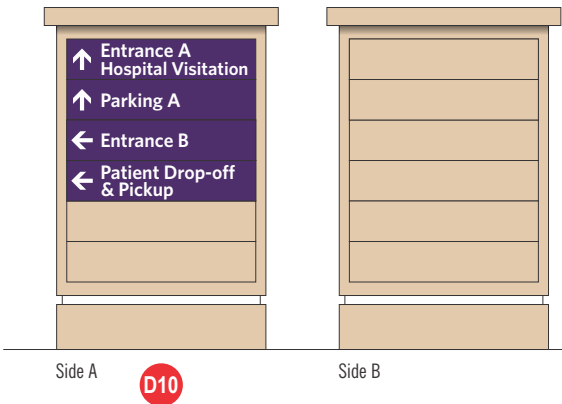
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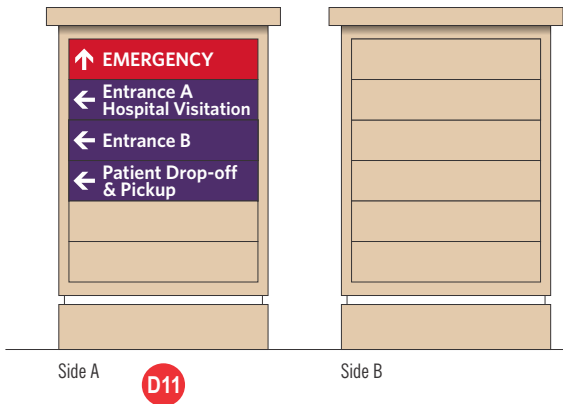
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25 Hospital Center Blvd.
Hilton Head, SC
FILE PATH: N\Novant Health\South Carolina\Hilton Head\25 Hospital Center Blvd- Hospital & Medical Plaza\42814 Permanent Signage

REVISIONS: 1 08/12/24 WF
2 10/30/24 WF
3 12/19/24 JA
4 12/30/24 WF
5 01/03/25 WF
6 01/07/25 WF
7 01/13/25 WF
8 01/22/25 WF

APPROVED FOR PRODUCTION

Date:

Signature:

NOTE: ALL SIGNS MANUFACTURED FOR 120v
ELECTRICAL SERVICE UNLESS OTHERWISE NOTED
PRIMARY POWER TO SIGN LOCATIONS BY OTHERS



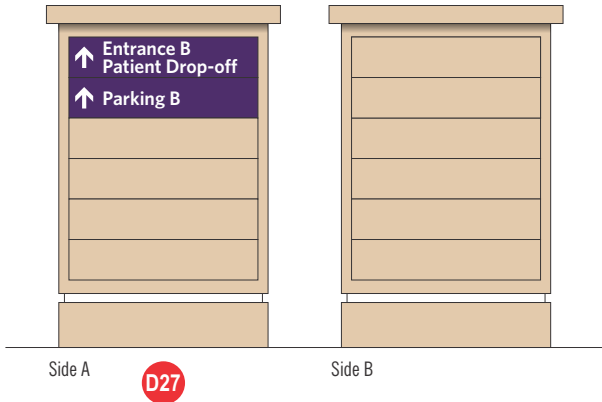
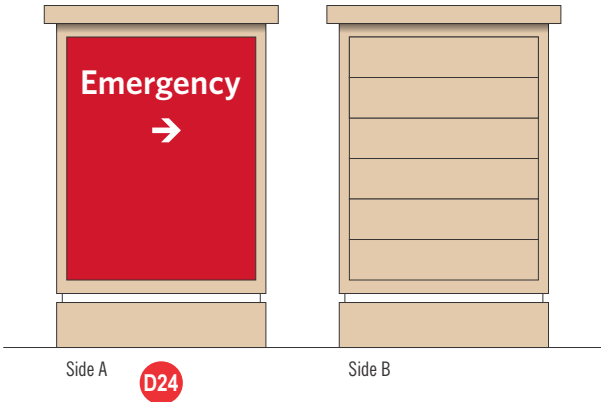
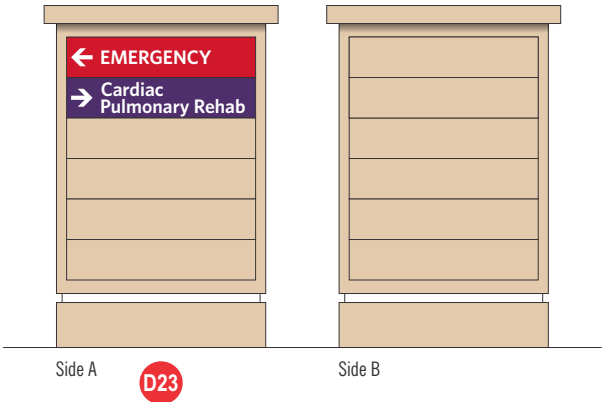
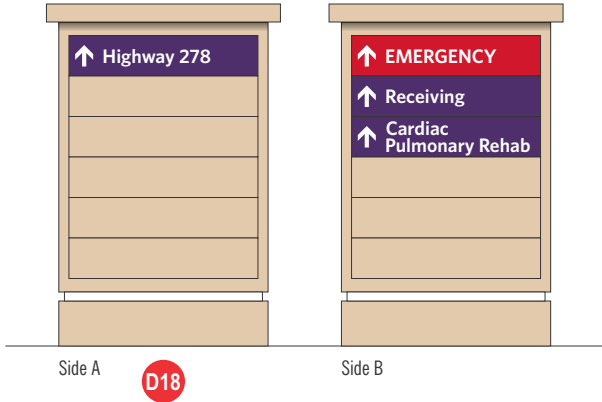
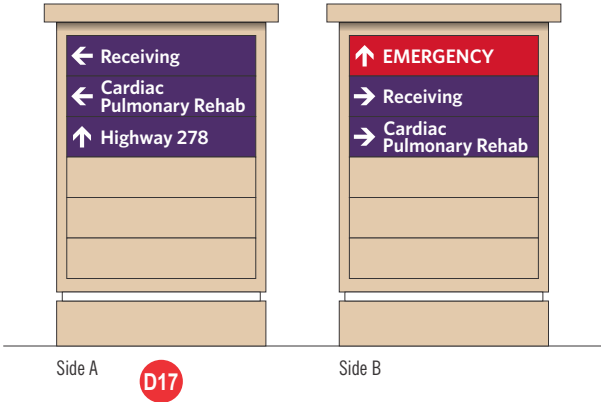
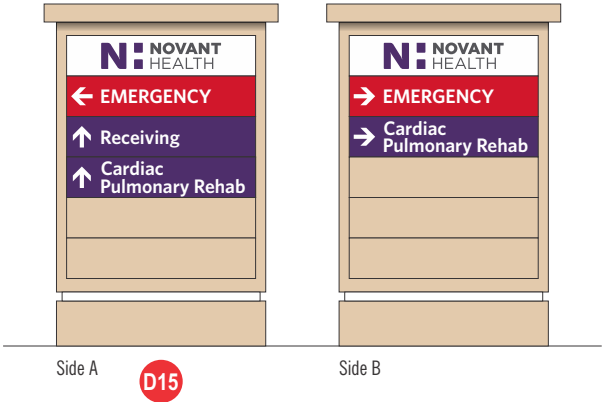
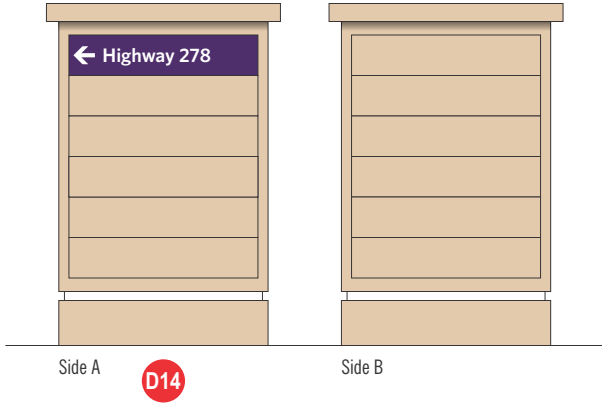
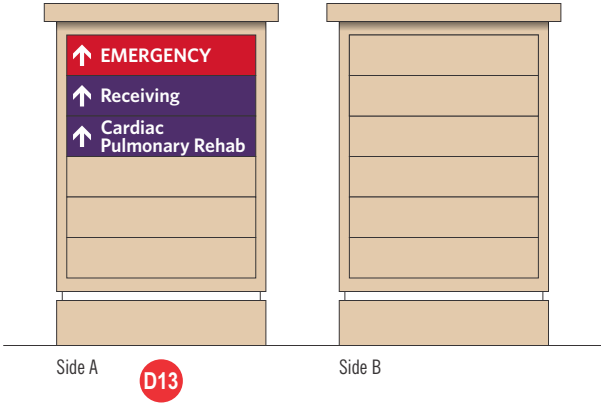
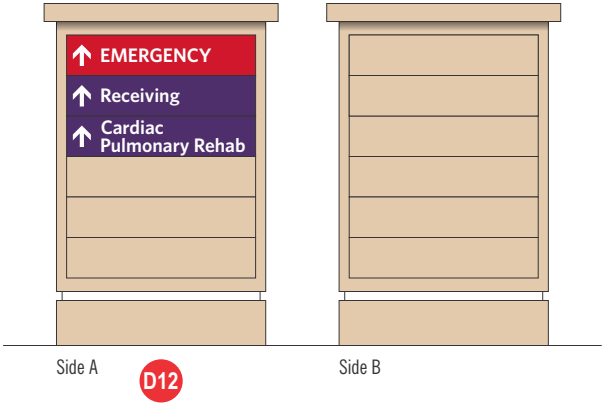
All signage to be installed in compliance with
National Electrical Code



All signage to be constructed and installed in
compliance with UL standards

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P: 704.597.9801
www.signartsign.com

JOB ID: 42814
ISSUE DATE: 07/30/24
CUSTOMER: Novant Health
SALESPERSON: Randy Long
DESIGNER: Jordan Waddell

JOB LOCATION: NH Hilton Head Hospital
25 Hospital Center Blvd.
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Side A

n1

Side B

→ Highway 278

← Entrance A
Hospital Visitation

← Entrance B

← Patient Drop-off
& Pickup



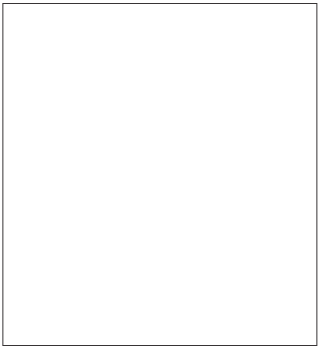
EXISTING CONDITIONS

Side A

n2

Side B

↑ Highway 278



Side A

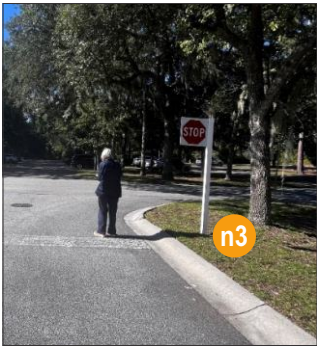
n3

Side B

→ Highway 278

← Entrance B

← Parking B



EXISTING CONDITIONS

Side A

n4

Side B

↑ Receiving

← Cardiac
Pulmonary Rehab

↗ Entrance B

↗ Parking B



EXISTING CONDITIONS

Side A

n5

Side B

N: NOVANT
HEALTH

↑ EMERGENCY

↑ Entrance A
Hospital Visitation

↑ Entrance B

↑ Patient Drop-off
& Pickup



EXISTING CONDITIONS

Side A

n6

Side B

← EMERGENCY

→ Highway 278



EXISTING CONDITIONS

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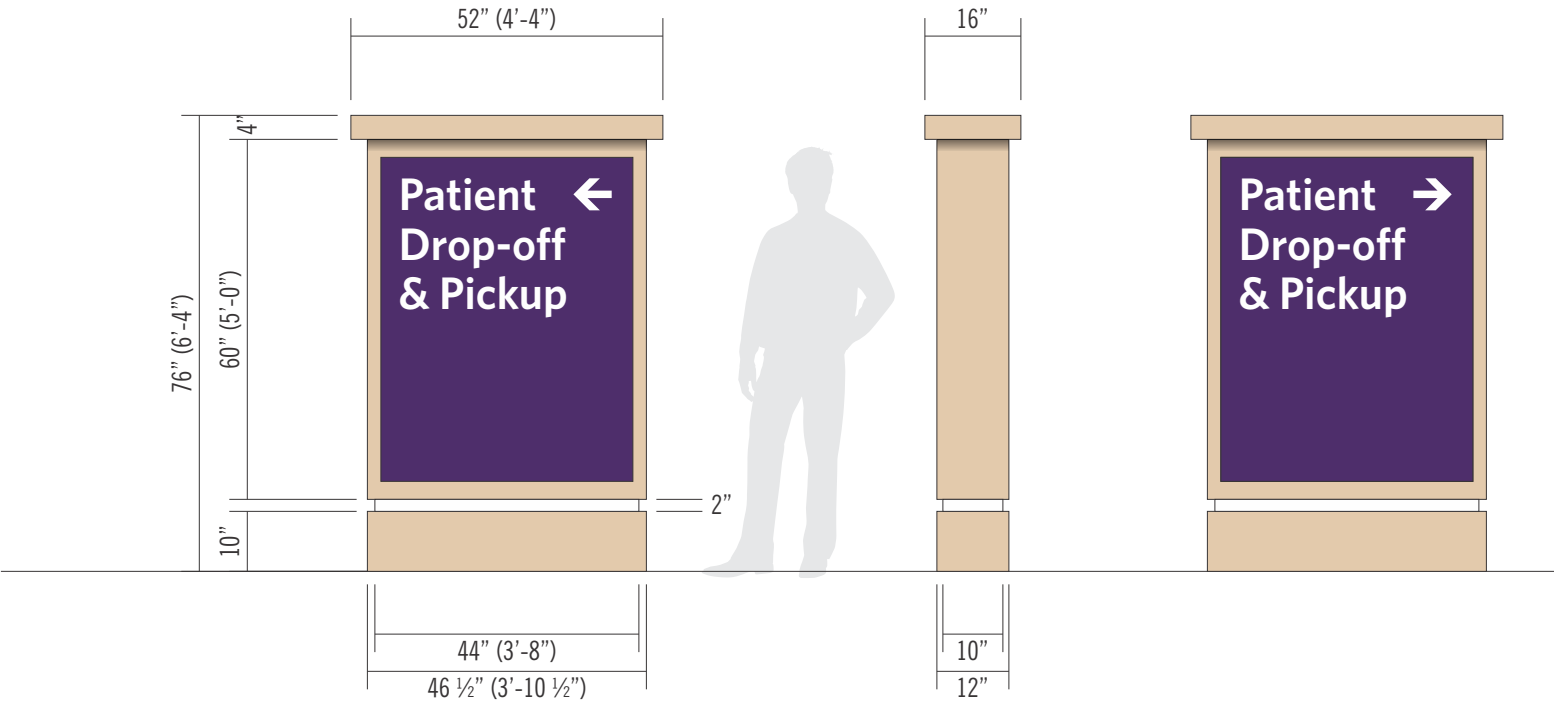
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FACE VIEW
Scale: 3/8"=1'-0"

P02



EXISTING CONDITIONS

Parking Signs

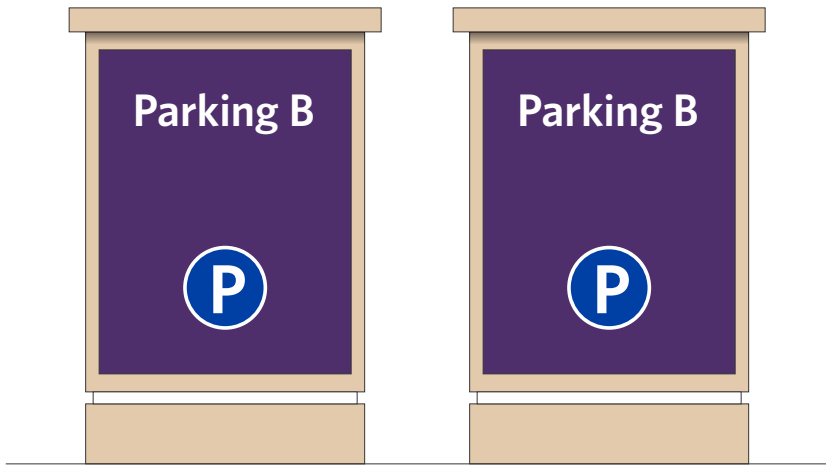
Custom D/F Directional Signs
Qty: 3

SPECIFICATIONS:

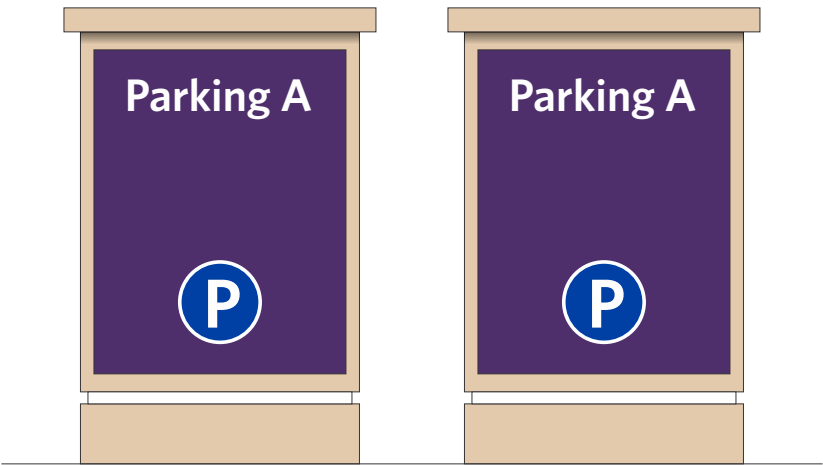
1. D/F non-illuminated directional signs. Sign cabinet, topper, and base to be painted SW 6113 Interactive Cream. Paint to have stucco textured finish. Reveal painted brand standard bright white. Directional face to be white acrylic with surface applied vinyl to face. Directional to be installed in same location as previous.

COLORS & FINISHES:

- P1 = Bright White
- P2 = SW 6113 Interactive Cream
- V1 = To Match PMS 269 C Aubergine
- V2 = To Match PMS 293 C



P01



P03



EXISTING CONDITIONS

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8 01/22/25 WF

APPROVED FOR PRODUCTION

Date:

Signature:

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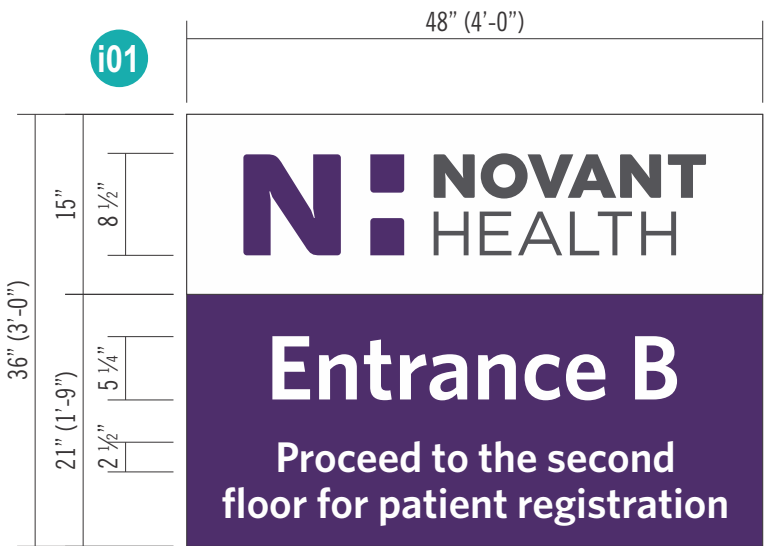
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FACE VIEW
Scale: 3/4"=1'-0"

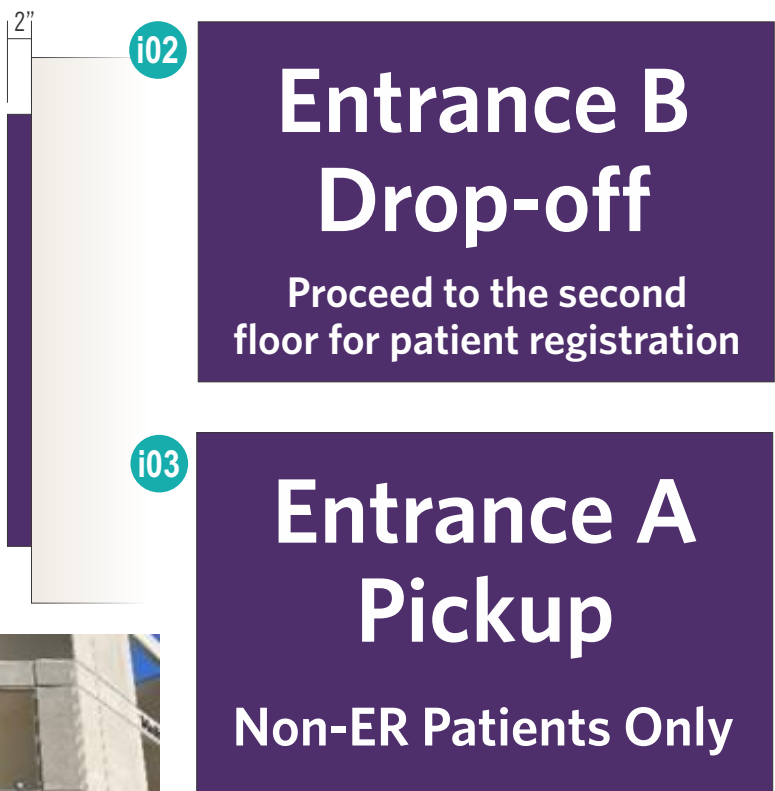


EXISTING CONDITIONS



PROPOSED CONDITIONS

SIDE VIEW
Scale: 3/4"=1'-0"



EXISTING CONDITIONS



PROPOSED CONDITIONS



EXISTING CONDITIONS



PROPOSED CONDITIONS

Patient Info Signs

Custom S/F Wall Signs
Qty: 4

SPECIFICATIONS:

1. 2" deep fabricated aluminum pan. Pan sign painted PMS 269 C Aubergine with surface applied vinyl to face. Wall sign is non-illuminated and flush mounted to exterior fascia.

COLORS & FINISHES:

- P1 = PMS 269 C Aubergine
- V1 = 3M White
- V2 = 3M Regal Red
- V3 = PMS Cool Gray 11 C
- V4 = PMS 269 C Aubergine

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SALESPERSON: Randy Long

DESIGNER: Jordan Waddell

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25 Hospital Center Blvd.

Hilton Head, SC

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APPROVED FOR PRODUCTION

Date:

Signature:

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National Electrical Code

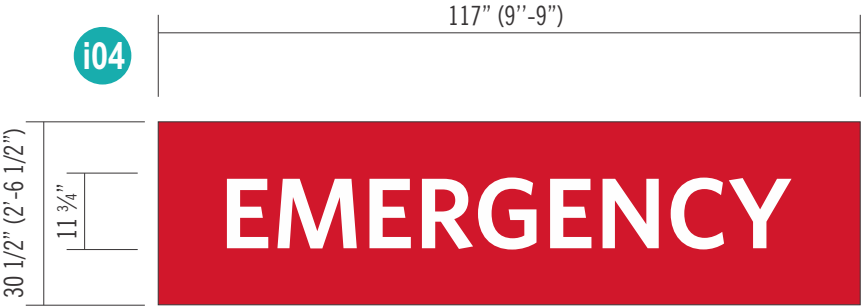


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14

FACE VIEW
Scale: 3/8"=1'-0"



Emergency Entry

Emergency Entrance
Qty: 1

SPECIFICATIONS:

1. 1/8" aluminum sign panel with first surface applied vinyl. Aluminum sign panel to screw directly to wall. Screw heads painted to match face. Remove existing, replace with new.



EXISTING CONDITIONS



PROPOSED CONDITIONS

COLORS & FINISHES:

- P1 = Bright White
 V2 = 3M Regal Red
 V3 = PMS Cool Gray 11 C
 V4 = PMS 269 C Aubergine

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JOB ID: 42814
ISSUE DATE: 07/30/24
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SALESPERSON: Randy Long
DESIGNER: Jordan Waddell

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25 Hospital Center Blvd.
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8 01/22/25 WF

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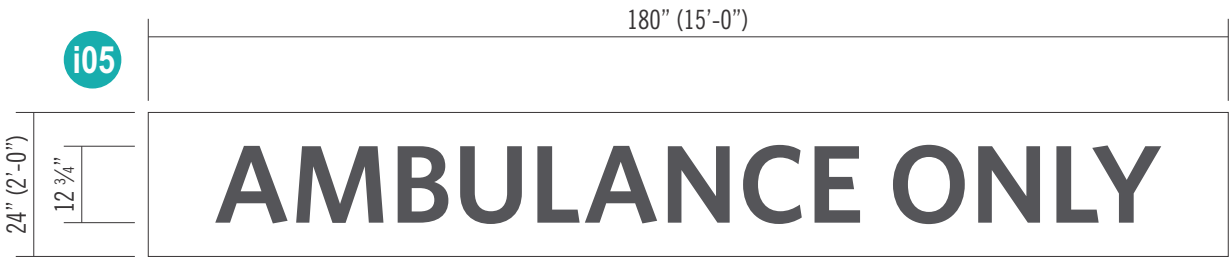
Date:

Signature:

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FACE VIEW
Scale: 3/8"=1'-0"



Ambulance Entry

Ambulance Entrance
Qty: 1

SPECIFICATIONS:

1. 1/8" aluminum sign panel with first surface applied vinyl to match PMS Cool Gray 11 C. Aluminum sign panel to screw directly to face of overhang. Screw heads painted to match face. Remove existing, replace with new.



EXISTING CONDITIONS



PROPOSED CONDITIONS

COLORS & FINISHES:

- P1 = Bright White
- V1 = To Match PMS Cool Gray 11 C



EXISTING CONDITIONS



PROPOSED CONDITIONS



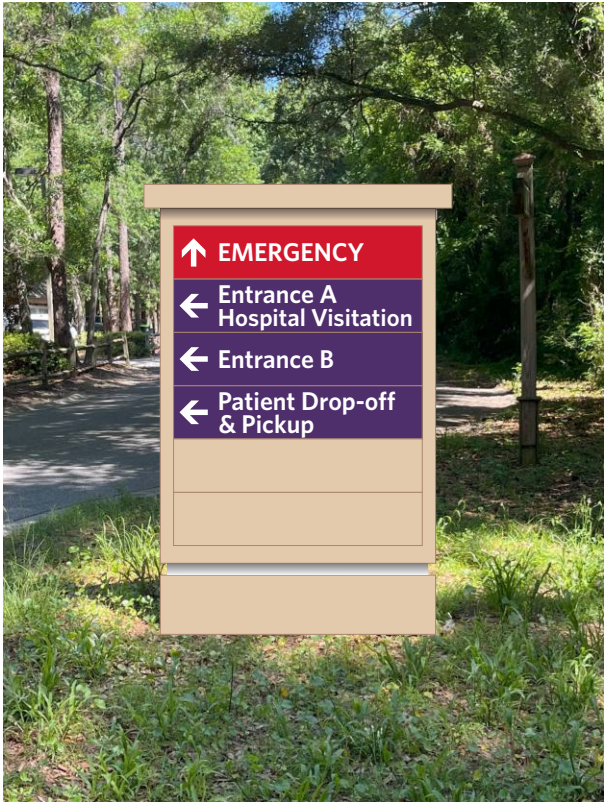
EXISTING CONDITIONS



PROPOSED CONDITIONS



EXISTING CONDITIONS



PROPOSED CONDITIONS

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JOB ID: 42814

ISSUE DATE: 07/30/24

CUSTOMER: Novant Health

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DESIGNER: Jordan Waddell

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25 Hospital Center Blvd.

Hilton Head, SC

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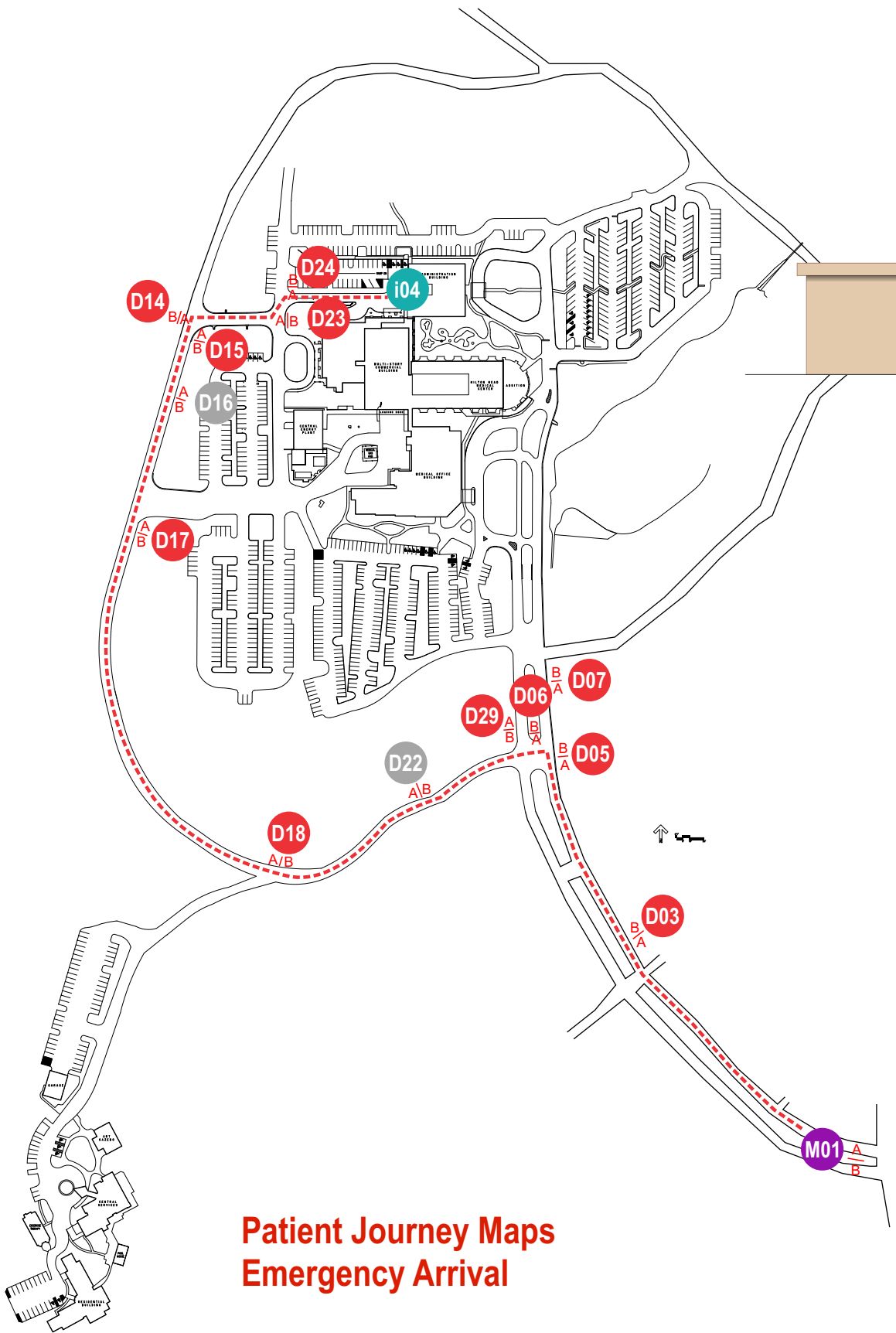
APPROVED FOR PRODUCTION

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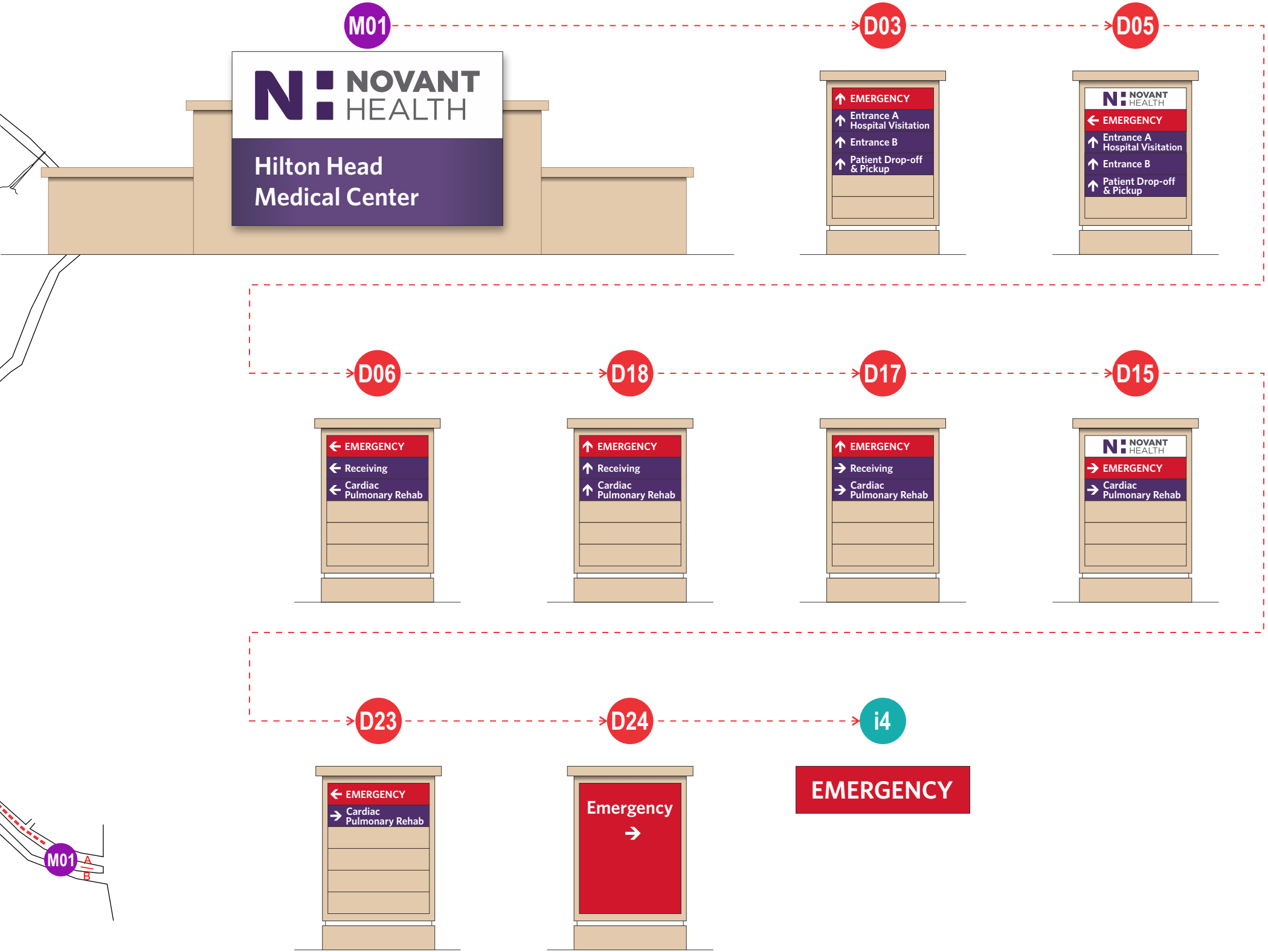
Signature:

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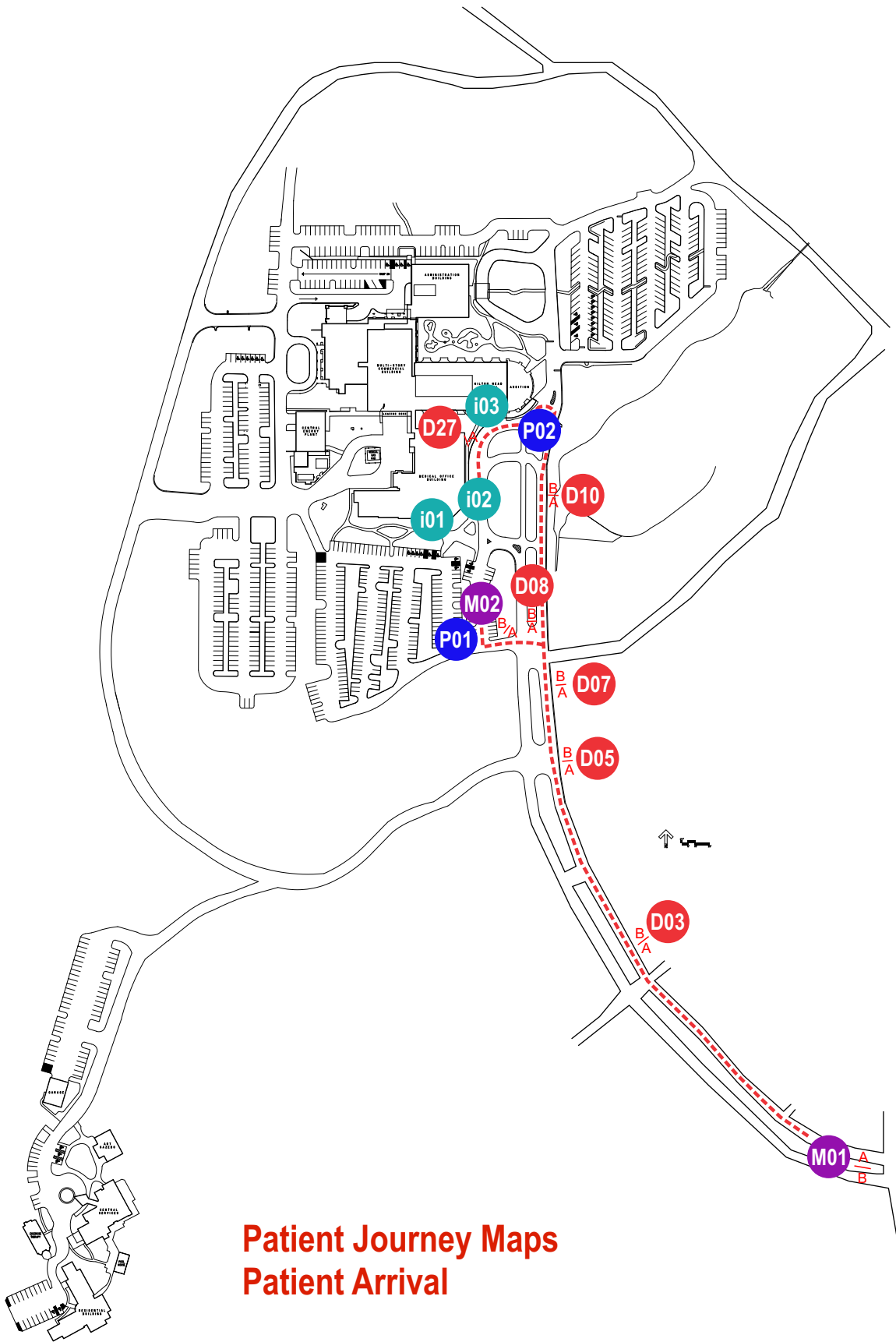
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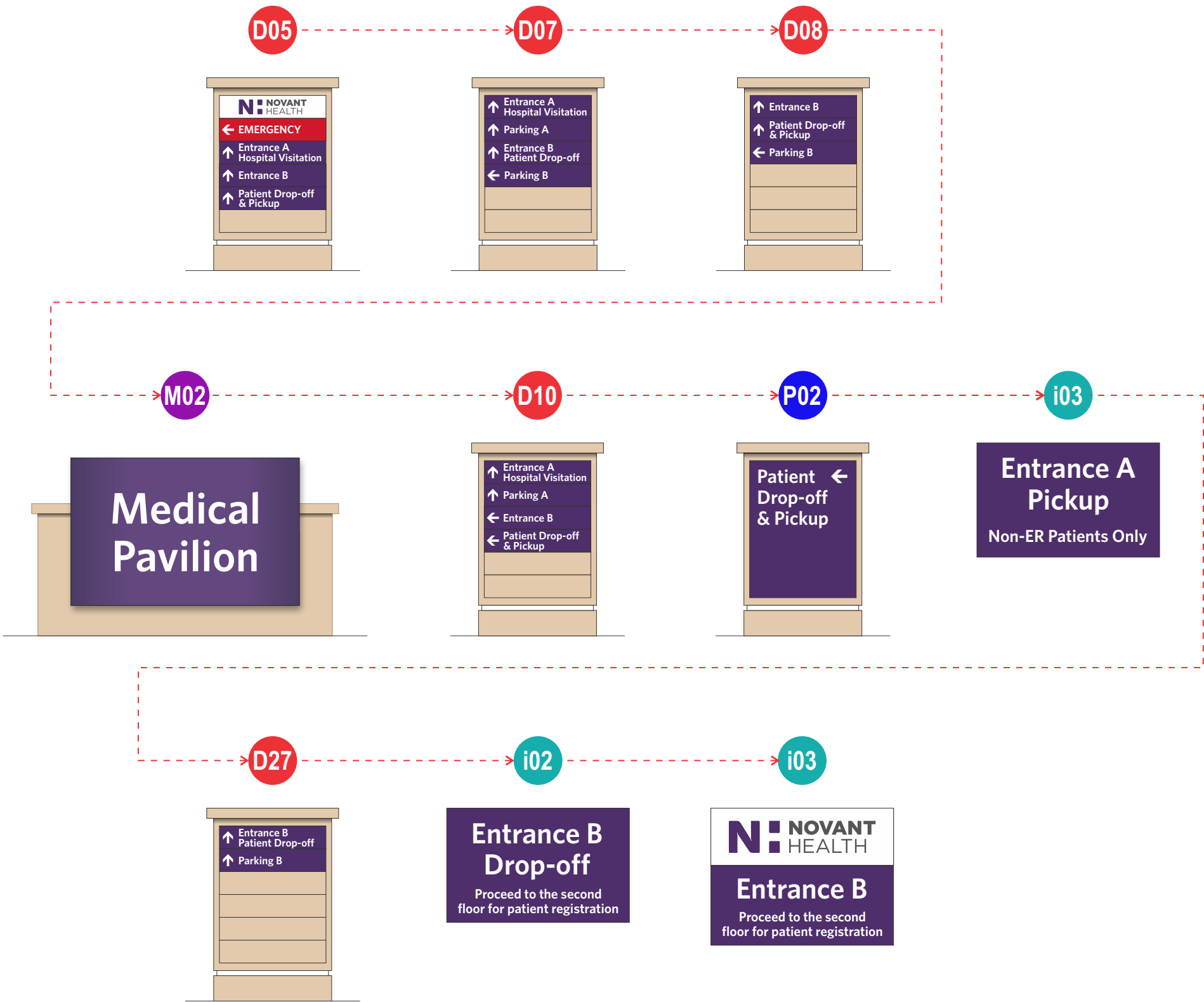
Patient Journey Maps
Emergency Arrival



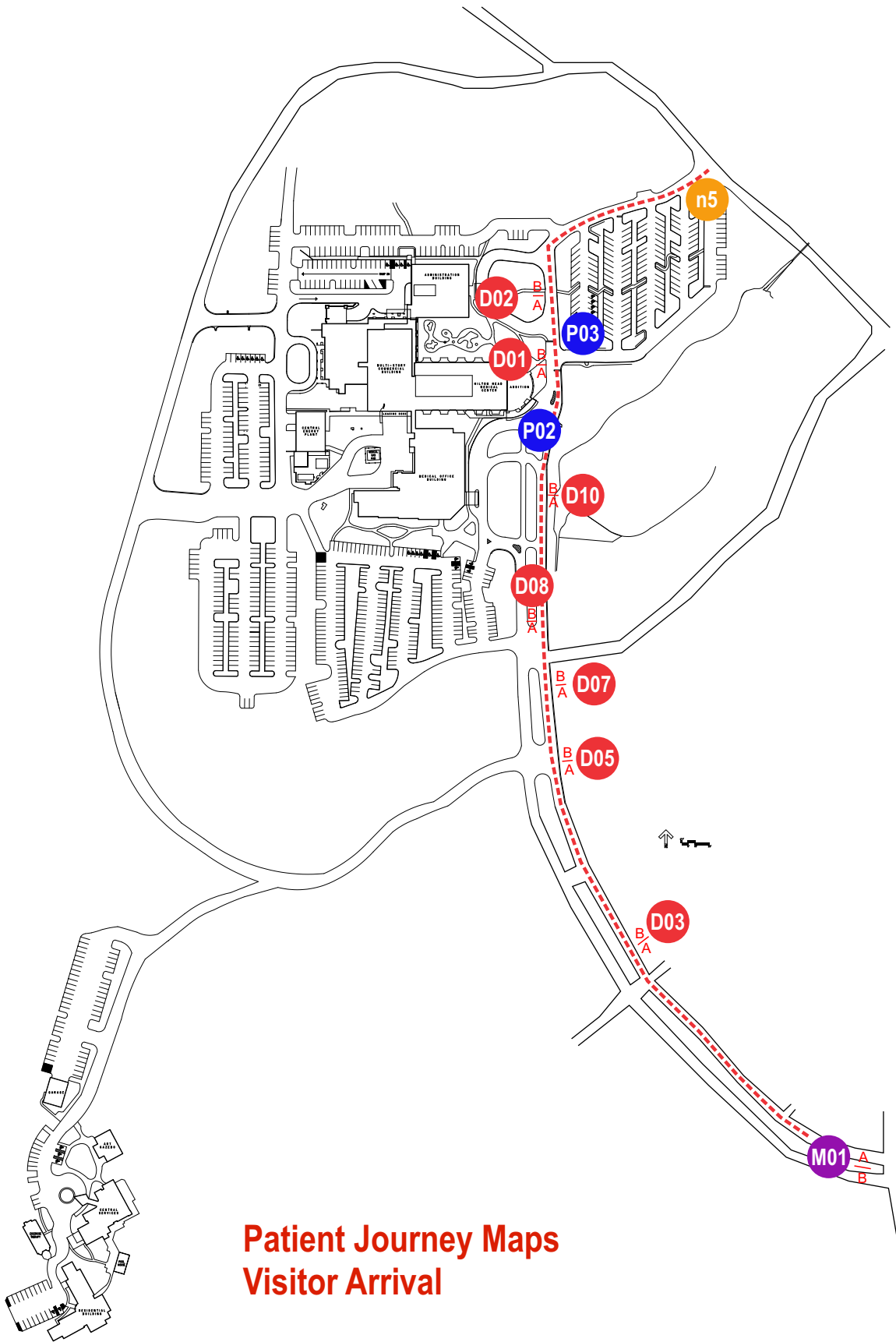
SignArt 6225 Old Concord Road Charlotte, NC 28213 P: 704.597.9801 www.signartsign.com	JOB ID: 42814	JOB LOCATION: NH Hilton Head Hospital 25 Hospital Center Blvd. Hilton Head, SC FILE PATH: N\Novant Health\South Carolina\Hilton Head\25 Hospital Center Blvd- Hospital & Medical Plaza\42814 Permanent Signage	REVISIONS: 1 08/12/24 WF 2 10/30/24 WF 3 12/19/24 JA 4 12/30/24 WF 5 01/03/25 WF 6 01/07/25 WF 7	APPROVED FOR PRODUCTION Date: Signature:	NOTE: ALL SIGNS MANUFACTURED FOR 120v ELECTRICAL SERVICE UNLESS OTHERWISE NOTED PRIMARY POWER TO SIGN LOCATIONS BY OTHERS This drawing and the designs, plans, layouts and accompanying information contained herein, are the sole property of SignArt and may not be copied, recreated or distributed without the express written consent of SignArt.
	ISSUE DATE: 07/30/24				
	CUSTOMER: Novant Health				
	SALESPERSON: Randy Long				
	DESIGNER: Jordan Waddell				



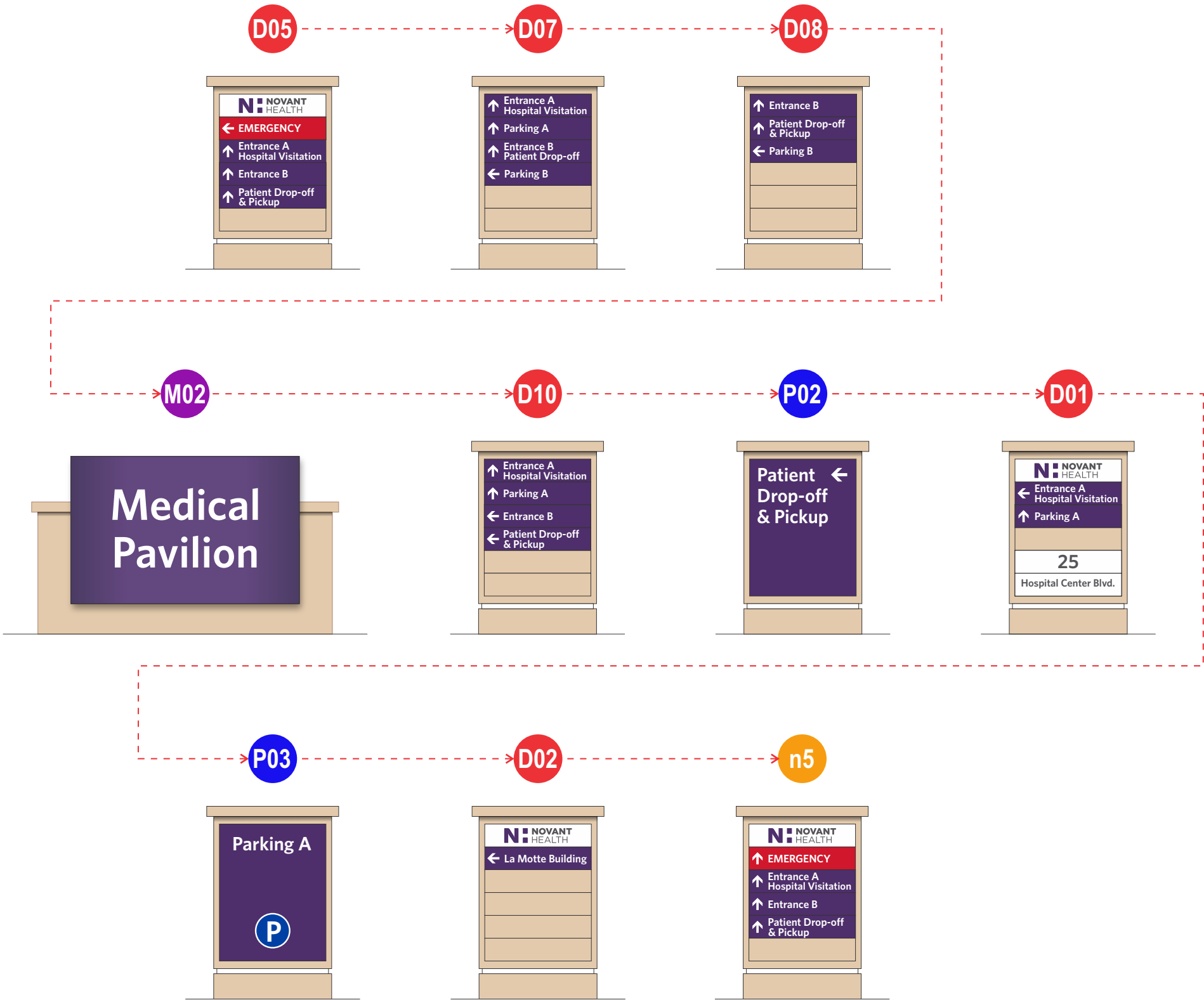
Patient Journey Maps
Patient Arrival



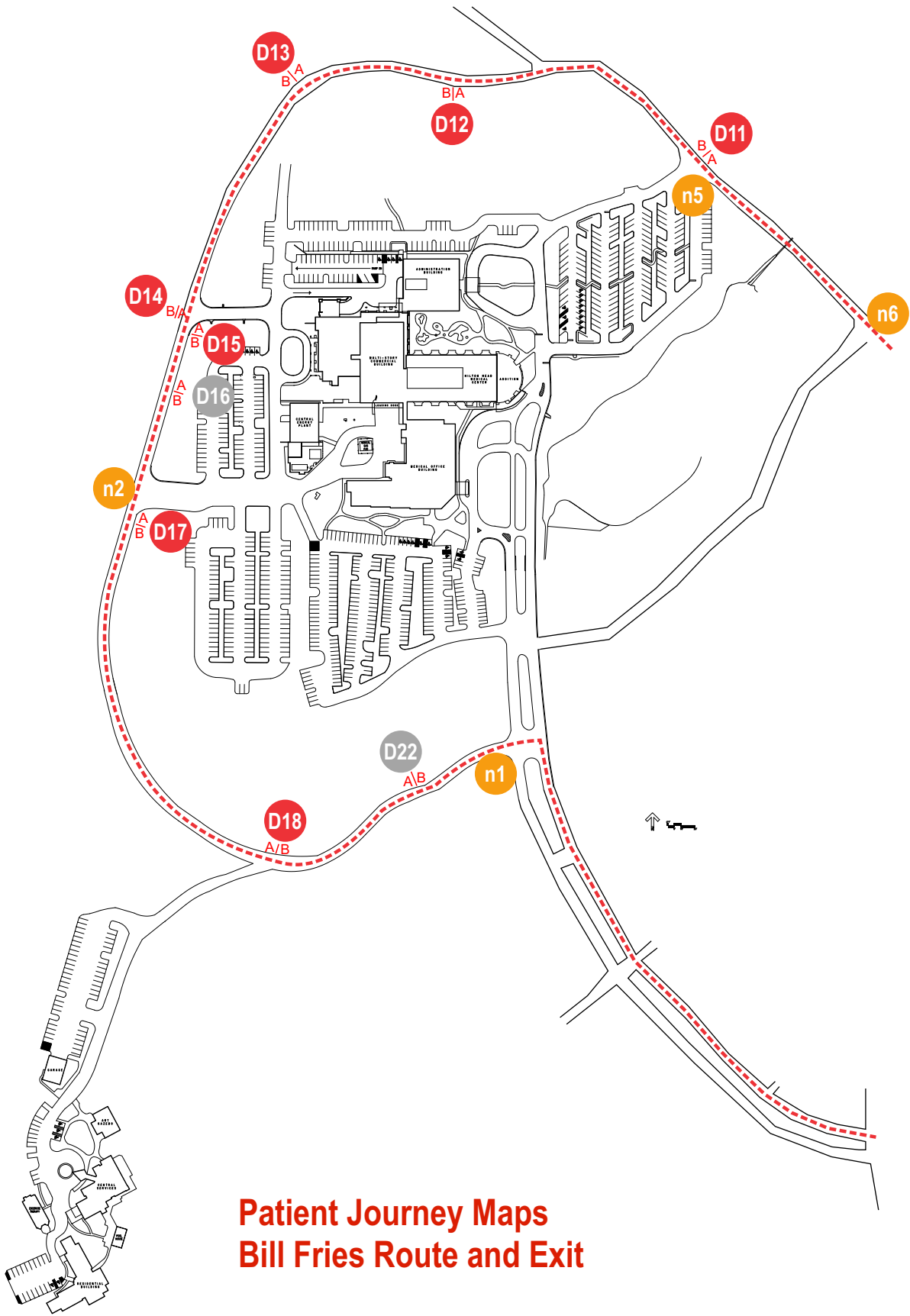
SignArt 6225 Old Concord Road Charlotte, NC 28213 P: 704.597.9801 www.signartsign.com	JOB ID: 42814	JOB LOCATION: NH Hilton Head Hospital	REVISIONS: 1 08/12/24 WF 2 10/30/24 WF 3 12/19/24 JA 4 12/30/24 WF 5 01/03/25 WF 6 01/07/25 WF 7	APPROVED FOR PRODUCTION Date: Signature:	NOTE: ALL SIGNS MANUFACTURED FOR 120v ELECTRICAL SERVICE UNLESS OTHERWISE NOTED PRIMARY POWER TO SIGN LOCATIONS BY OTHERS	This drawing and the designs, plans, layouts and accompanying information contained herein, are the sole property of SignArt and may not be copied, recreated or distributed without the express written consent of SignArt.
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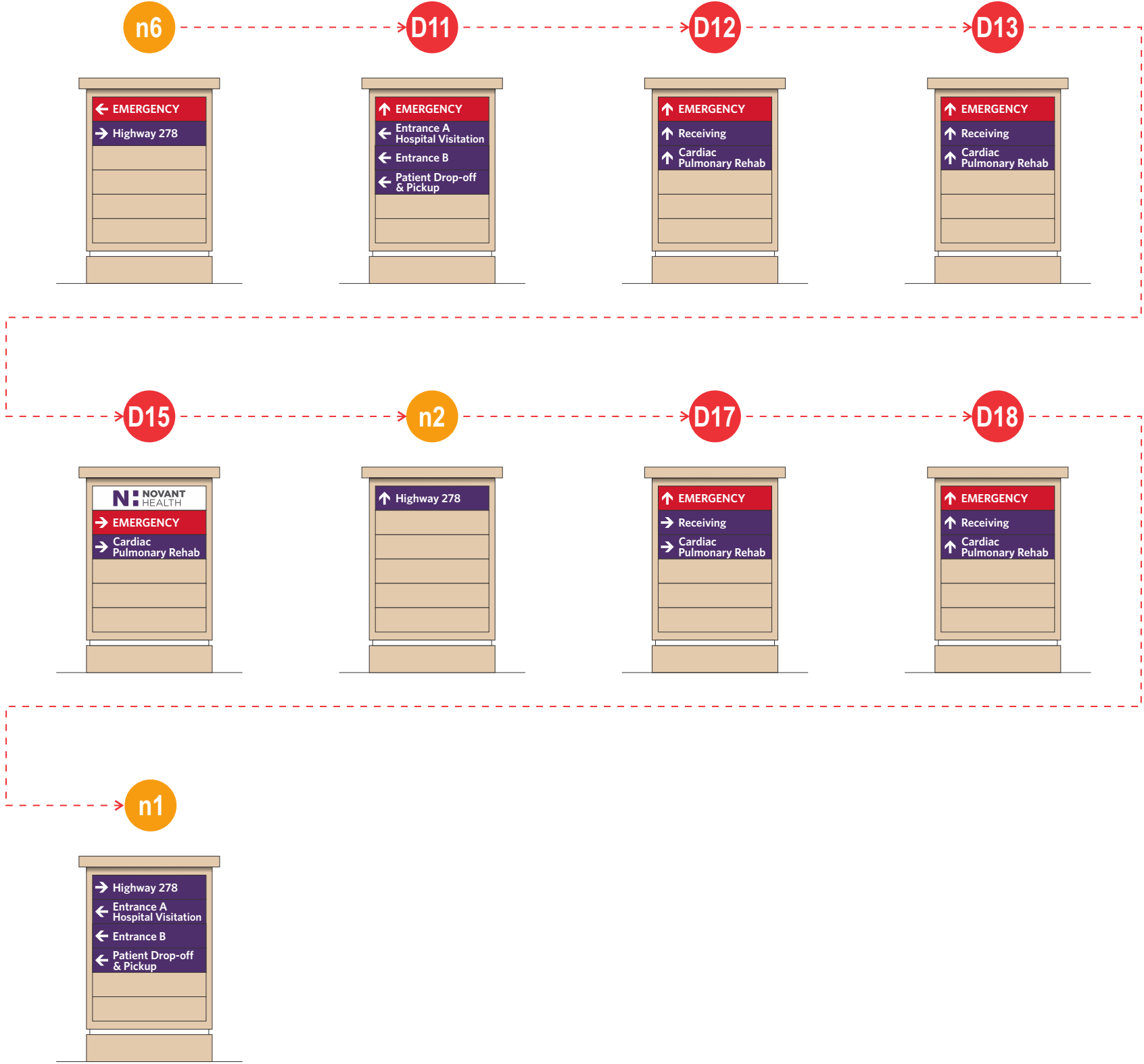
Patient Journey Maps
Visitor Arrival



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	DESIGNER: Jordan Waddell				



Patient Journey Maps
Bill Fries Route and Exit



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EXISTING CONDITIONS



PROPOSED CONDITIONS

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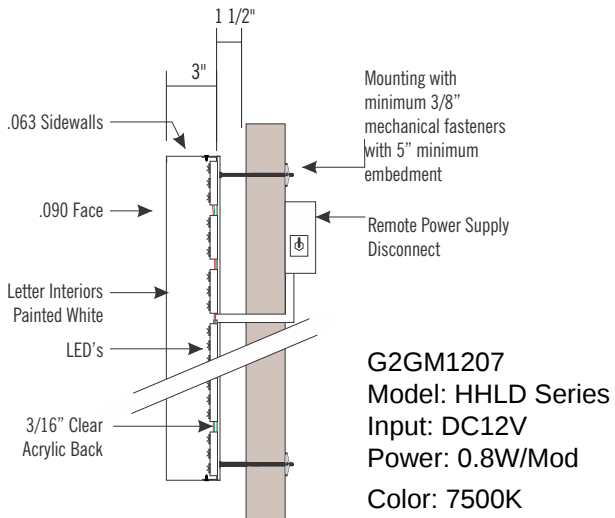
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FACE VIEW
Scale: 3/8"=1'-0"



SECTION VIEW
Scale: NTS



SIGN E - W01

Channel Letters
Qty: 1

SPECIFICATIONS:

1. Reverse Lit Channel Letters With Alum Faces & Sidewalls & Clear Lexan Backs. Letters Stud Mount To Wall With 2" Stand-Offs. Letters Faces Painted Aubergine & Gray With Sidewalls To Match Faces. Letters Illuminated With White LED's



Evening Perspective

COLORS & FINISHES:

- P1 = Bright White
P2 = PMS Cool Gray 11 C
P3 = PMS 269 C Aubergine

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DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 25 Hospital center Boulevard – Novant Health Hilton Head

DRB-000036-2025

DATE: 1/28/2025

CATEGORY: Sign System

RECOMMENDATION: Approval ☒ Approval with Conditions ☐ Denial ☐

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	☐	☐	☒	
Existing Conditions match As-Built	☒	☐	☐	
Dimensioned Details and of Sections	☒	☐	☐	
Detail Illustrating Connection to Existing Structure	☐	☐	☒	
New Building Details Match Existing Building Details	☒	☐	☐	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	☒	☐	☐	
Promotes pedestrian scale and circulation	☒	☐	☐	
Design is unobtrusive and set into the natural environment	☒	☐	☐	
Utilizes natural materials and colors	☒	☐	☐	
Avoids distinctive vernacular styles	☒	☐	☐	
Design is appropriate for its use	☒	☐	☐	
All facades shall have equal design characteristics	☐	☐	☒	

Avoids monotonous planes or unrelieved repetition	☒	☐	☐	
Has a strong roof form with enough variety to provide visual interest	☐	☐	☒	
Overhangs are sufficient for the façade height.	☐	☐	☒	
Forms and details are sufficient to reduce the mass of the structure	☐	☐	☒	
Human scale is achieved by the use of proper proportions and architectural elements	☒	☐	☐	
Utilizes a variety of materials, textures and colors	☒	☐	☐	
Incorporates wood or wood simulating materials	☒	☐	☐	
Windows are in proportion to the facade	☐	☐	☒	
Details are clean, simple and appropriate while avoiding excessive ornamentation	☒	☐	☐	
Utilities and equipment are concealed from view	☐	☐	☒	
Decorative lighting is limited and low wattage and adds to the visual character	☒	☐	☐	
Accessory elements are designed to coordinate with the primary structure	☒	☐	☐	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	☒	☐	☐	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	☒	☐	☐	
Landscape is designed so that it may be maintained in its natural shape and size	☒	☐	☐	
Preserves a variety of existing native trees and shrubs	☒	☐	☐	
Provides for a harmonious setting for the site's structures, parking areas or other construction	☒	☐	☐	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	☒	☐	☐	
Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable elements of the project	☒	☐	☐	
A variety of species is selected for texture and color	☒	☐	☐	
Provides overall order and continuity of the Landscape plan	☒	☐	☐	

Native plants or plants that have historically been prevalent on the Island are utilized	☒	☐	☐	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	☒	☐	☐	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	☒	☐	☐	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	☒	☐	☐	
Proposed groundcovers are evergreen species with low maintenance needs	☒	☐	☐	
Large, grassed lawn areas encompassing a major portion of the site are avoided	☒	☐	☐	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	☐	☐	☒	
Ornamentals and Annuals are limited to entrances and other focal points	☒	☐	☐	

NATURAL RESOURCE PROTECTION				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	☒	☐	☐	
Supplemental and replacement trees meet LMO requirements for size, species and number	☒	☐	☐	
Wetlands if present are avoided and the required buffers are maintained	☐	☐	☒	
Sand dunes if present are not disturbed	☐	☐	☒	

COMMENTS & CONDITIONS
1. Staff recommends approval of the Sign System for Novant Health Hilton Head Island submittal with the following condition: 2. The LED lights shall be reduced to 3500k from 7500k which is the permitted amount. 3. Any additional information as required by the Board.



Town of Hilton Head Island Design Review Board 2025 Meeting Schedule

All meetings will be held in Benjamin M. Racusin Council Chambers at Town Hall, One Town Center Court, unless otherwise posted. Changes to meeting dates, times and/or the location will be posted.

Meeting dates are every 2nd and 4th Tuesday of the month, unless noted otherwise. Application deadlines are two weeks prior to meeting dates.

PUBLIC MEETING DATES	MEETING TIMES
January 14, 2025*	2:30 p.m.
January 28, 2025*	2:30 p.m.
February 11, 2025	2:30 p.m.
February 25, 2025*	2:30 p.m.
March 11, 2025	2:30 p.m.
March 25, 2025*	2:30 p.m.
April 8, 2025*	2:30 p.m.
April 22, 2025	2:30 p.m.
May 13, 2025*	2:30 p.m.
May 27, 2025*	2:30 p.m.
June 10, 2025	2:30 p.m.
June 24, 2025*	2:30 p.m.
July 8, 2025	2:30 p.m.
July 22, 2025	2:30 p.m.
August 12, 2025	2:30 p.m.
August 26, 2025*	2:30 p.m.
September 9, 2025	2:30 p.m.
September 30, 2025* **	2:30 p.m.
October 14, 2025	2:30 p.m.
October 28, 2025*	2:30 p.m.
November 12, 2025* ** (Wed)	2:30 p.m.
November 25, 2025	2:30 p.m.
December 9, 2025*	2:30 p.m.
December 23, 2025	2:30 p.m.

* Meeting will be held in Conference Room 4 at Town Hall, One Town Center Court.

** Meeting date is not in regular schedule rotation due to holidays.