



Town of Hilton Head Island

Planning Commission Meeting

**Wednesday, November 20, 2024, 2:00 PM
1 Town Center Court, Hilton Head Island, SC
Benjamin M. Racusin Council Chambers**

The meeting can be viewed on the [Town's YouTube Channel](#), the [Beaufort County Channel](#), and Spectrum Channel 1304.

- 1. Call to Order**
- 2. Pledge to the Flag**
- 3. Adoption of the Agenda**
- 4. Approval of the Minutes**
 - a. Regular Meeting Minutes of September 18, 2024
- 5. Unfinished Business**
- 6. New Business**
- 7. Public Comment - Non Agenda Items**
- 8. Commission Business**
- 9. Chairman's Report**
- 10. Staff Reports**
 - a. DPR-002093-2023 - Presentation on an application for a Major Development Plan Review, from Cassie Aiello, with Cranston Engineering, for a project to build a car storage facility located at 148 Beach City Road, also identified as Parcel Number 343 on Beaufort County Tax Map 4.
 - b. Land Management Ordinance and Districts Project Updates
- 11. Adjournment**

FOIA Compliance: Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Hilton Head Island will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Hilton Head Island ADA Coordinator as soon as possible but no later than 48 hours before the scheduled event.

Municipal Association of South Carolina (MASC) Civility Pledge:

"I pledge to build a stronger and more prosperous community by advocating for civil engagement, respecting others and their viewpoints, and finding solutions for the betterment of my city or town."



Town of Hilton Head Island PLANNING COMMISSION MEETING Wednesday, September 18, 2024, 2:00 PM Minutes

1. Call to Order

Chair Siebold called the meeting to order at 2 p.m. Commissioners Campbell, Cordes, Henz, Mealer, Whaley, Lobaugh, Vice Chair O'Neil and Chair Siebold were present. Commissioner DuBois was not in attendance and was excused.

2. Pledge to the Flag

3. Adoption of the Agenda

Commissioner Whaley moved to adopt the Agenda as presented. Commissioner Campbell seconded. The motion passed unanimously.

4. Approval of the Minutes

a. Regular Meeting Minutes of June 20, 2024

Commissioner Henz requested an amendment to the minutes. Commissioner Henz moved to approve the minutes of June 20, 2024, with the condition the minutes be amended. Commissioner O'Neil seconded. The minutes were unanimously approved.

5. Unfinished Business

None.

6. New Business

a. Public Hearing

PPR-001137-2024: Application for Public Project Review from Trey Griffin, with Wood & Partners, Inc., on behalf of the Town of Hilton Head Island, for a project adjacent to Coligny Circle to improve existing drainage facilities and add connectivity and other improvements to create a small pocket park. The affected property is located at 109 Pope Avenue.

Trey Lowe, Interim Development Services Manager, presented the plans for the Coligny Circle Pocket Park. He explained the changes to the current location, which is currently vacant land with a drainage basin. The proposed development will be a passive-use pocket park providing enhanced pathway connections on a heavily traveled pathway corridor, and will provide new accessible and inclusive civic space that allows for pedestrian connectivity from the multi-use path to the adjacent retail center, Coligny Plaza. The plan includes widening the pathways from 8 feet to 12 feet wide and native

plants will be added to the drainage basin for filtration and visual appeal. Trey Griffin, from Wood and Partners, answered questions from the Commission.

The Commission discussed the walkway expansion, interconnected walkways, additional parking, potential changes to the current Coligny Plaza parking spaces, tree planting and removals, drainage basin reshaping, and park signage. Commissioner Henz made a Motion to approve. Commissioner Mealer seconded. The Motion passed unanimously.

7. Public Comment - Non Agenda Items

None.

8. Commission Business

None.

9. Chairman's Report

None.

10. Staff Reports

a. Land Management Ordinance and Districts Project Updates

Shea Farrar, Principal Planner, presented updates on the Land Management Ordinance (LMO) and Districts project. She provided a summary of the first workshop, which focused on priority amendments to the LMO, and noted that a partial review of those amendments had taken place. A follow-up meeting will be scheduled for Town Council to continue the review.

The meeting regarding the Districts is scheduled for Tuesday, September 24th, at 1:00 PM in the Council Chambers. During the discussion, Commissioner Whaley asked for clarification on the hotel conversion zoning project mentioned in the previous LMO workshop. Ms. Farrar confirmed that this topic will be addressed further at the next meeting.

11. Adjournment

The meeting was adjourned at 2:22 p.m.

The recording of this Meeting can be found on the Town's website at www.hiltonheadislandsc.gov



TOWN OF HILTON HEAD ISLAND

Staff Report Memo

TO: Planning Commission
FROM: Trey Lowe, *Development Services Program Manager*
VIA: Missy Luick, *Director of Planning*
DATE: November 20, 2024
SUBJECT: DPR-002093-2023 - Presentation on an application for a Major Development Plan Review, from Cassie Aiello, with Cranston Engineering, for a project to build a car storage facility located at 148 Beach City Road, also identified as Parcel Number 343 on Beaufort County Tax Map 4.

Town Staff continuously looks for ways to improve its processes. One change implemented by Staff for the Development Review Program is to require all Development Plan Review applications for new commercial development and Major Subdivision applications be shared with the Planning Commission. The applications will be presented by Staff for information purposes only. This will provide a way for the Planning Commission and the general public to be made aware of all new development being proposed on Hilton Head Island.

There is a new Development Plan Review application ready to be shared with the Planning Commission – DPR-002093-2023 – 148 Beach City Road.

Attachment:

- A. DPR-002093-2023 – Narrative
- B. DPR-002093-2023 - Site Plan



Beach City Road Car Barn
Cranston Project No.: 2022-0260
TMS#: R510 004 000 0343 0000

Conceptual Review Project Narrative: Beach City Road Car Barn

The Beach City Road Car Barn is a proposed 8800 sqft vehicular warehousing and storage building and additional parking to be added to the existing 1.38 acre site at 148 Beach City Road on Hilton Head island, SC. The new building will be located on the rear of the site, along with associated parking, utilities, and stormwater chambers. The site is zoned as Light Commercial, and the rear of the lot is adjacent to the Hilton Head Airport. The proposed structure has been submitted to FAA review and received a "Determination of No Hazard to Air Navigation" rating for each of its four corners, which the FAA assessed separately due to proximity.

Page 7 of 19

	MAJOR CONTOUR (EXISTING)
	MAJOR CONTOUR (EXISTING)
	MAJOR CONTOUR (PROPOSED)
	MAJOR CONTOUR (PROPOSED)
	EXISTING BOUNDARY
	EXISTING ADJUNCTION
	PERMANENT EASEMENT
	TEMPORARY EASEMENT
	25' BUFFER
	ENVIRONMENTALLY SENSITIVE AREA
	EDGE OF WATER
	TREE LINE
	EXISTING OVERHEAD UTILITY (UNSPICED)
	EXISTING UNDERGROUND POWER
	PROPOSED UNDERGROUND POWER
	EXISTING OVERHEAD POWER
	PROPOSED OVERHEAD POWER
	EXISTING UNDERGROUND TELEPHONE
	PROPOSED UNDERGROUND TELEPHONE
	EXISTING OVERHEAD TELEPHONE
	PROPOSED OVERHEAD TELEPHONE
	EXISTING UNDERGROUND CABLE
	PROPOSED UNDERGROUND CABLE
	EXISTING FIBEROPTIC
	PROPOSED FIBEROPTIC
	EXISTING GAS
	PROPOSED GAS
	EXISTING WATER
	PROPOSED WATER
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	FENCE: EXISTING
	FENCE: PROPOSED
	FENCE: EXISTING CHAINLINK
	FENCE: PROPOSED CHAINLINK
	FENCE: EXISTING STONE
	FENCE: PROPOSED STONE
	FENCE: EXISTING WIRE
	FENCE: PROPOSED WIRE
	EXISTING GUARDRAIL
	PROPOSED GUARDRAIL
	ORANGE BARRIER FENCE OR C-POST FENCE
	SALT FENCE

	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING CONCRETE/PAVING
	PROPOSED CONCRETE AND/OR PAVING
	EXISTING ASPHALT PAVING
	PROPOSED ASPHALT PAVING
	EXISTING GRAVEL PAVING OR RP-RAP
	PROPOSED GRAVEL PAVING OR RP-RAP
	EXISTING BRICK PAVING
	PROPOSED BRICK PAVING
	EXISTING UTILITY POLE
	PROPOSED UTILITY POLE
	EXISTING STRAIN POLE
	PROPOSED STRAIN POLE
	EXISTING GUY WIRE
	PROPOSED GUY WIRE
	EXISTING ELECTRIC LIGHT
	EXISTING LIGHT POLE
	PROPOSED LIGHT POLE
	EXISTING MANHOLE
	PROPOSED MANHOLE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	EXISTING IRRIGATION VALVE
	PROPOSED IRRIGATION VALVE
	EXISTING WATER METER
	PROPOSED WATER METER

	PROPOSED REDUCER
	EXISTING POST INDICATOR
	PROPOSED POST INDICATOR
	EXISTING SANITARY TAP
	EXISTING CLEAN OUT
	EXISTING WATER VALVE
	PROPOSED WATER GATE VALVE
	PROPOSED SANITARY GATE VALVE
	PROPOSED GAS VALVE
	EXISTING GAS METER
	PROPOSED GAS METER
	EXISTING GAS VALVE
	PROPOSED GAS VALVE
	BORING
	BENCHMARK
ACP	AIR CONDITIONER
B	BACKFLOW PREVENTER
B	BOLLARD
CDP	CONCRETE DAMPENER PAD
CO	CLEAN OUT
CP	CONCRETE PAD
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
CK	CHILLED WATER
D	DRIP INLET
DIP	DUCTILE IRON PIPE
DWT	DOUBLE WING TAP
EBX	ELECTRICAL BOX
EF	ELECTRICAL FEED
EO	ELECTRICAL OUTLET
F	FOUNTAIN
FBKX	FIBEROPTIC BOX
FBM	FIBEROPTIC MONUMENT
FDBX	FIBEROPTIC PULLBOX
FR	FREE HYDRANT
FP	FLAG POLE
GM	GAS METER
GUY	GUY POLE
GUY	GUY WIRE
GRAT	GRATE TRAP
GV	GAS VALVE
GVP	GAS VENT PIPE
HBT	HOOD BACK TRAP
ICV	IRRIGATION CONTROL VALVE
LEV	INVERT ELEVATION
LP	LIGHT POLE
MB	MAIL BOX
MW	MONITORING WELL
OIF	OPEN TO FLOOD
PO	POWER METER
PO	POWER OUTLET
PP	POWER POLE
PVC	POLYVINYLCHLORIDE PIPE
RCR	REINFORCED CONCRETE PIPE
RPN	REDUCED PRESSURE ZONE BACKFLOW PREVENTER
SAN	SANITARY SINKER
SD	STORM DRAIN
SH	SPRINKLER HEAD
STBX	STORM BOX
SWT	SINGLE WING TAP
T	TRUNCATED DOME
TP	TELEPHONE PEDIESTAL
TPB	TELEPHONE PULLBOX
TSR	TRAFFIC SIGNAL BOX
TSC	TRAFFIC SIGNAL CABINET
TSP	TRAFFIC SIGNAL POLE
WM	WATER METER
WV	WATER VALVE
WVB	WATER VALVE BOX
WVLT	WATER VAULT

ASH	ASH	JPM	JAPANESE HOLLY
BI	BIRCH	WAG	SOUTHERN MAGNOLIA
CA	CAMELLIA	WP	MAPLE
CE	CEDAR	MULTI	MULTI-TRUNK
CBN	CHINA BERRY	DAK	DAK
CH	CHERRY	PA	PALMETTO
CHI	CHINESE PISTACHIO	PE	PECAN
CR	CRAPE MYRTLE	PENG	PERSIMMON
CYP	CYPRESS	PN	PINE
DW	DWARFED (FLOWERING)	PQ	POPLAR
EC	EASTERN RED CEDAR	FR	PEAR
FN	FRUIT TREE	SG	SWEETGUM
GBL	GINKGO BILOBA	SUB	SUGARBERRY
QUM	QUAM	SUC	SYCAMORE
HE	HICKORY	TA	TALLOW TREE
HBL	HAZELBERRY	TEE	UNKNOWN TREE TYPE
HO	HOLY	WAX	WAX MYRTLE
JAP	JAPANESE MAPLE		

LING GRAVES
GRAVES CONSTRUCTION COMPANY
(843) 842-2895

MEGAN SMITH, P.
CRANSTON, LLC
(843) 352-7770

POWER
DOMINION ENERGY
SERVICE CONTACT: 803-645-8207
REPORT OUTAGE: 877-264-5368

GAS
DOMINION ENERGY
EMERGENCY CONTACT: 1-800-815-0083

- [illegible]

1. DATE OF SURVEY - 12/10/2017 BY SEA ISLAND LAND SURVEY, LLC.
2. THE DATA TOGETHER WITH ALL OTHER INFORMATION SHOWN ON THESE PLANS, OR INDICATED IN ANY WAY THEREBY, WHETHER BY DESIGN OR BY NOTE OR ANY OTHER MANNER, ARE BASED UPON FIELD INVESTIGATIONS AND ARE BELIEVED TO BE INDICATIVE OF ACTUAL CONDITIONS. HOWEVER, THE SAME ARE SHOWN AS INFORMATION ONLY AND ARE NOT GUARANTEED.
3. ACCORDING TO THE FIMA FIELD PANEL NO. 04522, MAP NO. 45013C04522, NO PORTIONS OF THIS PROJECT LIE WITHIN THE 100 YEAR FLOOD PLAIN.
4. THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE OWNER IN THE EVENT THAT PREVIOUSLY UNKNOWN HISTORICAL OR ARCHEOLOGICAL SITES ARE DISCOVERED DURING CONSTRUCTION. NO ADDITIONAL WORK IN SUCH AREAS WILL BE ALLOWED UNTIL AUTHORIZED IN WRITING.
5. DISTURBANCES TO ANY SURVEY MARKERS OR MONUMENTS REQUIRES RE-ESTABLISHMENT BY A LICENSED SURVEYOR AT THE CONTRACTOR'S EXPENSE.

1. ALL SILT BARRIERS MUST BE PLACED PRIOR TO LAND DISTURBING ACTIVITIES.
2. ALL DRAINAGE EASEMENTS & DISTURBED AREAS MUST BE GRASSED AND/OR RIP-RAPPED AS REQUIRED TO CONTROL EROSION.

1. THE EXISTENCE, ABSENCE, LOCATION AND ELEVATION OF UNDERGROUND UTILITIES ON THE PLANS ARE NOT BASED ON FIELD MARKS, ARE NOT GUARANTEED, AND SHALL BE INVESTIGATED, UNEARTHED IF NECESSARY, AND VERIFIED BY CONTRACTOR BEFORE CONSTRUCTION.
2. THE CONTRACTOR SHALL CONTACT SOUTH CAROLINA BELL, "CALL BEFORE YOU DIG" SERVICE IN ORDER TO LOCATE UTILITIES PRIOR TO STARTING ANY EXCAVATION OR CONSTRUCTION.
3. CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES ABOVE, GROUND OR BELOW GROUND.
4. CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH APPROPRIATE UTILITIES PRIOR TO AND/OR DURING CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY BEFORE DIGGING NEAR WATER AND SANITARY SEWER LINES.
5. NO EXTRA PAYMENT WILL BE MADE FOR REPAIRS TO DAMAGE OF EXISTING UTILITIES.
6. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR DAMAGE TO EXISTING UTILITY FACILITIES, OBSTRUCTIONS, OR ANY OTHER ITEMS NOT REMOVED OR RELOCATED TO CLEAR CONSTRUCTION IN ADVANCE OF HIS WORK.

1. THE CONTRACTOR WILL BE RESPONSIBLE FOR SUBMITTING A TRAFFIC CONTROL PLAN FOR APPROVAL, AND THE INSTALLATION OF ALL TRAFFIC CONTROL SIGNAGE, SIGNALS, AND/OR DEVICES IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
2. THE CONTRACTOR WILL BE RESPONSIBLE FOR INITIAL INSTALLATION OF ALL TRAFFIC CONTROL SIGNAGE REQUIRED FOR CONSTRUCTION.
3. ROAD CLOSURES AND DETOURS, SHOULD THEY BE NEEDED, SHALL BE COORDINATED AND APPROVED WITH THE OWNER AND SCDOT. A MINIMUM OF TWO (2) CALENDAR WEEKS PRIOR TO PLANNED CLOSURE AND/OR DETOUR.
4. CERTIFIED FLAGGERS AND/OR ARROW BOARDERS WILL BE REQUIRED TO MAINTAIN TRAFFIC CONTROL WHILE WORKING WITHIN THE LIMITS OF THE ROAD OR HIGHWAY.
5. CONTRACTOR SHALL MAINTAIN ONE (1) LANE OF TRAVEL OPEN AT ALL TIMES IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

- [illegible]



CRANSTON



PRELIMINARY
NOT FOR CONSTRUCTION



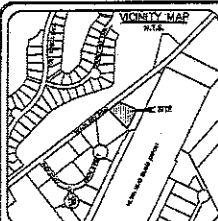
BEACH CITY ROAD CAR BARN

GENERAL NOTES AND LEGEND

DRAWN BY:	PA
CHECKED BY:	ME
APPROVED BY:	ME
DATE:	9/12/202
SCALE:	N/
JOB No.	2022-026
DRAWING No.	

C1.1





LINE	TYPE	LENGTH	BEARING
1	1	1.00	N 00° 00' 00" E
2	2	1.00	N 00° 00' 00" E
3	3	1.00	N 00° 00' 00" E
4	4	1.00	N 00° 00' 00" E
5	5	1.00	N 00° 00' 00" E
6	6	1.00	N 00° 00' 00" E
7	7	1.00	N 00° 00' 00" E
8	8	1.00	N 00° 00' 00" E
9	9	1.00	N 00° 00' 00" E
10	10	1.00	N 00° 00' 00" E
11	11	1.00	N 00° 00' 00" E
12	12	1.00	N 00° 00' 00" E
13	13	1.00	N 00° 00' 00" E
14	14	1.00	N 00° 00' 00" E
15	15	1.00	N 00° 00' 00" E
16	16	1.00	N 00° 00' 00" E
17	17	1.00	N 00° 00' 00" E
18	18	1.00	N 00° 00' 00" E
19	19	1.00	N 00° 00' 00" E
20	20	1.00	N 00° 00' 00" E

LOT 8
8010 004 000 0344 0000
BEAUFORT COUNTY
PG 1004 1000
BEAUFORT SC 29901

HILTON HEAD AIRPORT
8010 004 000 0376 0000
BEAUFORT COUNTY
PG 1004 1000
BEAUFORT SC 29901

- LEGEND & SYMBOLS**
- THREE SECS ARE INCHES IN DIAMETER
- 1" SPOT ELEVATION
 - 2" CONCRETE MONUMENT FOUND
 - 3" RAIL NAIL FOUND
 - 4" TRANSFORMER
 - 5" INVERT ELEVATION
 - 6" POLYETHYLENE GLASS
 - 7" POLYETHYLENE GLASS
 - 8" LIVE GAZ
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 - 99" LAD
 - 100" LAD

ASBUILT, TREE AND TOPOGRAPHIC SURVEY OF:
LOT 9, BEACH CITY COMMERCIAL CENTER,
HILTON HEAD ISLAND,
BEAUFORT COUNTY, SOUTH CAROLINA
PREPARED FOR: LING GRAVES

DATE: 12/10/2021 SCALE: 1" = 10'

GRAPHIC SCALE

Sea Island Land Survey, LLC
10 Oak Park Drive, Unit C1,
Hilton Head Island,
SC 29928
Tel: (843) 581-3248
Fax: (843) 581-3271
Email: sas@pynd.com
File No: 171072 DWG No: 4-2179



LOT 10
8010 004 000 0345 0000
BEAUFORT COUNTY
PG 1004 1000
BEAUFORT SC 29901

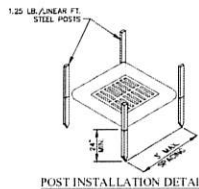
- NOTES**
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - SEA ISLAND LAND SURVEY, LLC, CERTIFIED TO THE STANDARDS, PRACTICES AND ASBUILT INFORMATION PROVIDED HEREIN AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR CONSTRUCTION AND ANY CHANGES IN CONSTRUCTION ARE NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. ANY CHANGES FROM SEA ISLAND LAND SURVEY, LLC, WILL BE THE USER'S RESPONSIBILITY.
 - EXISTING PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE SURVEY. THE USER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE SURVEY.
 - HORIZONTAL DATUM IS LOCAL.
 - VERTICAL DATUM IS NAVD 83.
 - CONTOUR INTERVAL IS 1.0'.
 - USE OF THIS SURVEY MAY BE AFFECTED BY THE TERMS OF ANY AGREEMENTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
 - EXISTING STRUCTURES, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE USER. ANY CHANGES IN CONSTRUCTION ARE NOT THE RESPONSIBILITY OF SEA ISLAND LAND SURVEY, LLC. ANY CHANGES FROM SEA ISLAND LAND SURVEY, LLC, WILL BE THE USER'S RESPONSIBILITY.
 - THIS SURVEY HAS BEEN PROVIDED WITHOUT WARRANTY OF A COMPLETELY ACCURATE AND IS SUBJECT TO REVISIONS AND MODIFICATIONS OF RECORD.
 - THIS SURVEY DOES NOT CONVEY TO THE USER OR ANYONE ELSE, ANY RIGHTS OR INTERESTS IN THE LAND OR ANY OTHER RIGHTS OR INTERESTS.
 - IF CONSTRUCTION OF THIS SURVEY IS CRITICAL TO DEVELOPMENT, AN ADJACENT OWNER SHOULD BE ADVISED BY WRITTEN NOTICE OF THE SURVEY.
 - THIS PROPERTY LIES WITHIN PARTIALLY OF WILKIE WATERS, THE HILTON HEAD ISLAND AIRPORT OVERLAY DISTRICT AND IS SUBJECT TO MORE THAN MAY BE CONSIDERABLE.

- REFERENCE PLATS**
- 1) A BOUNDARY & DIVISION OF LOT 9, BEACH CITY COMMERCIAL CENTER, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: 5/22/2021. RECORDED IN DEED BOOK 3546, PAGE 3091. BEAUFORT COUNTY, SC. BY: AUGUSTINE N. JAMES S. SAMS, # 27740.
 - 2) A SUBDIVISION PLAT OF BEACH CITY COMMERCIAL CENTER, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA. DRAWN: 12/15/2019. RECORDED IN PLAT BOOK 53, PAGE 76, DATED 7/20/19. BEAUFORT COUNTY, SC. BY: JAMES M. SAMS S. SAMS, # 13186.

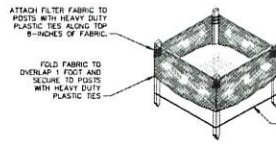
PROPERTY AREA = 1.28 AC, 50,181 S.F.
ADDRESS: 146 BEACH CITY ROAD
DISTRICT: 510, MAP: 4, PARCEL: 343
THIS PROPERTY LIES IN FEMA ZONE X
BASE FLOOD ELEVATION = NO MINIMUM ELEVATION
COMBUSTION NO. 450250, PANEL 045025, DATED: 5/22/2021

EXISTING CONDITIONS

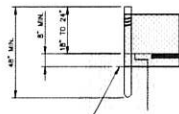
C2.0



POST INSTALLATION DETAIL



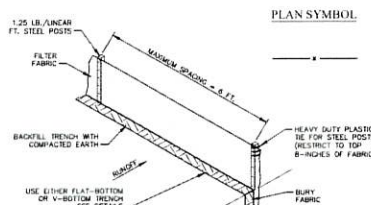
FILTER FABRIC INSTALLATION DETAIL



FILTER FABRIC BURIAL DETAIL

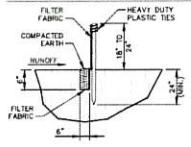
TYPE A
FILTER FABRIC INLET PROTECTION
SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL
STANDARD DRAWING NO. SC-40 (PAGE 1)
N.T.S.

SILT FENCE INSTALLATION

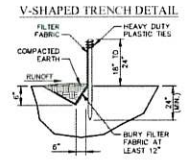


PLAN SYMBOL

FLAT-BOTTOM TRENCH DETAIL



FLAT-BOTTOM TRENCH DETAIL



V-SHAPE TRENCH DETAIL

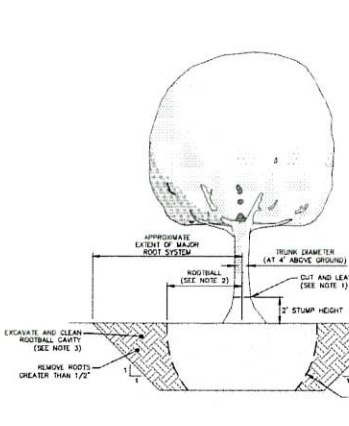
SILT FENCE - GENERAL NOTES

- DO NOT PLACE SILT FENCE ACROSS CHANNELS OR IN OTHER AREAS SUBJECT TO CONCENTRATED FLOWS. SILT FENCE SHOULD NOT BE USED AS A VELOCITY CONTROL BMP. CONCENTRATED FLOWS ARE ANY FLOWS GREATER THAN 0.5 CFS.
- MAXIMUM SLOPE STEEPNESS (NORMAL [PERPENDICULAR] TO THE FENCE LINE) SHALL BE 2:1.
- MAXIMUM SHEET OR OVERLAND FLOW PATH LENGTH TO THE SILT FENCE SHALL BE 100-FOOT.
- SILT FENCE JOINTS, WHEN NECESSARY, SHALL BE COMPLETED BY ONE OF THE FOLLOWING:
 - WHERE EACH FABRIC TOGETHER AT A SUPPORT POST WITH BOTH ENDS FASTENED TO THE POST.
 - OVERLAP SILT FENCE BY INSTALLING 3-FOOT PASSED THE SUPPORT POST TO WHICH THE NEW SILT FENCE ROLL IS ATTACHED. ATTACH SOIL ROLL TO NEW ROLL WITH HEAVY-DUTY PLASTIC TIES OR.
 - OVERLAP EXISTING WIDTH OF EACH SILT FENCE ROLL FROM ONE SUPPORT POST TO THE NEXT SUPPORT POST.
- ATTACH FILTER FABRIC TO THE STEEL POSTS USING HEAVY-DUTY PLASTIC TIES THAT ARE HEAVY-DUTY PLASTIC TIES.
- INSTALL THE SILT FENCE PERPENDICULAR TO THE DIRECTION OF THE STORMWATER FLOW AND PLACE THE SILT FENCE THE PROPER DISTANCE FROM THE TOP OF STEEP SLOPES TO PROVIDE SEDIMENT STORAGE AND ACCESS FOR MAINTENANCE AND CLEANOUT.
- INSTALL SILT FENCE CHECKS (TEE-BACKS) EVERY 30-100 FEET, DEPENDENT ON SLOPE. ALONG SILT FENCE THAT IS INSTALLED WITH SLOPE AND WHERE CONCENTRATED FLOWS ARE EXPECTED OR ARE DOCUMENTED ALONG THE PROPOSED/INSTALLED SILT FENCE.

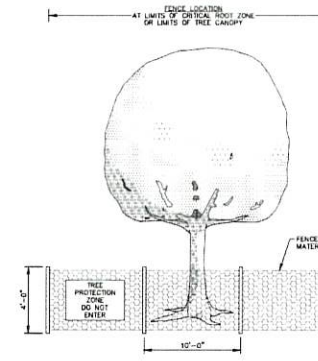
SILT FENCE
SOUTH CAROLINA DEPARTMENT OF PUBLIC HEALTH
STANDARD DRAWING NO. SC-40 (PAGE 1)
N.T.S.

NOTES

- CUT THE TREE APPROXIMATELY TWO FEET ABOVE GROUND LEVEL, LEAVING A PRUNED STUMP FOR THE ROOTBALL REMOVAL PROCESS.
- LOOSEN THE ROOTBALL BY PULLING THE STUMP FROM DIFFERENT DIRECTIONS AND THEN REMOVE THE ROOTBALL AND STUMP ALL TOGETHER FROM THE ROOTBALL. THE ROOTBALL CAN BE ESTIMATED IN FEET TO EXTEND 2-3 TIMES THE TRUNK DIAMETER (IN INCHES) FROM THE TREE. THE MAJOR ROOT SYSTEM CAN EXTEND CAN BE ESTIMATED (IN FEET) AS TWICE THE TRUNK DIAMETER (IN INCHES) FROM THE TREE. THE MAJOR ROOT SYSTEM WILL EXTEND 20'.
- CLEAR THE ROOTBALL CAVITY TO REMOVE LOOSE SOIL AND THE REMAINING ROOT SYSTEM BY EXCAVATING AND UNDERCUTTING THE ROOTBALL CAVITY MAXIMUM 1:1 (HORIZONTAL AND VERTICAL) SIDE SLOPES AND A HORIZONTAL BOTTOM.
- VERIFY UNDERCUT AREA TO CONFIRM THAT ALL MAJOR ROOT SYSTEMS GREATER THAN ABOUT ONE HALF IN IN DIAMETER HAVE BEEN REMOVED DURING THE UNDERCUTTING OPERATION.
- BACKFILL WITH EXCAVATED EQUIPMENT FILL OR SHARP, SUITABLE MATERIAL AND COMPACT IN MINIMUM LOOSE LIFTS OF 6" TO 8" DEEP. COMPACT WITH MANUALLY OPERATED BACKHOE-MOUNTED COMPACTOR EQUIPMENT. MATERIALS CONSIDERED UNSUITABLE FOR BACKFILLING INCLUDE TOPSOIL, ORGANIC MATTER, CONTAMINATED SOIL, CONSTRUCTION DEBRIS, PERISHABLE MATERIALS, SOFT/COMPRESSIBLE SOILS, AND ROCKS OR LUMPS OF CEMENTED SOIL OVER 2 INCHES IN MAXIMUM DIMENSION.
- ESTABLISH GRASS COVER (OR EROSION PROTECTION) ON ALL DISTURBED AREAS.

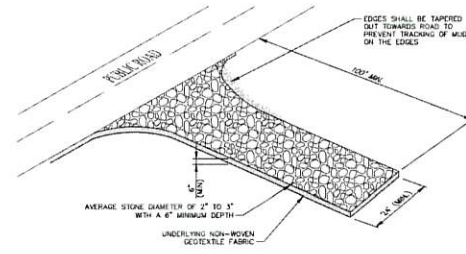


TYPICAL TREE REMOVAL
N.T.S.



TREE PROTECTION FENCE DETAIL
N.T.S.

- INSTALL TREE PROTECTION FENCE AROUND ALL TREES TO REMAIN WITHIN 25' OF ANY PROPOSED GRADING, CONSTRUCTION, OR TREE REMOVAL.
- TREE PROTECTION ZONE WARNING SIGNAGE SHALL BE INSTALLED AT LEAST 10 FEET FROM THE PROTECTION FENCE. THE MESSAGE "TREE PROTECTION ZONE DO NOT ENTER" SHALL BE INSTALLED AT LEAST 10 FEET FROM THE PROTECTION FENCE. THE MESSAGE "TREE PROTECTION ZONE DO NOT ENTER" SHALL BE INSTALLED AT LEAST 10 FEET FROM THE PROTECTION FENCE.



CONSTRUCTION ENTRANCE
SOUTH CAROLINA DEPARTMENT OF PUBLIC HEALTH
STANDARD DRAWING NO. SC-40 (PAGE 1)
N.T.S.

SPECIFICATION	SIZE
ROCK PAD THICKNESS	6 INCHES
ROCK PAD WIDTH	24 FEET
ROCK PAD LENGTH	100 FEET
ROCK PAD STONE SIZE	12 - 2 1/2 INCHES

PLAN SYMBOL

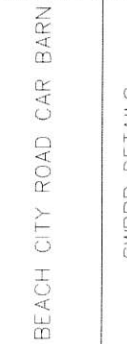
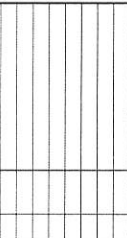


STANDARD NOTES

- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVERED OR REMOVED. THE WATER SHOULD BE 15 FEET TO REMOVE ANY SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERING OF THE SITE.
- STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. BUT IN NO CASE MORE THAN 14 DAYS AFTER THE WORK HAS CEASED, EXCEPT AS NOTED OTHERWISE. STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
- WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, STABILIZATION MEASURES SHALL BE INITIATED ON THAT PORTION OF THE SITE.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE ADJACENT ROADWAY FROM THE CONSTRUCTION AREA. THE OPERATION OF BEST THE CONTRACTOR SHALL DAILY REMOVE MUD/SLURRY FROM PAVEMENT, AS MAY BE REQUIRED.
- ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED DURING CONSTRUCTION. UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.

- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS OR OBTAIN APPROVAL FOR AN ALTERNATE PLAN IN ACCORDANCE WITH S.C. REG. 72-200-A, SUPPLEMENTED.
- UTILITY CONSTRUCTION DEBRIS, SOIL, FILL & BUILDING PRODUCTS WITH THE SIGNIFICANT POTENTIAL IMPACT SUCH AS STEEL, WOOD, PLASTIC, INSULATION, PAINT, CONCRETE, CHEMICALS, THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- ALL SEDIMENT & EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK IF PERMITTED, INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INADEQUATELY OR INCORRECTLY INSTALLED, THE PERMITTED MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (10:1 OR GREATER) WHERE LAND DISTURBING ACTIVITIES HAVE CEASED, AND WILL NOT REZONE FOR A PERIOD OF 7 CALENDAR DAYS.
- MANAGE SOIL COMPACTION AND UNDESIRABLE IMPROVE PREVENTIVE TIES.
- MANAGE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND EQUIPMENT. WHEEL WASH WATER, OTHER WASH WATER, WASH WATER MUST BE INSTALLED IN A SEDIMENT BASIN OR ALTERNATE CONTROL THAT PROVIDES LOCALIZATION OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DISCHARGES OF TRENCHES, EXCAVATED AREAS, THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM THE SITE ARE PROHIBITED:
 - WASTEWATER FROM WASHBOYS OR CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL.
 - WASTEWATER FROM WASHBOYS & CLEANSING OF TOILETS, PAINT, FROM RELEASED OILS, LUBRICANTS & OTHER CONSTRUCTION MATERIALS.
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE & EQUIPMENT OPERATION & MAINTENANCE.
 - SOAPS OR DETERGENTS USED IN VEHICLE & EQUIPMENT WASHING.

- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK. A MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED.
- ALL AREAS OF THE CONSTRUCTION SITE WHERE CONSTRUCTION ACTIVITIES ARE BEING CONDUCTED MUST BE MONITORED FOR ANY ADDITIONAL BMPs. IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SOIL WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE INITIATED BEFORE NEXT STORM EVENT, WHENEVER PRACTICABLE.
- TEMPORARY DIVERSIONS, DITCHES AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO APPROPRIATE TRAPS OR STABLE OUTLET.
- TO PREVENT MUD, SOIL, AND OTHER POLLUTANTS FROM ENTERING AND/OR TO EXIST SEDIMENT-LADEN WATER MARKED IN THE FIELD, A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN BE MAINTAINED BETWEEN THE DISTURBED AREA AND THE ADJACENT ROADWAY. BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WAYS.
- IF PAVEMENT, ELEC. AND NATURAL GAS UTILITIES ARE INSTALLED OR UNDER CONSTRUCTION, BUFFER PROTECTION SHALL BE MAINTAINED BETWEEN THE DISTURBED AREA AND THE ADJACENT ROADWAY.
- PAINT PROTECTION SHALL BE PROVIDED AT ALL EXISTING INLETS THAT RECEIVE FLOWS FROM THE DISTURBED AREA.
- CONSTRUCTION ENTRANCES SHALL BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ACCESSES A PAVED ROADWAY.



DRAWN BY:	PAC
CHECKED BY:	MEH
APPROVED BY:	MEH
DATE:	9/12/2024
SCALE:	N/A
JOB NO:	2022-0262
DRAWING NO:	C3.1



SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL
STANDARD DRAWING NO. RC-47 [PAGE 1]
N.T.S.

1. ACTUAL LAYOUT DETERMINED IN FIELD.
2. INSTALL CONCRETE WASHOUT SIGN (24"x24", MINIMUM) WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. TEMPORARY WASHOUT AREA MUST BE AT LEAST 50' FROM A STORM DRAIN, CREEK, BANK OR PERIMETER CUTOFF.
4. CLEAN OUT CONCRETE WASHOUT AREA WHEN 50% FULL.
5. THE KEY TO FUNCTIONAL CONCRETE WASHOUTS IS WEEKLY INSPECTIONS, ROUTINE MAINTENANCE, AND PROPER WASHING CLEAN OUT.
6. SILT FENCE SHALL BE INSTALLED ALONG PERIMETER OF CONCRETE WASHOUT AREA EXCEPT FOR THE SITE UTILIZED FOR ACCESSING THE WASHOUT.
7. A ROCK CONSTRUCTION ENTRANCE MAY BE NECESSARY ALONG ONE SIDE OF THE WASHOUT TO PROVIDE VEHICLE ACCESS.

MONTHS OF CONSTRUCTION ACTIVITIES

[illegible]

1. THE TIME AND TIDE GOES ABOVE AND ARE NOT EXACT OR HARDLY DETERMINABLE. WE WILL IN ALL CASES SOLO EROSION AND SEDIMENT CONTROL STRUCTURES WILL BE CONSIDERED AS A PART OF THE DESIGN. THE DESIGNER SHALL SHOW AROUND AND AS OR AS DIRECTED BY TOWNS OF HILTON HEAD ISLAND OR PERMITS.
2. GRASSING WILL BE ACCEPTED WHEN A 95% COVER BY PERMANENT GRASSES IS OBTAINED. THE RECESS SHALL BE 10% OF THE TOTAL AREA.
3. GRASSING OF CONSTRUCTION AREAS WILL COMMENCE AT COMPLETION OF EACH PHASE OF CONSTRUCTION OR IN THE SEQUENCE AS SHOWN ABOVE. IN ANY CASE, GRASSING OF ANY CONSTRUCTION AREA WILL BEGIN AT THE EARLIEST POSSIBLE DATE.
4. I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED HERETOBY, THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS EQUIVOCAL AND THAT THE DESIGNER HAS BEEN ADVISED OF THE DESIGN OF THE LAW OF S.C. 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE) AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF DISPOSITION.

GRASSING REQUIREMENTS

1. SEEDING SCHEDULE: MONITORARY SEEDING: APRIL 15 - AUGUST 31, BROWNIEP MILLET @ 40 LBS/ACRE, SEPTEMBER 1 - DECEMBER 15, RYE GRASS @ 50 LBS/ACRE
PERMANENT SEEDING: APRIL 1 - OCTOBER 15, A MIXTURE OF KENTUCKY 31 FESCUE @ 20 LBS/ACRE AND BERMUDA GRASS @ 20 LBS/ACRE, TO BE SEEDING RYE GRASS @ 40 LBS/ACRE AND 4 LBS/ACRE OF AMBUZZI RYE @ 75 LBS/ACRE, OCTOBER 15 TO MARCH 30 SEED AMBUZZI RYE AT 100 LBS/ACRE
DOLOMITIC LIMB WILL BE INCORPORATED AT THE RATE OF 3000 POUNDS/ACRE
FERTILIZER WILL BE A COMMERCIAL GRADE 10-10-10 INCORPORATED IN THE SOIL AT A RATE OF 500 POUNDS/ACRE
2. FROM APRIL THROUGH AUGUST AND NOT LESS THAN 30 DAYS AFTER SEEDING, APPLY AMMONIUM NITRATE (NOT LESS THAN 20% NITRATE) AT A RATE EQUAL TO 60 POUNDS OF AVAILABLE NITROGEN/ACRE
3. ALL SEEDED AREAS WILL BE MULCHED WITH HAY OR STRAW AT A RATE OF 1500 POUNDS/ACRE
4. SEEDING AND MULCHING WILL BE ACCOMPLISHED IN SINGLE OR DOUBLE PASSING
5. ALL AREAS TO BE MULCHED WITH HAY OR STRAW AT A RATE OF 1500 LBS/ACRE

TEMPORARY GRASSING

1. MARCH 1-AUGUST 14 SHALL BE PEARL MILLET 50 LBS./ACRE COVERED WITH HEAVY MULCH.
AUGUST 15-FEBRUARY 28 SHALL BE RYE GRASS 40 LBS./ACRE AND RYE GRAIN SIMULTANEOUSLY.

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CRANSTON

BEACH CITY ROAD CAR BARN

SWPPP DETAILS

Defect	Frequency	Cost of Defect
Defect 1	100	\$100
Defect 2	200	\$200
Defect 3	300	\$300
Defect 4	400	\$400
Defect 5	500	\$500
Defect 6	600	\$600
Defect 7	700	\$700
Defect 8	800	\$800
Defect 9	900	\$900
Defect 10	1000	\$1000

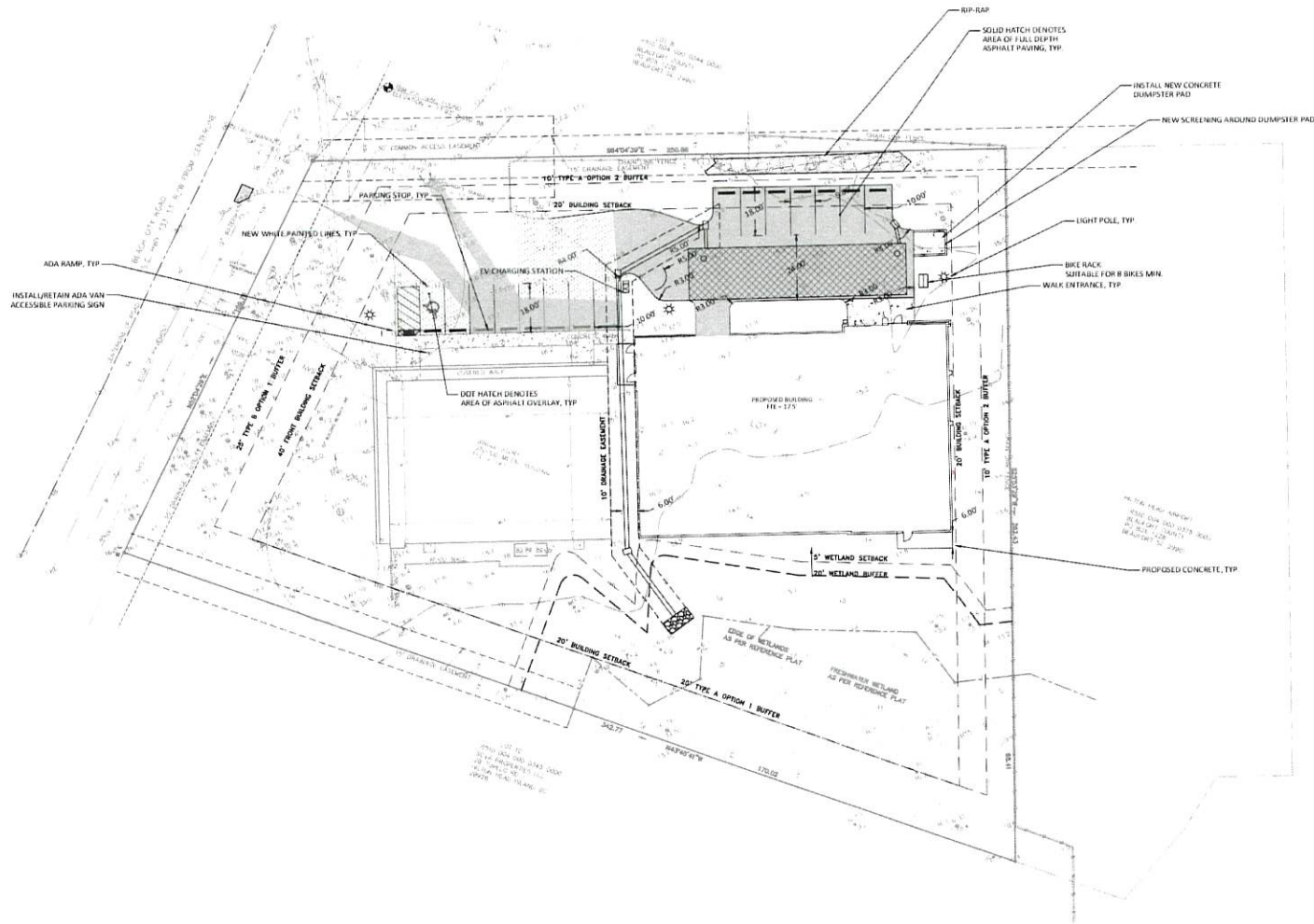
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APPROVED BY:	ME
DATE:	9/12/2024
SCALE:	N/A
JOB No.	2022-026
DRAWING No.	

C3.2



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LEGEND

	FULL DEPTH ASPHALT PAVING (SOLID HATCH)		AREA OF UNDERGROUND STORAGE BMP
	ASPHALT OVERLAY (DOT HATCH)		
	SIDEWALK		

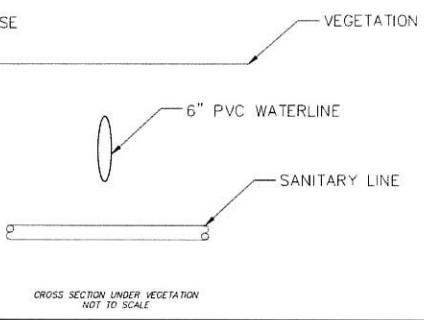
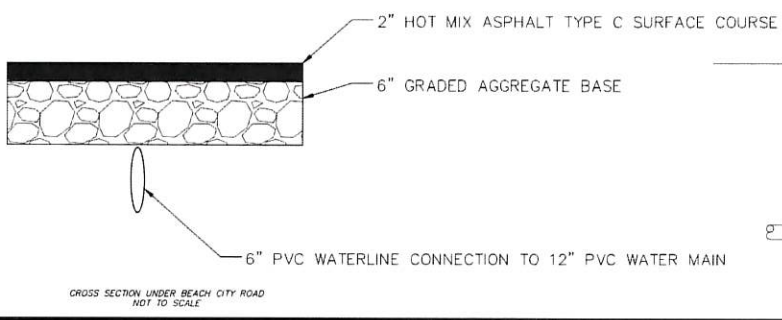
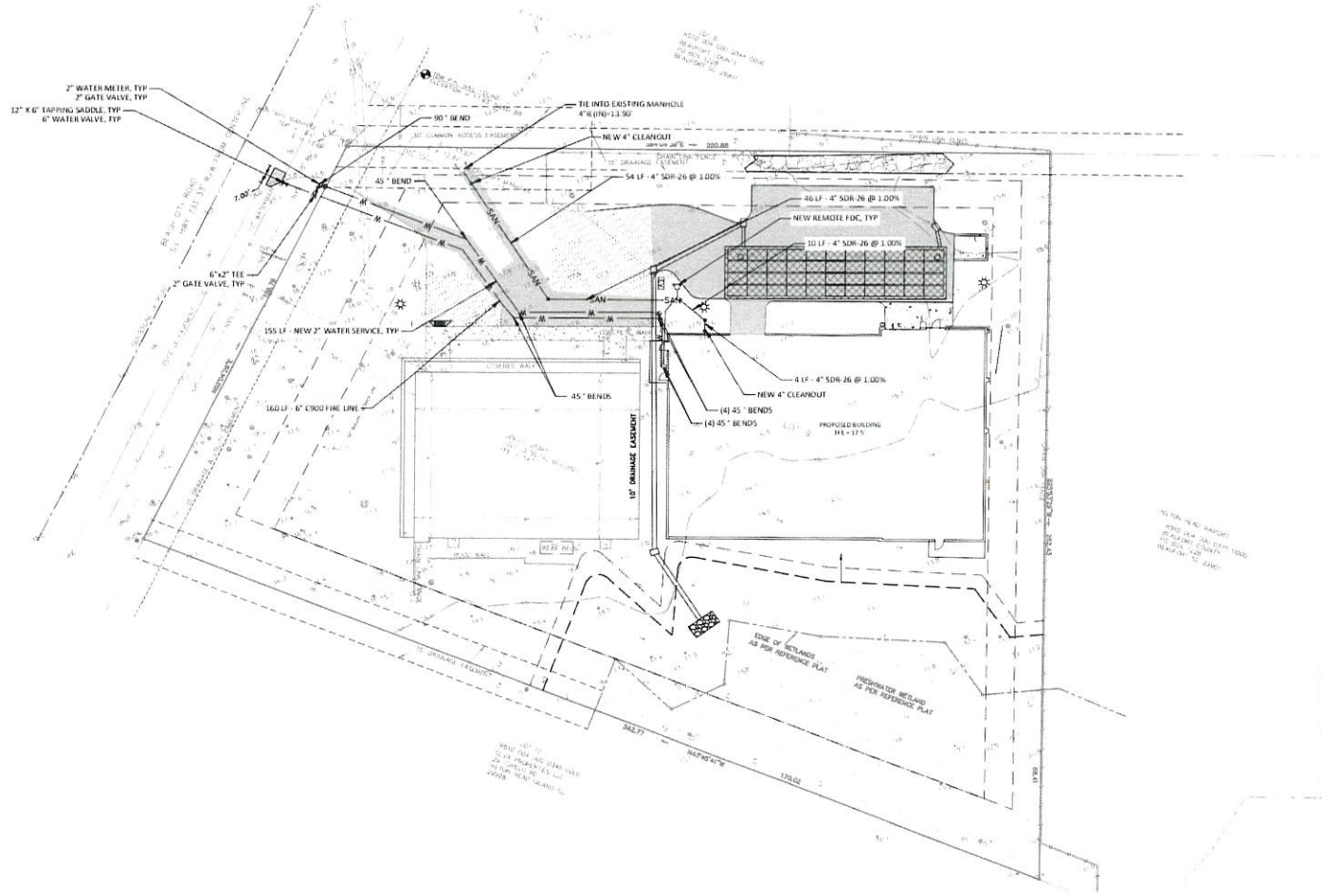
PLAN
HORIZONTAL SCALE 1"=20'



NOTE: EACH PARKING SPACE DESIGNATED AS ACCESSIBLE FOR THE DISABLED MUST BE MARKED WITH AN APPROPRIATE SIGN, MOUNTED IN CLEAR VIEW FOR MOTORISTS. A HEIGHT OF AT LEAST 60 INCHES, MEASURED FROM THE GROUND TO THE BOTTOM EDGE OF THE SIGN, IS RECOMMENDED.
PARKING SPACES SHALL BE MARKED WITH WHITE PAINTED LINES, EXCEPT WHERE ACCESSIBILITY REQUIREMENTS REQUIRE THAT SPACES BE DELINEATED IN BLUE. PAINTED YELLOW LINES ARE FOR MARKING NO PARKING AREAS.



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CHECKED BY:	MEK
APPROVED BY:	MES
DATE:	9/12/2024
SCALE:	1" = 20'
JOB NO:	2022-0260
DRAWING NO:	C4.0



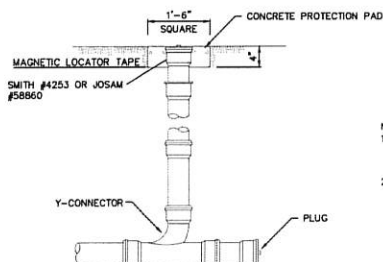
REV.	DATE	DESCRIPTION

BEACH CITY ROAD CAR BARN

UTILITY PLAN

DRAWN BY:	PAC
CHECKED BY:	MER
APPROVED BY:	MES
DATE:	9/12/2024
SCALE:	1" = 20'
JOB NO:	2022-026C
DRAWING NO:	C7.0

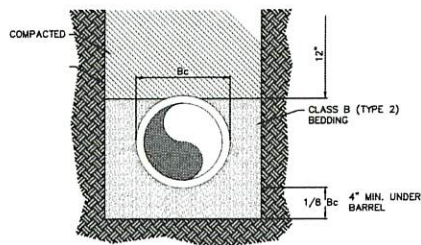
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CLEANOUT DETAIL
NOT TO SCALE

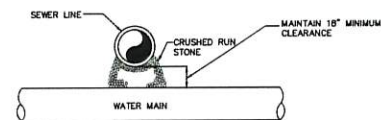
- NOTES:
1. THE CLEANOUT SHOULD BE THE SAME SIZE DIAMETER AS THE LINE THAT IT IS INSTALLED ON.
 2. CLEANOUT SHOULD CONSIST OF A PLUG SUITABLE FOR AIR TEST.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
CLEANOUT DETAIL			
APPROVED BY	DATE	REVISION	REVISION NO.
LC	JULY 2000		
SCALE	NTS	XXXXXXX	XII-13



BEDDING FOR PVC GRAVITY SEWER PIPE
NOT TO SCALE

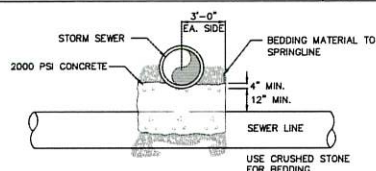
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
BEDDING FOR PVC GRAVITY SEWER PIPE			
APPROVED BY	DATE	REVISION	REVISION NO.
XXXXXXX	FEB. 1997		
SCALE	NTS	XXXXXXX	XII-1



SEWER CROSSING ABOVE WATER LINE
DETAIL
NOT TO SCALE

NOTE:
FULL JOINT OF DUCTILE IRON PIPE FOR BOTH WATER AND SEWER TO BE CENTERED AT CROSSING.

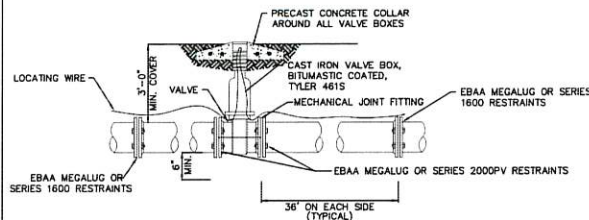
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
SEWER CROSSING ABOVE WATER LINE DETAIL			
APPROVED BY	DATE	REVISION	REVISION NO.
XXXXXXX	FEB. 1997		
SCALE		XXXXXXX	XII-2



STORM SEWER CROSSING
DETAIL
NOT TO SCALE

NOTE:
FULL JOINT OF DUCTILE IRON PIPE, CENTERED AT CROSSING.

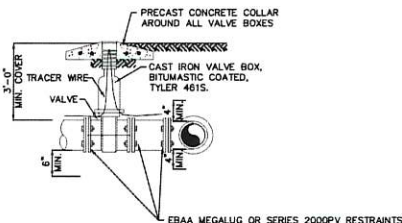
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
STORM SEWER CROSSING DETAIL			
APPROVED BY	DATE	REVISION	REVISION NO.
XXXXXXX	FEB. 1997		
SCALE	NTS	XXXXXXX	XII-3



GATE VALVE SETTING DETAIL
NOT TO SCALE

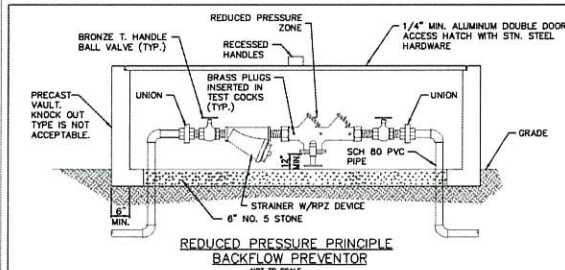
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
GATE VALVE SETTING DETAIL			
APPROVED BY	DATE	REVISION	REVISION NO.
LC	FEB. 1997		
SCALE	NTS	JAN. 2001	VIII-3

- NOTE:
1. ALL FITTINGS SHALL BE MECHANICAL JOINTS.
 2. TRACER WIRE SHALL BE LOOPED TO THE TOP OF THE VALVE BOX.



VALVE & TEE SETTING DETAIL
NOT TO SCALE

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
VALVE & TEE SETTING DETAIL			
APPROVED BY	DATE	REVISION	REVISION NO.
XXXXXXX	FEB. 1997		
SCALE	NTS	XXXXXXX	XII-3



**REDUCED PRESSURE PRINCIPLE
BACKFLOW PREVENTOR**
NOT TO SCALE

- NOTES:
1. MIN. WIDTH OF BOX 4' INSIDE.
 2. POURED CONCRETE OR PRECAST CONCRETE BOX, KNOCK-OUT TYPE IS NOT ACCEPTABLE.
 3. WHERE A POSITIVE DRAIN (NO SURCHARGING) IS AVAILABLE, A FLOOR DRAIN WITH A 2" SLOPED CONCRETE BOTTOM MAY BE USED AND VAULT AND THE VAULT CAN BE INSTALLED WITH THE TOP 2" ABOVE GRADE.
 4. IF SUBJECT TO TRAFFIC PROVIDE A HEAVY DUTY DOOR.
 5. REFER TO THE WATER DISTRIBUTION SYSTEM SPECIFICATIONS FOR ACCEPTABLE MANUFACTURERS.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT			
REDUCED PRESSURE PRINCIPLE BACKFLOW PREVENTOR			
APPROVED BY	DATE	REVISION	REVISION NO.
LC	FEB. 1997		
SCALE	NTS	JAN. 2024	VIII-9



BEACH CITY ROAD CAR BARN
UTILITY DETAILS

DRAWN BY:	PAC
CHECKED BY:	MEH
APPROVED BY:	MES
DATE:	9/12/2024
SCALE:	1" = 20'
JOB NO.	2022-026C
DRAWING NO.	C7.1



[illegible]

LEAFY CANOPY TREE	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	SC	Amorpha canescens Purshia coccinea	2' GAL 12' HIGH	4	
LEAFY BRUSH TREE	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	
	SC	Amorpha canescens Vauquexia Fida	2' GAL 6' HIGH	12	
SHRUBS	CODE	BOTANICAL / COMMON NAME	GAL	SPACING	QTY
	MS	Amorpha canescens Wickiopsis	2	30' x 3'	36
	PS	Hamamelis virginiana Viburnum	2	30' x 3'	48
	SB	Geopelia canescens Lobelia	2	30' x 3'	12

OVERSTORY	3
UNDERSTORY	6
SHRUBS	10
EXISTING	
OVERSTORY	7
UNDERSTORY	10
SHRUBS	0
PROPOSED	
OVERSTORY	0
UNDERSTORY	0
SHRUBS	10

20'X100' TYPE A BUFFER	
REQUIRED	
OVERSTORY	2
UNDERSTORY	3
SHRUBS	8
EXISTING	
OVERSTORY	9
UNDERSTORY	0
SHRUBS	0
PROPOSED	
OVERSTORY	0
UNDERSTORY	3
SHRUBS	8

10'X100' TYPE A BUFFER	
REQUIRED	
OVERSTORY	2
UNDERSTORY	4
SHRUBS	10
EXISTING	
OVERSTORY	2
UNDERSTORY	0
SHRUBS	0
PROPOSED	
OVERSTORY	0
UNDERSTORY	8
SHRUBS	48



REV	DATE	DESCRIPTION

BEACH CITY ROAD CAR BARN
TEMPORARY TRAFFIC CONTROL
PLAN

DRAWN BY:	PAC
CHECKED BY:	MEF
APPROVED BY:	MEC
DATE:	9/12/2024
SCALE:	1" = 20'
JOB NO:	2022-0266
DRAWING NO:	C9.0