



## **Town of Hilton Head Island**

### **Town Council Meeting**

**Tuesday, February 10, 2026, 3:00 PM**  
**1 Town Center Court, Hilton Head Island, SC**  
**Benjamin M. Racusin Council Chambers**

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The meeting can be viewed on the [Town's YouTube Channel](#), the [Beaufort County Channel](#), and Spectrum Channel 1304.

- 1. Call to Order**
- 2. Pledge to the Flag**
- 3. Invocation – Rev. C. R. Kessler, North Island Baptist Church**
- 4. Adoption of the Agenda**
- 5. Approval of the Minutes**
  - a. Regular Meeting Minutes of December 9, 2025
  - b. Special Meeting Minutes of December 18, 2025
  - c. Regular Meeting Minutes of January 13, 2026
- 6. Presentations and Recognitions**
  - a. Report of the Town Manager
  - b. Beaufort County School District Character Education Student of the Month - Mayor Alan Perry
  - c. South Carolina Arts Advocacy Week Proclamation - Mayor Alan Perry
- 7. Reports from Members of Town Council**
  - a. General Reports from Town Council
  - b. Report of the Lowcountry Area Transportation Study - Councilmember Tamara Becker
  - c. Report of the Lowcountry Council of Governments - Councilmember Steve Alfred

- d. Report of the Beaufort County Airports Board - Councilmember Melinda Tunner
- e. Report of the Southern Lowcountry Regional Board - Councilmember Patsy Brison
- f. Report of the Island Recreation Association Board - Mayor Pro Tempore Alex Brown
- g. Report of the Beaufort County Economic Development Corporation - Mayor Alan Perry
- h. Report of the Gullah Geechee Historic Neighborhoods Community Development Corporation - Mayor ProTempore Alex Brown
- i. Report of the Community Developmet and Public Services Committee - Councilmember Tamara Becker
- j. Report of the Finance and Administrative Committee - Mayor Pro Tempore Alex Brown

## **8. Consent Agenda**

- a. Consideration of an Ordinance of the Town of Hilton Head Island to Amend Title 16 of the Municipal Code, the Land Management Ordinance, to Amend Sections 16-3-105.H, 16-4-102.A.6, 16-4-105, and 16-4- 102.B.1 to allow residential Workforce Housing within the Medical (MED) Zoning District - Second Reading - Zac Gordon, Planning Director
- b. Consideration of an Ordinance of the Town of Hilton Head Town Council Island to Amend the Official Zoning Map with Respect to the Real Property located at Bethea Drive to Amend the Palmetto Headlands/Hilton Head Hospital Master Plan within the Planned Development Overlay District (PD-2) to Change the Allowed use of Parcels R510 008 000 337A 0000, R510 008 000 0337 0000 and R510 008 000 0452 0000 from Commercial Use to Commercial or Residential Use; and to Provide for Severability and an Effective Date - Second Reading - Zac Gordon, Planning Director

## **9. New Business**

- a. Consideration of a Resolution of the Town of Hilton Head Island Town Council Approving a Sponsorship Agreement with the Heritage Classic Foundation to Support the 2026 RBC Heritage Golf Tournament - Ben Brown, Strategic Initiatives Director
- b. Consideration to Amend an Ordinance of the Town of Hilton Head Island Municipal Code Title 2, Chapter 11, Section 2-11-40 to Modify the Practice Location Requirement for the Town Attorney - First Reading - Angie Stone, Assistant Town Manager

## **10. Public Comment - Non Agenda Items**

## **11. Executive Session**

- a. Discussion of Negotiations Incident to Proposed Contractual Arrangements [Pursuant to the South Carolina Freedom of Information Act Section 30-4-70(a)(2)] related to:

- 1. Circle Center Outparcel Covenants, Parking & Access Easement, and Sign Easements
- 2. Hilton Head Island Public Tennis

## **12. Action from Executive Session**

## **13. Adjournment**

FOIA Compliance: Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Hilton Head Island will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Hilton Head Island ADA Coordinator as soon as possible but no later than 48 hours before the scheduled event.

Municipal Association of South Carolina (MASC) Civility Pledge:

"I pledge to build a stronger and more prosperous community by advocating for civil engagement, respecting others and their viewpoints, and finding solutions for the betterment of my city or town."



# Town of Hilton Head Island TOWN COUNCIL MEETING Tuesday, December 9, 2025, 3:00 PM Minutes

## Call to Order

Mayor Perry called the meeting to order at 3:00 p.m.

Council Members present: Alan Perry, Mayor; Alex Brown, Ward 1, Mayor Pro Tempore; Patsy Brison, Ward 2; Steve DeSimone, Ward 3; Tammy Becker, Ward 4; Steve Alfred, Ward 5; Melinda Tunner, Ward 6

Others Present: Marc Orlando, Town Manager; Curtis Coltrane, Town Attorney; Kim Gammon, Town Clerk

## Invocation – Fr. Leroy "Chris" Gardner, Anglican Church of the Redeemer

Father Gardner delivered the invocation.

## Adoption of the Agenda

Mr. Alfred moved to approve. Ms. Becker seconded. Motion carried 7-0.

## Approval of the Minutes

### Regular Meeting Minutes of November 4, 2025

Mr. Alfred moved to approve. Ms. Tunner seconded. Motion carried 6-0. (Becker abstained as she was not present at the November 4 meeting.)

## Presentations and Recognitions

### Report of the Town Manager

Mr. Orlando provided updates on several capital projects as well as the beach renourishment project. He also reported on events regarding the Gullah Geechee Historic Neighborhood Community Development Corporation, Crescendo and the Lantern Parade. He concluded his presentation with a review of upcoming events scheduled for the Holiday Season along with recognition of staff accomplishments.

### Beaufort County School District Character Education Student of the Month - Mayor Alan Perry

Mayor Perry stated Gavin Ward, a kindergartner from Hilton Head Island Early Childhood Center was selected as a Beaufort County School District Student of the Month. He invited him

to the podium, presented him with a certificate and a commemorative Hilton Head Island medallion and offered congratulations on behalf of the Town Council. Gavin was joined at the podium by his teacher, Katie Hunt, and his parents, Ashley and Garret Ward.

Town of Hilton Head Island Destination Marketing Report (FY26 Marketing Plan - Q1) - Charlie Clark, Vice President of Communications, Hilton Head Island - Bluffton Chamber of Commerce

Charlie Clark and Chase O'Dell provided a detailed report and held discussions, answered questions regarding the report.

Reports from Members of Town Council

General Reports from Town Council

Ms. Brison reported on various events taking place throughout the Island.

Ms. Becker expressed appreciation to Fire Rescue for their efforts in assisting the Humane Society during a recent event.

Mayor Perry stated that Deep Well was recently awarded the recognition of PGA Charity of the Year and received a \$30,000 grant. He noted that they are the third organization from Hilton Head Island to receive the award. The other two were Memory Matters and Second Helpings. In addition, he recognized Frank Soule on his recent retirement as Executive Director of Island Recreation Association and thanked him for his leadership and service to the organization.

Report of the Lowcountry Area Transportation Study – Councilmember Tamara Becker

No report.

Report of the Lowcountry Council of Governments – Councilmember Steve Alfred

No report.

Report of the Beaufort County Airports Board – Councilmember Melinda Tunner

Ms. Tunner reported that construction continues on the terminal addition with completion expected in April 2026. She reported on additional direct flights to and from Chicago O'Hare International Airport that will be provided by United Airlines beginning in April through August 2026

Report of the Southern Lowcountry Regional Board – Councilmember Patsy Brison

Mayor Perry stated updates were provided at the last meeting regarding growth patterns and workforce housing.

Report of the Island Recreation Association Board – Mayor ProTempore Alex Brown

Mr. Brown provided updates regarding activities and events taking place. He noted that the dome has been installed over the pool and swim lessons are being provided. He advised all to

go to the website for hours of operation.

Report of the Beaufort County Economic Development Corporation - Mayor Alan Perry

No report.

Report of the Gullah Geechee Historic Neighborhoods Community Development Corporation - Mayor ProTempore Alex Brown

Mr. Brown reported the Corporation will be discussing the renaming of the Rowing and Sailing Center at Squire Pope Community Park as well as discussion regarding disaster relief on Hilton Head Island.

Report of the Community Development and Public Services Committee – Councilmember Tamara Becker

Ms. Becker stated the Committee has conducted interviews for a number of vacancies on boards, committees and commissions and will make their recommendations during executive session at today's meeting. She stated the next meeting will take place on December 15.

Report of the Finance and Administrative Committee – Mayor ProTempore Alex Brown

Mr. Brown reported the Committee met earlier in the day and received a presentation from Lowcounty Regional Transportation Authority, known as Palmetto Breeze regarding a funding gap and a request for assistance from the Town. He encouraged everyone to reach out to our County representatives regarding the topic and the need for the County to assist with funding.

Unfinished Business

Consideration of an Ordinance of the Town Council of the Town of Hilton Head Island, South Carolina Authorizing the Execution and Recording of a Declaration of Covenants Regarding Workforce Housing and the Execution and Delivery of a Long Term Ground Lease of Real Property, Both Related to Real Property Owned by the Town of Hilton Head Island, South Carolina at Northpoint - Second Reading - Ben Brown, Strategic Initiatives Director

On June 18, 2024, Town Council approved the Northpoint Workforce Housing Development Agreement with OneStreet Residential (OSR), establishing the roles and responsibilities of both parties in developing and managing a workforce housing neighborhood on the Town's 11-acre Northpoint property. The Agreement outlined a phased approach culminating in a long-term Ground Lease.

The Northpoint initiative builds on the Town's 2018 Workforce Housing Strategic Plan, which identified public-private partnerships as a key strategy to expand the supply of attainable housing. Additional Town policies adopted in 2020 and 2021 further advanced these objectives by promoting workforce housing through zoning and density incentives.

Following a competitive RFQ and RFP process initiated in 2022, OSR was selected as the Town's preferred development partner based on its demonstrated experience in financing,

designing, constructing, and managing high-quality affordable and mixed-income communities. The Northpoint Public-Private Partnership Housing Advisory Committee actively participated throughout the vetting and review process, providing recommendations that informed Town Council's approval of the Development Agreement.

The 2024 Development Agreement formalized the partnership and established the framework for the Ground Lease and Affordability Covenants now before Town Council for final approval.

Upon execution of the Ground Lease, OSR anticipates closing project financing by December 12, 2025, and beginning construction in early 2026.

As part of its ongoing advisory role, the Northpoint Public-Private Partnership Housing Advisory Committee reviewed and supported the framework of the Ground Lease and Affordability Covenants at its October 6, 2025, meeting.

Summary of Schedule:

Town Council – First Reading: November 4, 2025 (approved)

Town Council – Second Reading: December 9, 2025

Close Financing: by December 12, 2025

Commence Construction: January 2026

First Apartments Released: early 2027

Substantial Completion: mid 2027

The proposed Ground Lease and Affordability Covenants represent the final implementation steps outlined in the Northpoint Workforce Housing Development Agreement approved by Town Council in June 2024. Adoption of these documents will formalize the Town's public/private partnership with OSR and enable the construction and long-term management of a high-quality, sustainable workforce housing neighborhood at Northpoint.

The documents are consistent with the terms established in the 2024 Development Agreement, with one adjustment identified during project underwriting. During due diligence, questions arose regarding long-term occupancy, specifically what would occur if, at any point during the 65-year Ground Lease, the property manager could not identify an eligible tenant who meets the Town's Workforce Housing Community standard (defined as persons employed and working within the municipal boundaries of Hilton Head Island).

To address this scenario, the Ground Lease establishes a limited, time-bound exception process. If a unit becomes vacant and no qualified Hilton Head Island workforce household is on the waiting list, and no eligible tenant contacts the property manager within forty-five days, the unit may be leased for a twelve-month term to an income-qualified tenant employed within Beaufort County. At the end of that term, the property manager must again make commercially reasonable efforts to lease the unit to a tenant who meets the Hilton Head Island Workforce Housing Community standard. While this situation is considered unlikely, inclusion of this exception is necessary to secure project financing.

**Mr. Alfred moved to approve. Ms. Brison seconded.**

Mayor Perry asked for public comment. There was none.

**Following discussion, comments and questions from Council the motion carried 7-0.**

Consideration of an Ordinance of the Town Council of the Town of Hilton Head Island, South Carolina Authorizing the Execution and Delivery of a Non-Exclusive Easement for Ingress, Egress, and Utilities with the Hilton Head Public Service District at Northpoint - Second Reading - Ben Brown, Strategic Initiatives Director

On June 18, 2024, Town Council approved the Northpoint Workforce Housing Development Agreement with OneStreet Residential (OSR), establishing the roles and responsibilities of both parties in developing and managing a workforce housing neighborhood on the Town's 11-acre Northpoint property. The Agreement outlined a phased approach culminating in a long-term Ground Lease.

The HHPSD owns a 1.03-acre property containing its water tower, a parcel that was part of the original Northpoint tract. HHPSD currently accesses the site via Northpoint Circle. As part of the Northpoint redevelopment, this access will be reconfigured and improved to align with the neighborhood's new internal roadway network. To ensure HHPSD's continued access for the operation and maintenance of critical public utility infrastructure, the Town and HHPSD have negotiated a non-exclusive easement providing ingress, egress, and utility access across the newly configured roadway.

Providing this easement supports HHPSD's responsibility to deliver potable water to residents within its service area. Granting the easement is therefore in the best interest of the Town and is consistent with the infrastructure coordination anticipated in the Northpoint Development Agreement.

Approval of the Non-Exclusive Easement for Ingress, Egress, and Utilities with HHPSD ensures continued and reliable access to the existing water tower site while accommodating the redevelopment of the Northpoint property. The easement is consistent with the Northpoint Development Agreement and is necessary to support HHPSD's provision of essential public services.

**Mr. Brown moved to approve. Mr. Alfred seconded.**

Mayor Perry asked for public comment. There was none.

**Following discussion, comments and questions from Council the motion carried 7-0.**

New Business

Consideration of Resolution of the Town Council of the Town of Hilton Head Island, South Carolina, Authorizing the Execution and Delivery of an Agreement Regarding the Payment of One Million and No/100 (\$1,000,000) Dollars for Site Improvements in Connection with the

Development of the Northpoint Workforce Housing Project, and Authorizing the Execution and Delivery of an Escrow and Disbursement of the Funds, and the Completion of the Town's Obligations Described in the Agreements - Ben Brown, Strategic Initiatives Director

On June 18, 2024, Town Council approved the Northpoint Workforce Housing Development Agreement with OneStreet Residential (OSR), establishing the roles and responsibilities of both parties in developing and managing a workforce housing neighborhood on the Town's 11-acre Northpoint property. The Agreement outlined a phased approach culminating in a long-term Ground Lease.

As part of the Development Agreement, the Town committed to contribute \$1,000,000 to support the development of the Northpoint neighborhood. These funds were received through the American Rescue Plan Act (ARPA) and allocated to the project as part of the Town's contribution to the public-private partnership with OSR.

To implement this commitment, the Town and OSR have negotiated the Lessor's Work Supervision Agreement and the Construction Escrow Agreement. These agreements establish the terms under which the \$1,000,000 will be deposited, held, and disbursed. Upon execution of the Ground Lease, the Town will deposit the funds into escrow, where they will be managed by an independent Escrow Agent in accordance with the Construction Escrow Agreement. This structure ensures proper oversight of the funds and compliance with the Development Agreement and Ground Lease.

The Town will remain the owner of the Northpoint property throughout the Ground Lease term and will own all improvements at the end of the lease.

Approval of the Resolution will authorize the execution and delivery of the agreements required to implement the Town's \$1,000,000 contribution toward site improvements for the Northpoint Workforce Housing Initiative. This contribution is consistent with the Town's commitments under the Development Agreement and Ground Lease and advances the public-private partnership with OSR toward financing and construction.

**Mr. Brown moved to approve. Ms. Becker seconded.**

Mayor Perry asked for public comment. There was none.

**Motion carried 7-0.**

Consideration of a Resolution of the Town of Hilton Head Approving the Recommendation from the Accommodations Tax Advisory Committee for the Calendar Year 2026 Grants - Dave Byrd, Finance Director

The Accommodations Tax (ATAX) Advisory Committee met on November 7, 2025, and finalized its recommendations after careful review of all applications received, ensuring that all recommendations complied with the requirements of the South Carolina Tourism Expenditure Review Committee (TERC).

A total of 37 applications were submitted for consideration, with \$4,076,992 available for distribution. One application was voluntarily withdrawn prior to final recommendations, and one application was not funded. Following its review and deliberations, the Accommodations Tax Advisory Committee submitted and recommended 35 ATAX grant awards for funding.

These recommendations align with the Town's new Comprehensive South Carolina Accommodations Tax Program, which emphasizes measurable return on investment (ROI), consistency with the Town's Strategic Action Plan goals, and a transparent, equitable allocation process that prioritizes programs demonstrating clear benefits to Hilton Head Island's tourism economy and community quality of life.

In addition to the recommended 2026 ATAX Grant award funding, the ATAC Committee submitted a recommendation requesting that any grant funds awarded, but not expended, by the recipient organizations by the end of the 2026 grant year cycle to be carried forward in full (100%) and applied to the 2027 Accommodations Tax Grant Fund allocation.

Dave Byrd introduced Keith Schlegel, Chairman of the Accommodations Tax Advisory Committee conduct his presentation. Mr. Schlegel proceeded to review the process, grant recommendations and answered questions from Council.

**Concluding the presentation, Mr. Alfred moved to approve the Accommodations Tax Advisory Committee recommendations with the exception of the Lowcountry Golf Association. Ms. Becker seconded.**

Mayor Perry asked for public comment. There was none.

Council continued to discuss the motion and the language within the resolution regarding unspent funds being applied to the Accommodations Tax Grant fund allocation. **Concluding discussion and input from the Town Attorney, Ms. Brison moved to amend the text in Subsection (a) of the Resolution to read: "be carried forward in the ATAX Grant Awards Fund." Mr. Brown seconded. Mr. Alfred, the maker of the original motion agreed to the amendment. The motion to amend the resolution carried 7-0.**

Mayor Perry called for a vote on the original motion made by Mr. Alfred and seconded by Ms. Becker **to approve the Accommodations Tax Advisory Committee recommendations with the exception of the Lowcountry Golf Association. Motion carried 7-0.**

**Ms. Brison moved to reduce the funding of Lowcountry Golf Course Owners Association from \$100,000 to \$50,000 and to reallocate that \$50,000 to History Cultural organizations as follows: The Gullah Museum, Low Country Gala, The Outdoor Foundation, Sea Turtle Patrol and Hilton Head Symphony (\$10,000 each). Motion failed due to lack of a second.**

**Mr. Brown moved to approve the Lowcountry Golf Course Owners Association in the amount of \$100,000 as recommended by the Finance and Administrative Committee and Accommodations Tax Advisory Committee. Ms. Tunner seconded.**

Mayor Perry asked for public comment. There was none.

**Motion carried 6-1 (Brison opposed).**

Consideration of an Ordinance of the Town of Hilton Head Island Authorizing the Issuance of General Obligation Debt Bonds - First Reading - Dave Byrd, Finance Director

The Town has the opportunity to acquire 9 Park Lane and 10 Park Lane and make significant capital improvements on these properties to build out a Fire & Rescue Headquarters and Emergency Operations Center. The Town also has the opportunity to fund future strategic land acquisitions for conservation purposes.

The Town can fund the above via a G.O. bond issuance. The Town would pay back the bond issuance over approximately 15 years, with a large portion of the principal to be paid back within 2 months of issuance. The sources of the first payment (\$14.3 million on approximately 6/1/26) would be approximately \$11.7 million from the accumulated Debt Service Fund balance + \$2.6 million in already-requested FY2026 property tax collection millage. The remaining payments would be made via future annual Debt Service millage collections until the bonds are paid off in approximately 15 years.

The Town's future total annual Debt Service millage (for its existing G.O. bonds and the proposed FY2026 G.O. bonds) would stay at or significantly below FY2026's 5.1 Debt Service millage rate, and would thus give the Town the ability to either

- 1) reduce Debt Service millage below 5.1 mils after FY2028,
- 2) undertake addition debt-financed capital projects after FY2028, or,
- 3) a combination of the two.

The Town, through its Municipal Advisor, First Tryon, would sell this debt competitively in the municipal bond market to ensure the most competitive interest rate results. The Town's AAA G.O. bond ratings from Moody's, S&P, and Fitch would be featured prominently in the bond offering documents. The Town would pay back the debt over approximately 15 years through our bond trustee, Regions Bank.

Funding these land purchases and capital projects with G.O. bond proceeds (instead of with cash currently available in various funds balances) will allow the Town to:

- a) Maintain strong General Fund, RETF Fund, and other governmental fund balances in excess of the minimum fund balance policy
- b) Fund other future capital projects with the additional cash on hand in the General Fund, RETF Fund, and other governmental funds
- c) Retain additional financial flexibility in the event of a natural disaster
- d) Align the payment of the land acquisitions and related capital improvements more closely with the land acquisition and related capital improvements' expected useful lives, thus offering a more equitable and financially sustainable approach relative to funding the entire capital project via past-accumulated cash balances

Key Future Dates & Milestones (Dates Approximate):

- December 9, 2025 – Town Council Meeting: First Reading of the Bond Ordinance
- January 13, 2026 – Town Council Meeting: Second Reading of the Bond Ordinance
- January 14, 2026 – 60-day Challenge Period begins February 16, 2026 – Credit Rating Agency meetings
- March 7, 2026 – Publish Notice of Sale to Municipal Bond marketplace March 14, 2026 – 60-day challenge period ends
- March 17, 2026 – Bond Pricing with winning bidder
- April 1, 2026 – Financial Closing, funds transfer to Town account
- June 1, 2026 – First Principal & Interest Payment

Mr. Byrd introduced Michael Seezen of Burr and Foreman and Andy Smith of First Tryon Advisors. They answered questions from members of Council.

**After discussion, comments and questions from Council, Ms. Tunner moved to approve the Consideration of an Ordinance at the Town of Hilton Head Island Authorizing the insurance of general Obligation Debt Bonds as written, however change the amount from \$35,000,000 to \$25,000,000. Ms Becker seconded.**

Mayor Perry asked for public comment. There was none.

Council held discussion, asked questions and made comments, with Ms. Tunner explaining that she was the dissenting vote from the Finance and Administrative Committee's recommendation, stating she does not agree with the amount as she felt the Town should look for the lowest amount of borrow to meet the needs it is trying to accomplish. Ms Becker concurred with her comments.

**Following further discussion, Ms. Brison moved to amend the motion on the floor to approve an ordinance authorizing the issuance and sale of not to exceed \$35,000,000 general obligation bonds, series 2026, or such other appropriate series designation, of the Town of Hilton Head Island, South Carolina; fixing the form and certain details of the bonds, including a final maturity on or before June 1, 2041, with the proceeds being used to fund certain capital projects, including but not limited to the acquisition and renovation of certain land and existing improvements, if any, located at 9 Park Lane and 10 Park Lane for the new headquarters for Fire Rescue and Emergency Operations Center, and land acquisition costs for conservation purposes; authorizing the Town Manager or his lawfully authorized designee to determine certain matters relating to the bonds; providing for the payment of the bonds and the disposition of the proceeds thereof; other matters relating thereto. Mr. Desimone seconded. Amended Motion carried 5-2 (Tunner and Becker opposed).**

Consideration of a Resolution Authorizing the Public Dedication and Acceptance of the Private Road Rights of Way for Song Sparrow Lane, Phoebe Lane, and Goldfinch Lane from Cedar Woods Owners' Association, Inc. - Jeff Netzinger, Engineering & Public Projects Director

Mr. Netzinger explained the Town Attorney received a letter dated July 23, 2025, from the

Cedar Woods Owners' Association requesting Town acceptance and conveyance of three (3) private roads including Song Sparrow Lane, Phoebe Lane, and Goldfinch Lane and a drainage system owned by the Association in accordance with the Association's governing covenants. Justification for this request cited in the letter included excessive ongoing maintenance costs incurred by the Association exceeding the logistical and financial capacity of the small neighborhood (50 homes). The letter also noted that the roads (including Kingbird Lane and Bobwhite Lane) and the drainage system of Point Comfort Woods, a neighboring community, were previously accepted by the Town (in 2001), making consistent (Town) oversight more essential for effective stormwater management.

The Town Attorney drafted a Limited Warranty Deed providing the mechanism for the public dedication and acceptance of Song Sparrow Lane, Phoebe Lane, and Goldfinch Lane from Cedar Woods Owners' Association, Inc. that was subsequently executed by the Board of Directors on August 13, 2025

Acceptance of these roads will benefit and promote the general health, safety, and welfare of the citizens, residents, property owners and businesses in the Town.

Acceptance of Song Sparrow Lane, Phoebe Lane, and Goldfinch Lane would add approximately one-half mile of roadway to the Town's roadway inventory, increasing the total lane mileage from 16.0 to 16.5 miles. Staff estimates the average annual cost to the Town, including routine maintenance, repair, and periodic pavement rehabilitation, would equate to \$25,000.

The subject agenda item was brought to the Community Development & Public Safety Committee for consideration on October 20, 2025. The Committee voted (3-0) to table this item and reschedule consideration at the following regularly scheduled meeting (November 17, 2025). The Committee asked if Cedar Woods had capital reserve funds that it would be willing to convey to the Town in exchange for the Town's acceptance of the roads. The Committee also requested that representatives from the Cedar Woods Board be present at the November meeting. The Town received a second letter dated October 27, 2025, from the Cedar Woods board in response to these Committee requests.

The subject agenda item was again brought to the Community Development & Public Safety Committee for consideration on November 17, 2025. The Cedar Woods Board President was present at the meeting and answered several questions asked by members of the Committee. The Committee voted (3-0) in favor of bringing this item to Town Council for consideration.

**Mr. Alfred moved to approve. Ms. Becker seconded.**

Mayor Perry asked for Public Comment.

**Leslie Ford** addressed Council providing background from the property owners perspective and thanked Council for consideration of the item before them.

Mr. Alfred reiterated that in prior discussions, it is understood that the Town needs to develop a

plan and guidelines for when it will assume control of private roads and agree to pay to maintain them. He stated in going forward with this specific situation and consideration of approval, the intention is that the Town will come up with guidelines for the circumstances under which the Town will assume control of private roads. Ms Tunner stated she felt the item should be tabled until a policy is established.

**Following further discussion, Mayor Perry called for a vote. Motion carried. 6-1 (Tunner opposed).**

Consideration of a Resolution Authorizing the Execution of a Standardized Stormwater Agreement for the Cedar Woods Subdivision - Jeff Netzinger, Engineering & Public Projects Director

Mr. Netzinger explained that after the creation of the Storm Water Utility in 2001, the Town offered to accept corrective maintenance responsibility for storm water systems located within private Planned Unit Developments (PUDs). Between 2007 and 2012, the Town executed and delivered drainage agreements with eleven (11) PUDs including Shipyard, Wexford, Long Cove Club, Sea Pines, Palmetto Dunes, Leamington, Shelter Cove, Port Royal Plantation, Indigo Run, Hilton Head Plantation, and Palmetto Hall.

On September 21, 2021, Town Council authorized executing drainage agreements with six (6) additional communities, including Bermuda Pointe, Jarvis Creek Club, Seagrass Landing, Spanish Wells, Wells East, and Yacht Cove.

On November 4, 2020, Town Council approved standardized terms and conditions for current and future drainage agreements. All eleven (11) original agreements were recently updated, using the standard terms and conditions, as authorized by Town Council on July 19, 2022. On June 6, 2023, Town Council authorized executing drainage agreements with five (5) additional communities, including Ashton Cove, Beach City Place, Carolina Isles, Chinaberry Ridge, and Peregrine Pointe.

On November 12, 2024, Town Council authorized executing drainage agreements with four (4) additional communities, including Broad Creek Landing, Paddocks on Jarvis Creek, Ribaut Island, and Victoria Square.

To date, Town Council has authorized executing drainage agreements with twenty-six (26) communities. Cedar Woods Owners' Association, Inc., is currently requesting a similar agreement. During the October 20, 2025 meeting of the Community Development & Public Services Committee, the Committee moved to forward the resolution to the full Council for consideration of approval. The motion carried 3-0.

**Mr. Brown moved to approve. Ms. Becker seconded.**

Mayor Perry asked for public comment. There was none.

**Motion carried 7-0.**

Public Comment - Non Agenda Items

**Richard Bisi** addressed Council regarding transparency.

**Mare Deckard** addressed Council regarding hotel fees.

Executive Session

At 5:41 p.m. Mr. Orlando stated the need to enter Executive Session for the reasons listed below.

**Mr. Alfred moved to enter Executive Session for the reasons cited by the Town Manager. Ms Becker seconded. Motion carried 7-0.**

Discussion Incident to Proposed Contractual Arrangements (Pursuant to the South Carolina Freedom of Information Act Section 30-4-70 [a][2]) related to:

1. Town of Hilton Head Island Destination Marketing Organization Request for Qualifications

Discussion Incident to Proposed Contractual Arrangements (Pursuant to the South Carolina Freedom of Information Act Section 30-4-70 [a][2]):

1. Various Agreements Related to Northpoint
2. Bryant Road Redevelopment Project Request for Qualifications
3. Circle Center Outparcel Covenants, Parking & Access Easement, and Sign Easements
4. Coligny Plaza Sign Easement
5. Town Attorney Discussion

Discussion of Appointment to Boards, Commissions, and Committees [Pursuant to the South Carolina Freedom of Information Act Section 30-4-70 (a)(1)] related to:

1. Beaufort County Airports Board
2. Beaufort Jasper Housing Trust
3. Board of Zoning Appeals
4. Gullah Geechee Land & Cultural Preservation Task Force
5. Housing Action Committee
6. Land Management Ordinance Task Force
7. Transportation Sales Tax Referendum for 2026 - Transportation Advisory Committee
8. Northpoint Public-Private Partnership Housing Advisory Committee
9. Bryant Road Partnership Advisory Committee

Discussion of Negotiations Incident to Proposed Contractual Arrangements and Discussions for the Proposed Sale or Purchase of Property (Pursuant to the South Carolina Freedom of Information Act Section 30-4-70 [a][2]) related to:

1. Main Street Area

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- 2. Squire Pope Road Area
- 3. Bradley Circle Area

Action from Executive Session

Council returned to the dais at 8:16 p.m. **Mr. Alfred moved to end the Executive Session and return to the regular meeting. Ms. Brison seconded. Motion carried 7-0.**

Mayor Perry asked if there was any business as a result of Executive Session.

Consideration of the following appointments to Boards, Committees and Commissions:

- Dr. Eli Roth as the Hilton Head Island Representative on the Beaufort County Airports Board with a term ending 6/30/2028.
- Karl Brondelli as the Hilton Head Island Representative on the Beaufort Jasper Housing Trust.
- Dale Strecker to the Board of Zoning Appeals (Architect) with a term ending 6/30/2028.
- Barbara Banaszynski to the Housing Action Committee with a term ending 6/30/2026.
- Sue Ann Hess to the Housing Action Committee with a term ending 6/30/2026.
- Maryann O'Brien to the Housing Action Committee with a term ending 6/30/2026.
- Molly Risk to the Housing Action Committee with a term ending 6/30/2027.
- Justin Wilson to the Housing Action Committee with a term ending 6/30/2027.
- Greg Wynn to the Housing Action Committee with a term ending 6/30/2027.

**Ms. Becker moved to approve. Ms. Tunner seconded.**

Mayor Perry asked for public comment. There was none.

**Motion carried 7-0.**

Consideration of Appointment to the Land Management Ordinance Task Force:

- Tom Henz, Planning Commission Chair
- Judd Carstens, Design Review Board Chair
- Louis Johnson, Gullah Geechee Historic Neighborhoods Community Development Corporation Chair
- Lavon Stevens, Gullah Geechee Land and Cultural Preservation Task Force Chair
- Ray Warco, Hilton Head Island – Bluffton Chamber of Commerce Representative
- Eric Brehm, Esposito Construction, Hilton Head Area Home Builders Association Representative
- James Wedgeworth, Hilton Head Area Realtors Representative
- Mike Alsco, Coastal Home and Villa, Short Term Rental Representative
- Cliff McMackin, Sea Pines Resort, Hospitality Industry Representative
- Barbara Banaszynski, Workforce Housing Sector Representative

- Bill Dix, Palmetto Dunes (General Manager)
- Courtney Struna, Palmetto Hall (General Manager)
- Peter Kristian, Hilton Head Plantation (General Manager)
- Brian Kinard, Resident
- Lola Campbell, Resident
- Gregg Russell, Resident
- Edwina Dunlap, Resident
- Ciaran Storan, Resident
- Marc Orlando, Town Manager (Ex-Officio)
- Shawn Leininger, Deputy Town Manager (Ex-Officio)

**Mr. Brown moved to approve. Ms. Brison seconded.**

Mayor Perry asked for public comment. There was none.

**Motion carried 7-0.**

First Reading of an Ordinance Authorizing the Sale of Three Parcel of Real Property Owned by the Town of Hilton Head Island Located at 55 Main Street, 1 Automobile Place and 355 William Hilton Parkway, and Providing for Severability and an Effective Date.

**Mr. Brown moved to approve. Ms. Becker seconded.**

Mayor Perry asked for public comment. There was none.

**Motion carried 7-0.**

Authorization for the Mayor and Town Manager to Execute and Deliver the Proposed Contract by and between the Town of Hilton Head Island and Hilton Head Medical Center, LLC, for the Sale of 4.57 Acres of Town Owned Property on Main Street, and to take such other and further actions as may be necessary to complete the transaction described in the contract.

**Mr. Brown moved to approve. Ms. Brison seconded.**

Mayor Perry asked for public comment. There was none.

**Motion carried 7-0.**

Adjournment

**Mr. Alfred moved to adjourn. Ms. Becker seconded. Motion carried 7-0. The meeting was adjourned at 8:20 p.m.**

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Kimberly Gammon, Town Clerk

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Alan R. Perry, Mayor

**The full recording and a transcript of this meeting can be found on the Town's website at [www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)**



# Town of Hilton Head Island TOWN COUNCIL MEETING Thursday, December 18, 2025, 11:00 AM Minutes

## Call to Order

Mayor Perry called the meeting to order at 11:00 a.m.

Council Members present: Alan Perry, Mayor; Alex Brown, Ward 1, Mayor Pro-Tempore; Patsy Brison, Ward 2; Steve DeSimone, Ward 3; Tammy Becker, Ward 4; Steve Alfred, Ward 5; Melinda Tunner, Ward 6 (via Microsoft Teams)

Others Present: Marc Orlando, Town Manager; Curtis Coltrane, Town Attorney; Kim Gammon, Town Clerk

## Adoption of the Agenda

**Mr. Alfred moved to approve. Ms. Becker seconded. Motion carried 7-0.**

## Unfinished Business

Consideration of an Ordinance of the Town of Hilton Head Island, South Carolina Authorizing the Sale of Three Parcels of Real Property Owned by the Town of Hilton Head Island, South Carolina, Located at 55 Main Street, 1 Automobile Place, and 355 William Hilton Parkway, and Providing for Severability and an Effective Date - Second Reading - Ben Brown, Strategic Initiatives Director

Ben Brown provided an update with the following information.

In 2019, the Town acquired the former Modern Classic Motors property located at 55 Main Street, 1 Automobile Place, and 355 William Hilton Parkway for \$3,650,000 using tax revenue.

Since then, the Town has restored the site with funding from Palmetto Electric Utility Tax Credits.

### Summary of the Property:

Acres: 4.57

Purchase Price (07.18.2019): \$3,650,000

Source of Funds: General Fund

Appraised Value (07.27.2022): \$4,220,000

Zoning: Main Street District (MS)

Height: 45' maximum

Density: 9,000 ft<sup>2</sup> per acre, for a maximum yield of up to 41,130 ft

On September 3, 2024, the Town issued a Request for Proposals (RFP) seeking qualified parties interested in purchasing the 4.57-acre property. The RFP emphasized the Town's goal of selecting a buyer who would expand access to healthcare services for Hilton Head Island residents and strategically redevelop the site to create jobs and provide services not currently available on the Island.

In response to the RFP, the Town received a proposal from Novant Health to develop the property into a medical office facility with supporting parking and infrastructure.  
Summary of the Proposal from Novant Health

Purchase 4.57 acres from the Town for \$4,341,500  
Develop +/- 25,000 ft<sup>2</sup> with the ability for expansion of another 15,000 ft<sup>2</sup>

Proposed services include, but not limited to:

- Urgent Care

- Primary Care

- Physical Therapy

- Urology

- Project cost of \$25,336,500 (land, construction, FFE, IT)

- 46 initial jobs created with an average hourly rate of \$45.64

- 86 total jobs projected by 2030

- Commitment to subsidized childcare for employees through a local provider Novant Health's proposal represents a strategic opportunity to expand healthcare services on Hilton Head Island while supporting economic development through job creation and private capital investment.

The purchase price provides a favorable return on the Town's original investment.

Summary of Key Terms from the Contract

- Purchase Price: \$4,341,500

- Purchaser: Hilton Head Medical Center, LLC (affiliate of Novant Health)

- Due Diligence Period: 120 days

- Closing: 150 days after contract date

- Right of First Refusal (ROFR):

  - Applies prior to the buyer submitting a building permit application.

  - Buyer must notify the Town of any proposed sale; the Town may exercise or waive the ROFR.

  - ROFR binds only the original buyer, not subsequent owners.

- Non-Performance Buy-Back Agreement:

  - The buyer must submit a complete building permit application for a 25,000 ft<sup>2</sup> medical office building within 3 years of closing.

**Mr. Brown moved to approve. Mr. Alfred seconded.**

Mayor Perry asked for public comment. There was none.

**Following discussion by Council, the motion carried 7-0.**

Consideration of an Ordinance of the Town of Hilton Head Island, South Carolina Authorizing the Issuance of General Obligation Debt Bonds and Providing for Severability and an Effective Date - Second Reading - Dave Byrd, Finance Director

Mr. Byrd provided the following information. He stated Town Council approved First Reading by a vote of 5-2 on December 9, 2025, with the following amendments to the Ordinance:

1. The title of the Ordinance be amended to read “with the proceeds being used to fund certain capital projects, including but not limited to the acquisition and renovation of certain land and existing improvements, if any, located at 9 Park Lane and 10 Park Lane for the new headquarters for Fire Rescue and Emergency Operations Center, and land acquisition costs for conservation purposes”.
2. The first Whereas statement be similarly amended to read “the Town intends to undertake certain capital projects, including but not limited to the acquisition and renovation of certain land and existing improvements, if any, located at 9 Park Lane and 10 Park Lane for the new headquarters for Fire Rescue and Emergency Operations Center, and acquire land for conservation purposes”.

These amendments have been incorporated for Second Reading.

Mr. Byrd proceeded to provide background regarding the item.

Potential Capital Projects and Property Acquisitions to be Funded and/or Reimbursed with G.O. Bond Issue Proceeds:

- Acquiring and improving 9 Park Lane and 10 Park Lane for a new Fire and Rescue headquarters and Emergency Operations Center, including building an adjacent parking lot for the benefit of the facility (total estimated property acquisition and buildout costs of approximately \$9,000,000).
- Acquiring strategic land parcels for conservation purposes, consistent with the Town’s ongoing land acquisition policy.
- Undertaking additional capital projects. The specific capital projects and specific dollar amounts devoted to each project would be determined by Town Council.

The Town has historically funded many of its property acquisitions and capital improvement projects via accumulated cash balances from various Town funds. The Town has also issued G.O. bonds to fund strategic property acquisitions and capital projects throughout its history, including “new money” (non-refunding) G.O. Bond issuances in 2010, 2013, 2017, and 2019.

Sources of Payment/Payback of the Potential G.O. Bond Issuance

1. Accumulated Debt Service Fund Balance - The Town's Debt Service Fund can only be used to pay back debt. The Debt Service Fund's balance has grown to \$14.2 million (as of 6/30/25) over the past several years due to conservative revenue projections. If the Town was to maintain a minimum future Debt Service Fund Balance of \$2.5 million, this would leave approximately \$11.7 million in FY2026 to pay back the first G.O. bond debt service payment (due on approximately June 1, 2026) within 2 months of the initial bond issuance.
2. Already Requested Debt Service Millage Collections for FY2026 – Consistent with the FY2026 budget, the Town has already requested that Beaufort County assess 5.1 mils in FY2026 in Debt Service-related property taxes that can only be used to pay back debt. Of the 5.1 mils of Debt Service millage requested for FY2026, the Town has included 2 mils (approximately \$2.6 million) to pay for additional anticipated debt to be issued in FY2026.
3. Future annual Debt Service millage, over a payback period totaling approximately 15 years, to pay future years' debt service payments. These anticipated future debt service payments would allow the Town to maintain all future annual Debt Service millage rates at or below 5.1 mils.

The Town has the opportunity to:

- Acquire 9 Park Lane and 10 Park Lane and make significant capital improvements on these properties to build out a Fire & Rescue Headquarters and Emergency Operations Center
- Fund future strategic land acquisitions for conservation purposes
- Fund additional capital projects at the discretion of Town Council

The Town can fund the above via a G.O. bond issuance. The Town would pay back the bond issuance over approximately 15 years, with a large portion of the principal to be paid back within 2 months of issuance. The sources of the first payment (\$14.3 million on approximately 6/1/26) would be approximately \$11.7 million from the accumulated Debt Service Fund balance + \$2.6 million in already-requested FY2026 property tax collection millage. The remaining payments would be made via future annual Debt Service millage collections until the bonds are paid off in approximately 15 years.

The Town's future total annual Debt Service millage (for its existing G.O. bonds and the proposed FY2026 G.O. bonds) would stay at or significantly below FY2026's 5.1 Debt Service millage rate, and would thus give the Town the ability to either 1) reduce Debt Service millage below 5.1 mils after FY2028, 2) undertake additional debt-financed capital projects after FY2028, or, 3) a combination of the two.

The Town, through its Municipal Advisor, First Tryon, would sell this debt competitively in the municipal bond market to ensure the most competitive interest rate results. The Town's AAA

G.O. bond ratings from Moody's, S&P, and Fitch would be featured prominently in the bond offering documents. The Town would pay back the debt over approximately 15 years through our bond trustee, Regions Bank.

Funding these land purchases and capital projects with G.O. bond proceeds (instead of with cash currently available in various funds balances) will allow the Town to:

- Maintain strong General Fund, Real Estate Transfer Fee (RETF) Fund, and other governmental fund balances in excess of the minimum fund balance policy Fund other future capital projects with the additional cash on hand in the General Fund, RETF Fund, and other governmental funds

- Retain additional financial flexibility in the event of a natural disaster

- Align the payment of the land acquisitions and related capital improvements more closely with the land acquisition and related capital improvements' expected useful lives, thus offering a more equitable and financially sustainable approach relative to funding the entire capital project via past-accumulated cash balances

**Mr. Brown moved to approve. Ms Brison seconded.**

**Mayor Perry asked for public comment. There was none.**

Ms. Tunner and Ms. Becker voiced their opposition to the amount of the bond being \$35,000,000 and stated their preference for the amount of the bond to be \$25,000,000.

**Following discussion by Council, the motion carried 5-2 (Tunner and Becker opposed).**

#### New Business

#### Consideration of a Resolution Relating to the Declaration of Intent by the Town of Hilton Head Island, South Carolina to Reimburse Certain Expenditures (Related to the Fire Rescue Headquarters) Prior to the Issuance by the Town of Tax-Exempt Bonds - Dave Byrd, Finance Director

The Town has contracted to purchase properties at 9 & 10 Park Lane, with a combined purchase price of approximately \$7,700,000. The Town intends to add approximately \$1,300,000 in improvements to these properties to transform the existing structure into a new Fire and Rescue headquarters and Emergency Operations Center, as well as build an adjacent parking lot for the benefit of the facility. The Town will initially use General Fund and RETF dollars to pay for the property purchases at the property acquisitions' closings. The 10 Park Lane purchase was expected to close on 12/12/25, and the 9 Park Lane purchase is expected to close on or about 12/29/25.

The Town is also in the initial stages of preparing a G.O. bond issue to be sold later in FY2026. The proceeds of this bonds issue will be used for multiple capital purposes, including reimbursing the Town's General Fund and Real Estate Transfer Fund for up to \$9,000,000 in funds that will have been expended for the above land purchase and related capital improvements.

Approving the Reimbursement Resolution provides the Town with the ability to reimburse itself for the upfront property acquisition expenses (that will have been paid out of the General Fund and the RETF) via the proceeds from its planned G.O. bond issue.

If approved by the Town Council, this reimbursement action would preserve strong FY2025 General Fund and RETF balances and would allow the Town the ability to pursue additional approved capital projects and property acquisitions with these replenished balances.

Additionally, aligning the payback period of the bond issue to the long-term useful life and benefits of the property acquisition is a more equitable way to pay for these long-term capital improvements and property acquisitions relative to one-time FY2025 General Fund and RETF cash expenditures.

**Ms. Brison moved to approve. Ms. Becker seconded.**

Mayor Perry asked for public comment. There was none.

**Following discussion by Council, the motion carried 7-0.**

Consideration of a Resolution of the Town of Hilton Head Island Approving the Execution of a Contract with the Hilton Head Island-Bluffton Chamber of Commerce for Destination Marketing Organization Services - Angie Stone, Assistant Town Manager

Ms. Stone provided the following information.

South Carolina Code of Laws Section 6-4-10 requires that municipalities and counties who have collected more than \$50,000.00 in local accommodations taxes to allocate the taxes based on a prescribed formula. The first \$25,000 plus 5% of the balance must be allocated to the general fund. Beyond that, the formula requires that 30% of the balance must be allocated to a special fund and used only for advertising and promotion of tourism to develop and increase tourist attendance through the generation of publicity.

To manage and direct the expenditure of these tourism promotion funds, the municipality or county shall select one or more organizations, such as a chamber of commerce, visitor and convention bureau, or regional tourism commission, which has an existing, ongoing tourist promotion program. If no organization exists, the municipality or county shall create an organization with the same membership standard in Section 6-4-25. To be eligible for selection the organization must be organized as a nonprofit organization and shall demonstrate to the municipality or county that it has an existing, ongoing tourism promotion program or that it can develop an effective tourism promotion program.

The Hilton Head Island-Bluffton Chamber of Commerce Visitor and Convention Bureau (Chamber VCB) has provided destination marketing services for the Town since 1998. Initially, the Town Council adopted Ordinance 98-03 naming the Chamber VCB as the Town's DMO. In 2015, the Town entered into its first contract with the Chamber VCB to provide DMO services.

The most recent contract was awarded to the Chamber VCB in 2020 and expired on November 30, 2025.

In early 2025, Staff prepared and issued a request for qualifications (RFQ) for DMO services. The RFQ yielded seven responses. A staff team reviewed the responses and interviewed the top two respondents to evaluate qualifications and capabilities to serve as a DMO. Concurrently with the evaluation of qualifications and capabilities, a legal review of respondents' eligibility under SC Law was conducted. The Chamber was identified as the most qualified, eligible respondent.

As a result, the Town entered into negotiations with the Chamber to develop an agreement focused on:

- Clarifying roles and expectations;
- Improving financial transparency;
- Enhancing reporting;
- Aligning marketing efforts with the Town's core values, and
- Refining metrics and performance indicators.

The negotiations resulted a contract for DMO services. The contract clearly articulates the Town Council's expectations and achieves the objectives outlined above. This is a three-year contract with one renewal option for up to two-years.

**Mr. Alfred moved to approve. Ms. Becker seconded.**

**Mayor Perry asked for public comment.**

**Following discussion, comments and questions by Council, Ms. Brison moved to strike Article 8 from the contract, which is in regard to the Chamber requesting additional funds. Motion failed due to a lack of a second.**

**Following further discussion by Council, the original motion carried 7-0.**

Public Comment - Non Agenda Items

None.

Adjournment

**At 11:40 a.m., Ms. Becker moved to adjourn. Mr. Alfred seconded. Motion carried 7-0.**

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Kimberly Gammon, Town Clerk

Alan R. Perry, Mayor

The full recording and a transcript of this meeting can be found on the Town's website at [www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)



# Town of Hilton Head Island TOWN COUNCIL MEETING Tuesday, January 13, 2026, 3:00 PM Minutes

## Call to Order

Mayor Perry called the meeting to order at 3:00 p.m.

Council Members present: Alan Perry, Mayor; Alex Brown, Ward 1, Mayor Pro-Tempore; Patsy Brison, Ward 2; Steve DeSimone, Ward 3; Tammy Becker, Ward 4; Steve Alfred, Ward 5; Melinda Tunner, Ward 6

Others Present: Marc Orlando, Town Manager; Curtis Coltrane, Town Attorney; Kim Gammon, Town Clerk

## Invocation – Rev. General Hay, First Historic African Baptist Church

Reverend General Hay delivered the invocation.

## Adoption of the Agenda

**Mr. Alfred moved to approve. Ms. Becker seconded. Motion carried 7-0.**

## Approval of the Minutes

**Ms. Brison stated she had questions regarding both sets of minutes and moved to table them until they could be resolved. Ms. Becker seconded. Motion carried 7-0.**

## Presentations and Recognitions

### Report of the Town Manager

Mr. Orlando provided updates regarding the Strategic Action Plan Workshop scheduled for January 27; the LMO Task Force Meeting held January 6; Construction Mobilization for Northpoint on Jarvis Creek; the scheduled groundbreaking to be held at Northpoint on February 12; the Bryant Road Workforce Housing RFQ; Capital projects; and Beach Renourishment. He congratulated Bobn Bromage and his team for the removal of 12 hazardous boats from the local waterways and noted the Department of Natural Resources recognized the effort and extended their congratulations for a job well done.

### Beaufort County School District Character Education Student of the Month - Mayor Alan Perry

Mayor Perry presented the Beaufort County School District Character Education Student of the Month award to Angel Alarcon Aguado from Hilton Head Island Early Childhood Center. He

invited him to the podium, presented him with a certificate and a commemorative Hilton Head Island medallion and offered congratulations on behalf of Town Council. Angel was joined by his mother, Veronica Aguado and his father, Jamie Alarcon. Angel's teacher is Danielle Cartin.

### Presentation of FY2025 Annual Comprehensive Financial Report for the Town of Hilton Head Island by Mauldin & Jenkins CPAs – Jon Carpenter, Assistant Finance Director

Jon Carpenter, Assistant Finance Director, introduced Kirk Arich of Mauldin and Jenkins to review the report. Mr. Arich conducted a presentation stating the Town has a great management team in place. He said the Town is looking good financially and had a good year. He congratulation the Town on having all clean opinions and no findings or management points. You can access the report through the following link:

### [Annual Comprehensive Financial Reports](#)

Members of Council held discussion, made comments and asked questions regarding the report.

### Reports from Members of Town Council

#### General Reports from Town Council

Ms. Brison reported she attended the Beaufort Jasper Water and Sewer Authority partners breakfast, and they were presented with very interesting data regarding current and future development that will impact the region. She stated Senator Tom Davis was the Keynote Speaker, and he is considering introducing legislation to match concurrent infrastructure with development.

#### Report of the Lowcountry Area Transportation Study - Councilmember Tamara Becker

No report.

#### Report of the Lowcountry Council of Governments - Councilmember Steve Alfred

No report.

#### Report of the Beaufort County Airports Board - Councilmember Melinda Tunner

Ms. Tunner stated that Phase 1 of the Hilton Head Island Airport continues and they are at 87% completion. She added that grant applications have been submitted for Phase 2 of the terminal expansion which will include expansion of check-in counters, rental counters and baggage claim. Ms. Tunner reported that airport staff went to Atlanta and met with the FAA to share potential changes to the airport as part of the Master Plan they have been working on. Lastly, she stated Arbor Nature came in as a safety-related concern regarding dust and particles from their concrete operations. The Department of Environmental Services (DHS) was on site and will be following up with a report. She asked that any and all complaints be made to the DHS, Town Manager or Code Enforcement for tracking purposes.

Report of the Southern Lowcountry Regional Board - Councilmember Patsy Brison

No report.

Report of the Island Recreation Association Board - Mayor Pro Tempore Alex Brown

Mr. Brown congratulated and welcomed Leah Arnold as the Executive Director of the Island Recreation Association. He delivered a report of ongoing and upcoming programs and events.

Report of the Beaufort County Economic Development Corporation - Mayor Alan Perry

No report.

Report of the Gullah Geechee Historic Neighborhoods Community Development Corporation - Mayor ProTempore Alex Brown

Mr. Brown reviewed the upcoming agenda for the corporation.

Report of the Community Development and Public Services Committee - Councilmember Tamara Becker

No report.

Report of the Finance and Administrative Committee - Mayor Pro Tempore Alex Brown

Mr. Brown reported the Committee met January 12 and reviewed the sponsorship request for the RBC Heritage. He stated the Committee voted in favor of moving the resolution forward to Town Council for consideration of approval.

New Business

Consideration of an Ordinance of the Town of Hilton Head Island to Amend Title 16 of the Municipal Code, the Land Management Ordinance, to Amend Sections 16-3-105.H, 16-4-102.A.6, 16-4-105, and 16-4-102.B.1 to allow residential Workforce Housing within the Medical (MED) Zoning District - First Reading - Zac Gordon, Planning Director

Zac Gordon conducted a presentation with the following information.

A partnership between Abode Development, Novant Health, and the Coastal Community Development Corporation (CCDC) is proposing to construct workforce housing on previously developed land adjacent to Hilton Head Medical Center. The housing would serve healthcare staff, first responders, and other essential workers on Hilton Head Island.

The site consists of three parcels totaling 12.66 acres along Bethea Drive, owned by Hilton Head Medical Center LLC. The property includes approximately 24,000 square feet of vacant office space, which previously housed outpatient rehabilitation services.

The subject properties are zoned MED District. The 12.66-acre site is also located within a Town of Hilton Head Island Town Council

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Planned Development Overlay District (PD-2) as part of the Palmetto Headlands and Hilton Head Hospital Master Plan. While the MED District allows workforce housing through the conversion of existing commercial buildings, it does not allow such housing in the absence of a commercial conversion. In addition, the PD-2 Master Plan does not currently permit residential use on these parcels. Therefore, to allow the construction of new workforce housing, the text of the MED District and the PD-2 Master Plan must also be amended.

On July 16, 2025, Abode Development requested that the Planning Commission consider amending the text of the MED District to allow for the redevelopment of the site with workforce housing at a proposed density of 10 units per acre. Pursuant to LMO Section 16-2-103.B.2.a., the Planning Commission voted unanimously to initiate the text amendment process.

Abode Development is also proposing a corresponding PD-2 Master Plan Amendment. As noted above, the three subject parcels are located within the area of the Palmetto Headlands and Hilton Head Hospital Master Plan, and do not currently permit residential uses. As a result, Abode Development has also submitted a concurrent Zoning Map Amendment to permit workforce housing on two of the parcels, which are developed and approved for medical-related uses. The third parcel is designated as a wetland and will remain a wetland.

This amendment and the associated rezoning were first presented to the Planning Commission on August 20, 2025. The applicant requested to postpone the, public hearing and rezoning to allow for additional updates to the application materials. On November 19, 2025, after reviewing the updated application, the Planning Commission voted unanimously to recommend approval of the text amendment to the Town Council.

The Community Development and Public Services Committee held a public hearing on December 15, 2025, and voted unanimously to recommend that Town Council approve the text amendment.

The proposed text amendment would allow the construction of new workforce housing in the MED District that is not limited to the conversion of existing commercial buildings, establish a maximum density of 10 units per acre, restrict such development to specific properties identified in a PD-2 Master Plan adopted by Town Council, and require that at least 30% of the units comply with the Town's Workforce Housing Program, including income eligibility, employment on Hilton Head Island, the prohibition of short-term rentals and long-term affordability.

**Mr. Alfred moved to approve. Ms. Becker seconded.**

Mayor Perry asked for public comment. There was none.

**Concluding Council discussion, questions and comments, the motion carried 7-0.**

Consideration of an Ordinance of the Town of Hilton Head Town Council Island to Amend the Official Zoning Map with Respect to the Real Property located at Bethea Drive to Amend the Palmetto Headlands/Hilton Head Hospital Master Plan within the Planned Development

Overlay District (PD-2) to Change the Allowed use of Parcels R510 008 000 337A 0000, R510 008 000 0337 0000 and R510 008 000 0452 0000 from Commercial Use to Commercial or Residential Use; and to Provide for Severability and an Effective Date - First Reading - Zac Gordon, Planning Director

Zac Gordon conducted a presentation with the following information.

A partnership between Abode Development, Novant Health, and the Coastal Community Development Corporation (CCDC) is proposing to construct workforce housing on previously developed land adjacent to Hilton Head Medical Center. The housing would serve healthcare staff, first responders, and other essential workers on Hilton Head Island.

The site consists of three parcels totaling 12.66 acres along Bethea Drive, owned by Hilton Head Medical Center LLC. The property includes approximately 24,000 square feet of vacant office space, which previously housed outpatient rehabilitation services.

The properties are zoned MED District. The 12.66-acre site is also located within a Planned Development Overlay District (PD-2) as part of the Palmetto Headlands and Hilton Head Hospital Master Plan. While the MED District allows workforce housing through the conversion of existing commercial buildings, the PD-2 Master Plan does not currently permit residential use on these parcels. Therefore, to allow the construction of new workforce housing, the text of the MED District and the PD-2 Master Plan must be amended.

Abode Development is proposing a PD-2 Master Plan Amendment. The subject parcels are located within the Palmetto Headlands and Hilton Head Hospital Master Plan and do not currently permit residential uses.

Abode Development is also proposing a corresponding Text Amendment, and on July 16, 2025, Abode Development requested that the Planning Commission consider amending the text of the MED District to allow for the redevelopment of the site with workforce housing at a proposed density of 10 units per acre. Pursuant to LMO Section 16-2-103.B.2.a., the Planning Commission voted unanimously to initiate the text amendment process.

This Zoning Map Amendment and the associated Text Amendment were first presented to the Planning Commission on August 20, 2025. The applicant requested to postpone the rezoning to allow for additional updates to the application materials, and on November 19, 2025, after reviewing the updated application, the Planning Commission voted 7-2 to recommend approval of the Zoning Map Amendment to Town Council.

Subsequently, this Zoning Map Amendment and the associated Text Amendment were reviewed by the Community Development and Public Services Committee on December 15, 2025, and the committee voted unanimously to recommend approval of the Zoning Map Amendment to Town Council.

**Mr. Alfred moved to approve. Ms. Becker seconded.**

Mayor Perry asked for public comment. There was none.

Town of Hilton Head Island Town Council

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**Concluding Council discussion, questions and comments, the motion carried 7-0.**

Public Comment - Non Agenda Items

**Richard Bisi** addressed Council regarding the LMO Task Force and the timeline of such, transparency, and workforce housing needs.

**Gabriel Hicks** and **Gideon Hicks**, along with their father, **Maxcy Hicks**, addressed Council regarding needed improvements at Bristol Sports Skate Park. They presented a petition with signatures supporting the improvements.

Executive Session

At 4:20 p.m. Mr. Orlando stated the need to enter Executive Session for the reasons listed below.

**Ms. Becker moved to enter Executive Session for the reasons cited by the Town Manager. Mr. Alfred seconded. Motion carried 7-0.**

Discussion of Negotiations Incident to Proposed Contractual Arrangements [Pursuant to the South Carolina Freedom of Information Act Section 30-4-70(a)(2)] related to:

1. Patterson Family Park
2. Coligny Plaza

Discussion of Appointment to Boards, Commissions, and Committees [Pursuant to the South Carolina Freedom of Information Act Section 30-4-70 (a)(1)] related to:

1. Gullah Geechee Land & Cultural Preservation Task Force
2. Transportation Sales Tax Referendum for 2026 - Transportation Advisory Committee

Discussion of Legal Advice from the Town Attorney on Matters Covered Under the Attorney-Client Privilege (Pursuant to the South Carolina Freedom of Information Act Section 30-4-70 [a][2]) related to:

1. Legal Items Update

Discussion of Employment and/or Appointment (Pursuant to the South Carolina Freedom of Information Act Section 30-4-70[a][1], [2]) related to:

1. Town Council Appointed Attorney

Action from Executive Session

**Council returned to the dais at 6:27 p.m. Ms. Brison moved to end the Executive Session and return to the regular meeting. Ms. Becker seconded. Motion carried 7-0.**

Mayor Perry asked if there was any business as a result of Executive Session. The item addressed is listed below.

Appointment of Chuck Lobaugh and Margaret Hewitt as Planning Commission Representatives to the Gullah Geehee Land and Cultural Preservation Task Force. Terms will align with their existing terms on the Planning Commission.

**Mr. Brown moved to approve. Ms. Brison seconded.**

Mayor Perry asked for public comment. There was none.

**Motion carried 7-0.**

Adjournment

**At 6:28 p.m. Ms. Brison moved to adjourn. Mr. Alfred seconded. Motion carried 7-0.**

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Kimberly Gammon, Town Clerk

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Alan R. Perry, Mayor

**The full recording and a transcript of this meeting can be found on the Town's website at [www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)**

# The Town of Hilton Head Island



## South Carolina Arts Advocacy Week Proclamation

**WHEREAS**, February 9-13, 2026, is South Carolina Arts Advocacy week; and

**WHEREAS**, the arts are a vital component of quality of life in every community and such a vital part of Hilton Head Island; and

**WHEREAS**, local economies are strengthened by the production and presentation of arts experiences across all disciplines; and

**WHEREAS**, local students participating in the arts are shown to succeed in many measures during their educational journey; and

**WHEREAS**, the business community places value on creativity to create innovative solutions to today's most challenging problems; and

**WHEREAS**, artists help all community members see the world through new perspectives and broaden our understanding of the world.

**NOW, THEREFORE**, I, Alan R. Perry, Mayor of the Town of Hilton Head Island, South Carolina, do hereby proclaim the week of February 9 through February 13, 2026, to be South Carolina Arts Advocacy Week. The Town Council on Hilton Head Island:

1. Recognizes and appreciates the value that the arts have in our community, schools, and local economy.
2. Will continue to support the arts to best of its ability; and
3. Encourages all members of the community to patron, support, and participate in the arts.

**IN TESTIMONY WHEREOF**, I have hereunto set my hand and caused this seal of the Town of Hilton Head Island to be affixed on this tenth day of February, in the year of our Lord, two thousand twenty-six.



Alan R. Perry, Mayor

Attest:

Kimberly Gammon, Town Clerk



## TOWN OF HILTON HEAD ISLAND

### *Town Council*

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**TO:** Town Council  
**FROM:** Zac Gordon, AICP, Planning Director  
**CC:** Marc Orlando, Town Manager, ICMA-CM  
Shawn Leininger, Deputy Town Manager  
**DATE:** February 10, 2026  
**SUBJECT:** Consideration of Second Reading of an Ordinance of the Town of Hilton Head Island to Amend Title 16 of the Municipal Code, the Land Management Ordinance (LMO), to Amend Sections 16-3-105.H, 16-4-102.A.6, 16-4-105, and 16-4-102.B.1 to allow the construction of workforce housing within the Medical (MED) District, and to Provide for Severability and an Effective Date.

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#### **BACKGROUND:**

A partnership between Abode Development, Novant Health, and the Coastal Community Development Corporation (CCDC) is proposing to construct workforce housing on previously developed land adjacent to Hilton Head Medical Center. The housing would serve healthcare staff, first responders, and other essential workers on Hilton Head Island.

The site consists of three parcels totaling 12.66 acres along Bethea Drive, owned by Hilton Head Medical Center LLC. The property includes approximately 24,000 square feet of vacant office space, which previously housed outpatient rehabilitation services.

The subject properties are zoned MED District (**see Attachment 3 – Zoning Map**). The 12.66-acre site is also located within a Planned Development Overlay District (PD-2) as part of the Palmetto Headlands and Hilton Head Hospital Master Plan. While the MED District allows workforce housing through the conversion of existing commercial buildings, it does not allow such housing in the absence of a commercial conversion. In addition, the PD-2 Master Plan does not currently permit residential use on these parcels. Therefore, to allow the construction of new workforce housing, the text of the MED District and the PD-2 Master Plan must also be amended.

On July 16, 2025, Abode Development requested that the Planning Commission consider amending the text of the MED District to allow for the redevelopment of the site with workforce housing at a proposed density of 10 units per acre. Pursuant to LMO Section

16-2-103.B.2.a., the Planning Commission voted unanimously to initiate the text amendment process.

Abode Development is also proposing a corresponding PD-2 Master Plan Amendment to the Palmetto Headlands and Hilton Head Hospital Master Plan. As noted above, the three subject parcels are located within the area of the Palmetto Headlands and Hilton Head Hospital Master Plan, which does not currently permit residential uses. Because of this prohibition, Abode Development has also submitted a concurrent Zoning Map Amendment to permit workforce housing on two of the parcels, which are developed and approved for medical-related uses. The third parcel is designated as a wetland and will remain a wetland.

This amendment and the associated rezoning were first presented to the Planning Commission on August 20, 2025. A decision on the proposed text amendment was postponed to allow for additional updates to the application materials. On November 19, 2025, after reviewing the updated application, the Planning Commission voted unanimously to recommend approval of the text amendment to the Town Council.

On December 15, 2025, Community Development and Public Services Committee voted 3-0 to recommend approval to Town Council.

On January 13, 2026, Town Council unanimously approved First Reading of the proposed amendment.

### **SUMMARY OF AMENDMENT:**

The proposed text amendment would allow the construction of new workforce housing in the MED District that is not limited to the conversion of existing commercial buildings, establish a maximum density of 10 units per acre, restrict such development to specific properties identified in a PD-2 Master Plan adopted by Town Council, and require that at least 30% of the units comply with the Town's Workforce Housing Program, including income eligibility, employment on Hilton Head Island, the prohibition of short-term rentals and long-term affordability.

### **ANALYSIS:**

#### **Proposed Text Amendment**

The proposed text amendment would:

1. Amend the MED District to permit workforce housing outside of commercial conversion, provided the development is consistent with the PD-2 Master Plan adopted by Town Council.
2. Amend the Workforce Housing Program in the MED District to require that at least 30% of the units meet the workforce housing program standards, including income

limits not exceeding 80% of the area median income, at least one household member working on Hilton Head Island, prohibition of short-term rentals, and a minimum 30-year affordability term.

### PD-2 Overlay Considerations

All properties zoned MED District also have a PD-2 Overlay. If this text amendment is adopted, any new multifamily workforce housing proposal would require a PD-2 Master Plan amendment. This process is completed through a Zoning Map Amendment application, requiring review by the Planning Commission and final approval by Town Council.

### Nonconformities

The text amendment would apply only to new development and would not create nonconformities.

### Text Amendment Review Standards

Section 16-2-103.B.3. of the LMO includes the following standards for the review of Text Amendments:

"In determining whether to recommend that Town Council adopt or deny a proposed amendment, the Planning Commission may weigh the relevance of and consider whether and the extent to which the proposed text amendment:

1. Is in accordance with the Comprehensive Plan;
2. Is required by changed conditions;
3. Addresses a demonstrated community need;
4. Is consistent with the purpose and intent of the zoning districts, or would improve compatibility among uses and ensure efficient development within the Town;
5. Would result in a logical and orderly development pattern; and
6. Would not result in significantly adverse impacts on the natural environment, including but not limited to water, air, noise, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment.

The proposed text amendment aligns with the review standards outlined above, as they:

1. Support the economic growth and housing goals of the Comprehensive Plan.
2. Respond to changing conditions by aligning development requirements with strategic objectives.
3. Address a demonstrated community need for workforce housing.
4. Uphold the intent of zoning regulations by allowing reasonable, limited increases in residential density when consistent with Town goals.
5. Ensure workforce housing development in the MED District is located in appropriate and compatible locations.

**TOWN COUNCIL ACTION:**

The Town Council shall review the application, staff report, and recommendations from the Planning Commission and Community Development and Public Services Committee and make a final decision on the application based on the standards in Sec. 16-2-103.B.3, Ordinance Text Amendment Review Standards.

The Town Council's decision shall be one of the following:

1. Adopt an ordinance approving the Text Amendment; or
2. Adopt a resolution denying the Text Amendment.

**ATTACHMENTS:**

1. Ordinance
2. Text Amendment
3. Zoning Map

**AN ORDINANCE OF THE TOWN OF HILTON HEAD ISLAND,  
SOUTH CAROLINA**

**ORDINANCE NO.: 2025-\_\_\_\_\_**

**AN ORDINANCE OF THE TOWN OF HILTON HEAD ISLAND TO AMEND  
TITLE 16 OF THE MUNICIPAL CODE, THE LAND MANAGEMENT ORDINANCE  
SECTIONS 16-3-105.H, 16-4-102.A.6, 16-4-105, 16-4-102.B.1 TO ALLOW  
RESIDENTIAL WORKFORCE HOUSING WITHIN THE MEDICAL  
(MED) DISTRICT AND TO PROVIDE FOR SEVERABILITY AND EFFECTIVE  
DATE.**

**BE IT ORDERED AND ORDAINED BY THE TOWN COUNCIL FOR THE TOWN OF  
HILTON HEAD ISLAND, SOUTH CAROLINA, AND IT IS HEREBY ORDERED AND  
ORDAINED UNDER THE AUTHORITY OF THE TOWN COUNCIL AS  
FOLLOWS:**

**Section 1. Findings and Determinations:**

1. The Town Council for the Town of Hilton Head Island, South Carolina (herein, the “Town Council”), has identified a continued need for the adoption of Amendments to the Land Management Ordinance to address needs and issues in the Town as such are identified.
2. The Town Council finds that there is a shortage of suitable housing in the Town that is affordable for individuals employed in the medical field as nurses, laboratory technicians, office staff, physician’s assistants, maintenance and facilities staff, first responders and other similar positions (herein “Workforce Housing”).
3. The Town Council finds that property is available in the vicinity of Hilton Head Hospital for the development of Workforce Housing provided that certain conditions are met, including a condition that the property is a Commercial Conversion including Workforce Housing, or the property is within a PD-2 Overlay that allows Workforce Housing under Section 16-4-105.
4. The Town Council finds that an amendment to the Land Management Ordinance for the purpose of allowing Residential, Multifamily and Workforce Housing as Conditional Uses in the MED District, and providing a Workforce Housing Density for parcels in a PD-2 Overlay in the MED District, will aid in meeting the need for Workforce Housing in the Town.
5. On November 19, 2025, the Planning Commission held a Public Hearing to consider the proposed amendments to permit Workforce Housing as a conditional use in the Medical (MED) District in qualifying locations and provide for a Workforce Housing density, a copy of which is attached hereto as Exhibit “A” (herein, the “Proposed Amendments”).
6. At the Planning Commission’s November 19, 2025, Public Hearing, the public had an opportunity to comment on the Proposed Amendments, and the Planning Commission voted

unanimously to recommend that Town Council approve the Proposed Amendments.

6. On December 15, 2025, the Community Development & Public Services Committee considered the Proposed Amendments and heard presentations from Town Staff and comments from the public. The Community Development & Public Services Committee then voted unanimously to recommend that Town Council approve the Proposed Amendments.

7. The Town Council finds it is in the best interest of the Town and the health, safety, and welfare of its citizens, residents, and visitors to amend the Land Management Ordinance by amending the Land Management Ordinance to include the Proposed Amendments.

**WHEREAS**, the Town Council finds it is in the best interest of the Town and the health, safety, and welfare of its citizens, residents, and visitors to amend the Land Management Ordinance by amending these provisions.

**Section 2. Amendment** That the Land Management Ordinance is amended as shown on Exhibit “A” to this Ordinance. Newly added language is illustrated with double underline, and deleted language is illustrated with a ~~striketrough~~.

**Section 3. Severability** If any section, phrase, sentence, or portion of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions thereof.

**Section 4. Effective Date** This Ordinance shall be effective upon its adoption by the Town Council of the Town of Hilton Head Island, South Carolina.

**PASSED, APPROVED, AND ADOPTED BY THE COUNCIL FOR THE TOWN OF HILTON HEAD ISLAND ON THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2025.**

THE TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

\_\_\_\_\_  
Alan R. Perry, Mayor

ATTEST:

\_\_\_\_\_  
Kimberly Gammon, Town Clerk

First Reading:

Second Reading:

APPROVED AS TO FORM:

\_\_\_\_\_  
Curtis L. Coltrane, Town Attorney

Introduced by Council Member: \_\_\_\_\_

**Sec.16-3-105. Mixed-Use and Business Districts**

**H. Medical (MED) District**

<h1 style="margin: 0;">MED</h1> <h2 style="margin: 0;">Medical District</h2>				
1. Purpose				
The purpose of the Medical (MED) District is to provide <i>lands</i> for <i>development</i> directly related to the provision of medical services—including <i>hospitals</i> , medical clinics and doctors' offices, <i>nursing homes</i> , and other health services.				
2. Allowable Principal Uses				
USE CLASSIFICATION/TYPE		USE-SPECIFIC CONDITIONS	MINIMUM NUMBER OF OFF-STREET PARKING SPACES	
Residential Uses				
<i>Group Living</i>	P		1 per 3 rooms	
<i>Mixed-Use</i> <sup>2,2</sup> <i>Use</i> <sup>1,2</sup>	PC	Sec. 16-4-102.B.1.a	Residential	1.125 per du
			Nonresidential	1 per 650 GFA
<i>Multifamily</i> <sup>2</sup> <i>Multifamily</i> <sup>1,2</sup>	PC	Sec. 16-4-102.B.1.b	1 bedroom	1.4 per du
			2 bedrooms	1.7 per du
			3 or more bedrooms	2.0 per du
<i>Workforce Housing</i> <sup>1,2</sup>	PC	Sec. 16-4-102.B.1.d	See Sec. 16-5-107.D.2	
Public, Civic, Institutional, and Educational Uses				
<i>Community Service Uses</i>	P		1 per 400 GFA	
<i>Education Uses</i>	P		Colleges and High Schools	10 per classroom
			Elementary and Junior High Schools	4 per classroom
			Other <i>Education Uses</i>	See Sec. 16-5-107.D.2
<i>Government Uses</i>	P		Fire Stations	4 per bay + 1 per 200 GFA of office area
			Other	1 per 200 GFA of office area
<i>Major Utilities</i>	SE		1 per 1,500 GFA	
<i>Minor Utilities</i>	P		n/a	
<i>Public Parks</i>	P		See Sec. 16-5-107.D.2	
<i>Religious Institutions</i>	P		1 per 3 seats in main assembly area	
Telecommunication Antenna, Collocated or Building Mounted	PC	Sec. 16-4-102.B.2.e	n/a	
<i>Telecommunication Towers, Monopole</i>	PC	Sec. 16-4-102.B.2.e	1	
Health Services				
<i>Hospitals</i>	P		2 per bed + 1 per 200 GFA of office area	
<i>Nursing Homes</i>	P		1 per 3 beds	

<b>Other Health Services</b>	P		1 per 225 GFA
<b>Office Uses</b>			
<b>Other Office Uses</b>	P		1 per 350 GFA
<b>Commercial Services</b>			
<b>Other Commercial Services</b>	P		See Sec. 16-5-107.D.2
<b>3. Development Form Standards</b>			
<b>MAX. DENSITY (PERNET ACRE)</b>			<b>LOT COVERAGE</b>
Residential <sup>1</sup>	<u>10 du</u>		
Nonresidential	10,000 GFA		Max. <b>Impervious Cover</b> 60%
<b>MAX. BUILDING HEIGHT</b>			
All <b>Development</b>	45 ft		
<b>USE AND OTHER DEVELOPMENT STANDARDS</b>			
See Chapter 16-4: Use Standards, Chapter 16-5: Development and Design Standards, and Chapter 16-6: Natural Resource Protection.			
<b>TABLE NOTES:</b>			
P = Permitted by Right; PC = Permitted Subject to Use-Specific Conditions; SE = Allowed as a Special Exception; du = <b>dwelling units</b> ; sf = square feet; GFA = <b>gross floor area</b> in square feet; ft = feet; n/a = not applicable			
1. For development that converts nonresidential square footage to residential use refer to Sec. 16-10-102.B.1.			
2. The minimum number of off-street parking spaces for mixed-use or multifamily development that contains workforce housing shall be calculated based on Section 16-5-107.D.2.			

(Revised 4-18-2017 - Ordinance 2017-05; revised 11-4-2020 - Ordinance 2020-26; revised 3-7-2023 - Ordinance 2023-04)

## Chapter 16-4: Use Standards

### Sec.16-4-102. Principal Uses

#### A. Principal Use Table

#### 6. Principal Use Table

TABLE 16-4-102.A.6: PRINCIPAL USE TABLE																						
P = Permitted by Right    PC = Permitted Subject to Use-Specific Conditions																						
SE = Allowed as a Special Exception    Blank Cell = Prohibited																						
USE CLASSIFICATION/ USE TYPE	SPECIAL DISTRICTS		RESIDENTIAL DISTRICTS					MIXED-USE AND BUSINESS DISTRICTS												USE-SPECIFIC CONDITIONS		
	CON	PR	RSF-3	RSF-5	RSF-6	RM-4	RM-8	RM-12	CR	SPC	CC	MS	WMU	S	MF	MV	NC	LC	RD		MED	IL
<b>RESIDENTIAL USES</b>																						
<i>Family Compound</i>						P C	P C	P C				P C	P C	P C	P C	P C	P C	P C	P C			Sec. 16-4-102.B .1.e
<i>Family Subdivision</i>						P C	P C	P C				P C	P C	P C	P C	P C	P C	P C	P C			Sec. 16-4-102.B .1.f
<i>Group Living</i>						P	P	P				P						P		P		
<i>Mixed-Use</i>									P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C		Sec. 16-4-102.B .1.a
<i>Multifamily</i>						P	P	P	P C	P C	P C	P	P	P	P	P	P	P	P	P C		Sec. 16-4-102.B .1.b



<b>Minor Utilities</b>		P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
<b>Public Parks</b>		P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
<b>Religious Institutions</b>		P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
<b>Telecommunication Antenna, Collocated or Building Mounted</b>		P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	Sec. 16-4- 102.B .2.e
Telecommunication Towers, Monopole		P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	Sec. 16-4- 102.B .2.e
<b>HEALTH SERVICES</b>																						
<b>Hospitals</b>																					P	
<b>Nursing Homes</b>																					P	
<b>Other Health Services</b>										P	P	P					P	P		P		
<b>RESORT ACCOMMODATIONS</b>																						
<b>Bed and Breakfasts</b>						P C				P C				P C	P C	P C	P C	P C			P C	Sec. 16-4- 102.B .4.a
<b>Hotels</b>									P C					P	P	P C		P		P	P	Sec. 16-4- 102.B .4.b
<b>Interval Occupancy</b>									P					P				P		P		
<b>COMMERCIAL RECREATION USES</b>																						





<b>Other Commercial Services Uses</b>									P C	P C			P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	Sec. 16-4- 102.B. 7.l				
<b>VEHICLE SALES AND SERVICES</b>																																					
<b>Auto Rentals</b>														P C	P C	P																		P	Sec. 16-4- 102.B. 8.a		
<b>Auto Repairs</b>																																		P C	Sec. 16-4- 102.B. 8.b		
<b>Auto Sales</b>																																			P		
<b>Car Washes</b>																																			P	Sec. 16-4- 102.B. 8.c	
<b>Commercial Parking Lot</b>																																			P C	Sec. 16-4- 102.B. 8.d	
<b>Gas Sales</b>																																				P C	Sec. 16-4- 102.B. 8.d
<b>Taxicab Services</b>																																				P	
<b>Towing Services or Truck or Trailer Rentals</b>																																				P	

<b>TABLE 16-4-102.A.6: PRINCIPAL USE TABLE</b>
<b>P = Permitted by Right    PC = Permitted Subject to Use-Specific Conditions</b>
<b>SE = Allowed as a Special Exception    Blank Cell = Prohibited</b>

USE CLASSIFICATION/ USE TYPE	SPECIAL DISTRICTS		RESIDENTIAL DISTRICTS					MIXED-USE AND BUSINESS DISTRICTS											USE-SPECIFIC CONDITIONS				
	CON	PR	RSF-3	RSF-5	RSF-6	RM-4	RM-8	RM-12	CR	SPC	CC	MS	WMU	S	MF	MV	NC	LC		RD	MED	IL	
<i>Watercraft Sales, Rentals, or Services</i>													P C	P		P C		P C				P	Sec. 16-4-102.B.8.e
<b>INDUSTRIAL USES</b>																							
<i>Grinding</i>																						S E	Sec. 16-4-102.B.9.a
<i>Light Industrial, Manufacturing, and Warehouse Uses</i>																	P C					P	Sec. 16-4-102.B.9.a
<i>Seafood Processing Facilities</i>													P C	P C		P C							Sec. 16-4-102.B.9.b
<i>Self-Service Storage</i>									P C									P C				P C	Sec. 16-4-102.B.9.c
<i>Waste-Related Services Other than Waste Treatment</i>																						P	

<b>ent Plants</b>																				
<b>Waste Treatment Plants</b>																			SE	
<b>Wholesale Sales</b>																			P	P
<b>OTHER USES</b>																				
<b>Agriculture Uses</b>		P	P	P	P	P	P	P						P	P	P	P	P	P	
<b>Boat Ramps, Docking Facilities, and Marinas</b>	P C	P	P C	P C		P C	P C							P				P		Sec. 16-4- 102.B. 10.a

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## Sec.16-4-102. Principal Uses

### B. Use-Specific Conditions for Principal Uses

#### 1. Residential Uses

##### a. Mixed-Use

- i. **Mixed-use development** shall designate separate parking spaces for **use** by the residential units. The parking spaces designated for residential **use** shall not be included as part of a **shared parking** plan.
- ii. In the CR District, there shall be no **dwelling units** located on the first floor of any **mixed-use development** unless there are **commercial services uses** located between the street and the proposed **dwelling units**.
- iii. The density for the redevelopment/conversion of an existing nonresidential structure to mixed-use shall be based on the existing gross floor area and minimum unit sizes as described in Sec. 16-10-102.B.1.
- iv. **Mixed-use development** in the MED District shall only be permitted either as part of a commercial conversion that includes WFH per Section 16-10-102.B.1 or as part of the PD-2 District Overlay that includes WFH per Section 16-4-105.
- v. Mixed-use development that includes workforce housing shall comply with the Workforce Housing Program as outlined in Sec. 16-4-105.  
*(Revised 5-17-2016 - Ordinance 2016-07; revised 11-4-2020 - Ordinance 2020-26)*

##### b. Multifamily

- i. In the CR District, there shall be no **dwelling units** located on the first floor of any **multifamily development** unless there are **commercial services** uses located between the street and the proposed **dwelling units**.
- ii. Multifamily use in the CC ~~and MED~~ Districts shall only be permitted as part of a commercial conversion that includes WFH per Sec. 16-10-102.B.1.
- iii. Multifamily use in the MED Districts shall only be permitted either as part of a commercial conversion that includes WFH per Section 16-10-102.B.1 or as part of the PD-2 District Overlay that includes WFH per Section 16-4-105.
- iiii. Multifamily development that includes workforce housing shall comply with the Workforce Housing Program as outlined in Sec. 16-4-105.  
*(Revised 5-17-2016 - Ordinance 2016-07; revised 11-4-2020 - Ordinance 2020-26)*

##### d. Workforce Housing

- i. Any development that includes workforce housing shall comply with the Workforce Housing Program as outlined in Sec. 16-4-105.
- ii. Workforce housing may be permitted in the PD-1 District through a Zoning Map Amendment in accordance with Sec. 16-2-103.C.
- iii. In the MS District, properties developed for WFH shall not be permitted on properties currently utilized as a school or fire station.

- 
- iv. In the S District, properties developed for WFH shall not have vehicular access to U.S. Route 278 (William Hilton Parkway).
  - v. In the WMU District, properties developed for WFH shall not have vehicular access to Marshland Road.
  - vi. In the LC District, properties developed for WFH shall not have vehicular access to U.S. Route 278 (William Hilton Parkway) between Wexford Drive and Singleton Beach Road.
  - vii. In the RM-4 District, properties developed for Group Living use are not be eligible to participate in the WFH Program.
  - viii. In the RM-4 District, existing mobile home parks, located on property that is a minimum of 3 acres, shall be eligible to participate in the WFH Program.
  - ix. Except for paragraph viii above, workforce housing use in the RM-4 District shall comply with the following conditions:
    - a. The property shall be a single parcel that is a minimum of 3 acres.
    - b. The property shall not have frontage on Jarvis Creek, Broad Creek, or Old House Creek.
    - c. The site of the WFH use shall not be located within 750 linear feet of the Hilton Head Island Airport property. This distance shall be measured as the length of an imaginary straight line between the two closest points of the perimeter boundary of the property on which any WFH use is located, and the perimeter boundary of the Hilton Head Island Airport.
    - d. The site of the WFH use shall be located within 3,500 linear feet of a minor arterial in accordance with Sec. 16-5-105.B, Street Hierarchy. This distance shall be measured from the centerline of the closest vehicular access on the property where the WFH is located, and shall be measured along the centerline of the travel lane of the street providing the shortest route to the minor arterial.
    - e. Lots within an existing legally platted and developed single family subdivision, including open space are not eligible to participate in the WFH Program.
    - f. Properties developed with a non-single family residential use that is permanent in nature are not eligible to participate in the WFH Program.
  - x. Workforce housing use in the RM-12 District shall comply with the following conditions:
    - a. The property shall be a minimum of 5 acres.
    - b. The property shall be located on a major arterial in accordance with Sec. 16-5-105.B Street Hierarchy.
  - xi. In the MED District, properties developed for WFH shall only be permitted either as part of a commercial conversion that includes WFH per Section 16-10-102.B.1 or as part of a PD-2 District Overlay that includes WFH per 16-4-105.

*(Revised 11-4-2020 - Ordinance 2020-26; revised 2-16-2021 - Ordinance 2021-02)*

## **Sec. 16-4-105. Workforce Housing (WFH) Program**

### **A. Workforce Housing Density All Units:**

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Created: 2024-07-16 16:10:52 [EST]

(Supp. No. 9)

- 
1. Commercial conversion projects that include at least 20% workforce housing units will be eligible for incentives as described in Sec. 16-10-102B.1, including:
    - a. A reduction in minimum unit sizes by 30% and;
    - b. Up to 50% of the units in the development may be micro-efficiency and/or studio units.
  2. In the RM-4 District:
    - a. A density bonus up to 100% above the base residential density standards is permitted if 50% of all units within the development are workforce housing units.
    - b. A density bonus up to 50% above the base residential density standards is permitted if 25% of all units within the development are workforce housing units.
    - c. The maximum density permitted in any workforce housing development is 12 units per acre.
  3. In the RM-12 District: If at least 50% of all units within the development are workforce housing units, the following is permitted:
    - a. A density bonus up to 25% above the base residential density standards.
    - b. A maximum impervious coverage of 45%.
  4. In the MED District, if WFH development is not part of a commercial conversion, then the maximum density in any workforce housing development is 10 units per net acre, if at least 30% of all units within the development are workforce housing units.

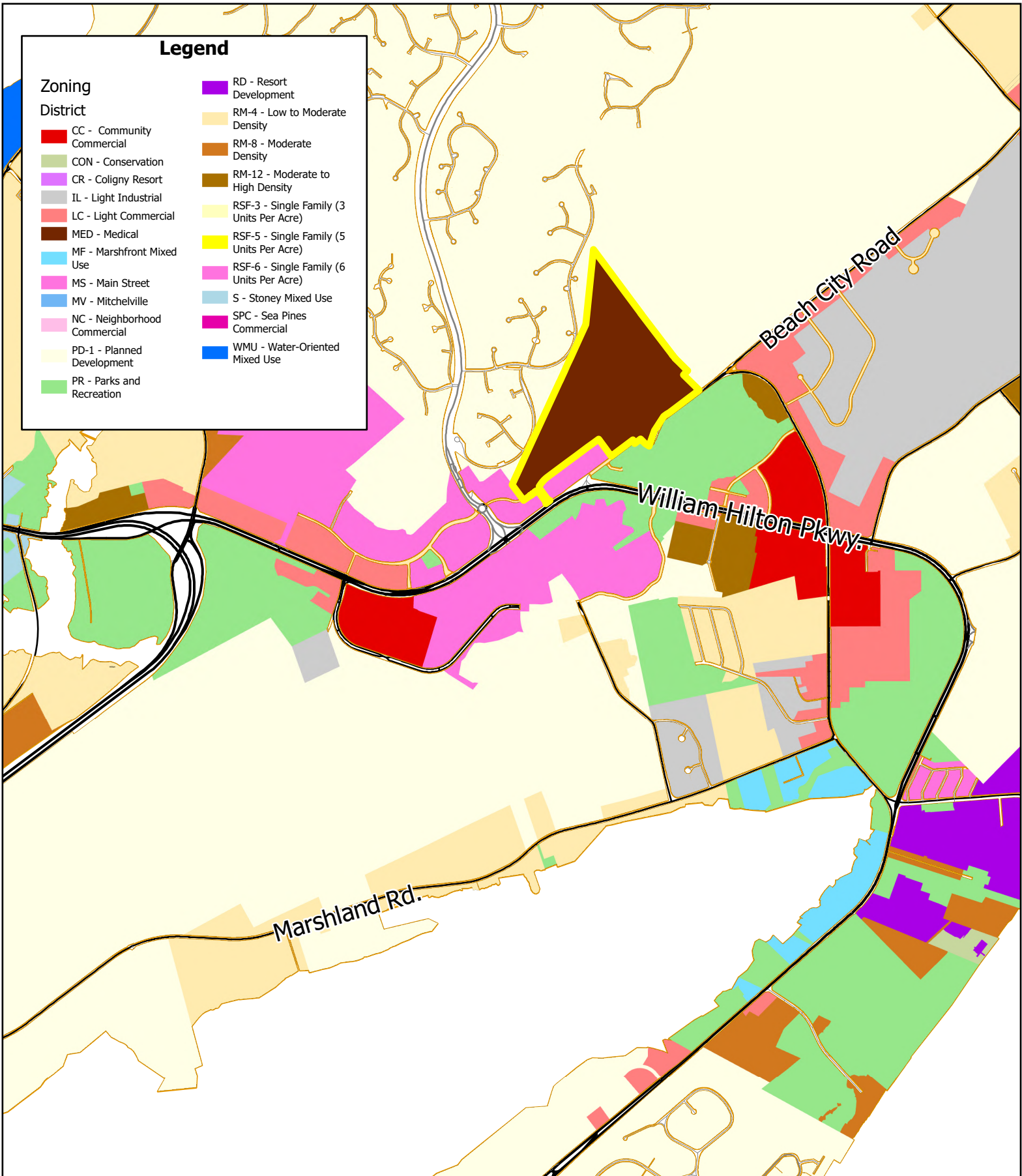
**Legend**

**Zoning**

**District**

- CC - Community Commercial
- CON - Conservation
- CR - Coligny Resort
- IL - Light Industrial
- LC - Light Commercial
- MED - Medical
- MF - Marshfront Mixed Use
- MS - Main Street
- MV - Mitchelville
- NC - Neighborhood Commercial
- PD-1 - Planned Development
- PR - Parks and Recreation

- RD - Resort Development
- RM-4 - Low to Moderate Density
- RM-8 - Moderate Density
- RM-12 - Moderate to High Density
- RSF-3 - Single Family (3 Units Per Acre)
- RSF-5 - Single Family (5 Units Per Acre)
- RSF-6 - Single Family (6 Units Per Acre)
- S - Stoney Mixed Use
- SPC - Sea Pines Commercial
- WMU - Water-Oriented Mixed Use



**Zoning Map - MED District**  
 Subject District  
 November, 2025

N





# TOWN OF HILTON HEAD ISLAND

## *Town Council*

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**TO:** Town Council  
**FROM:** Zac Gordon, Director of Planning  
**CC:** Shawn Leininger, Deputy Town Manager  
**CC:** Marc Orlando, Town Manager  
**DATE:** February 10, 2025  
**SUBJECT:** Consideration of an Ordinance of the Town of Hilton Head Island to Amend the Official Zoning Map with respect to the Real Property located at Bethea Drive to Amend the Palmetto Headlands/H.H. Hospital Master Plan within the Planned Development Overlay District (PD-2) to change the allowed use of Parcels R510 008 000 337A 000, R510 008 000 0337 0000, and R510 008 000 0452 0000 from Commercial Use to Commercial or Residential Use; and to Provide for Severability and an Effective Date

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### **RECOMMENDATION:**

Town Council consider Second Reading of an Ordinance of the Town of Hilton Head Island to Amend the Official Zoning Map with respect to the Real Property located at Bethea Drive to Amend the Palmetto Headlands/H.H. Hospital Master Plan within the Planned Development Overlay District (PD-2) to change the allowed use of Parcels R510 008 000 337A 000, R510 008 000 0337 0000, and R510 008 000 0452 0000 from Commercial Use to Commercial or Residential Use; and to Provide for Severability and an Effective Date.

The Planning Commission held a public hearing on November 19, 2025, and, after consideration of the criteria set forth in Land management Ordinance (LMO) Section 16-2-103, voted 7-2 to recommend that Town Council approve the proposed zoning map amendment, ZA-001007-2025.

The Community Development and Public Services Committee held a public hearing on December 15, 2025, and, after consideration of the criteria set forth in Land Management Ordinance (LMO) Section 16-2-103, voted unanimously to recommend that Town Council approve the proposed zoning map amendment, ZA-001007-2025.

Town Council held a public hearing on January 13, 2026, for consideration of First Reading of an Ordinance of the Town of Hilton Head Island to Amend the Official Zoning Map and, after consideration of the criteria set forth in Land Management

Ordinance (LMO) Section 16-2-103, voted unanimously to recommend consideration of Second Reading to approve the proposed zoning map amendment, ZA-001007-2025.

**BACKGROUND:**

A partnership between Abode Development, Novant Health, and the Coastal Community Development Corporation (CCDC) is proposing to construct workforce housing on previously developed land adjacent to Hilton Head Medical Center. The housing would serve healthcare staff, first responders, and other essential workers on Hilton Head Island.

The site consists of three (3) parcels totaling 12.66 acres along Bethea Drive, owned by Hilton Head Medical Center LLC. The property includes approximately 24,000 square feet of vacant office space, which previously housed outpatient rehabilitation services.

As shown in Attachment 2, the properties are zoned MED District. The 12.66-acre site is also located within a Planned Development Overlay District (PD-2) as part of the Palmetto Headlands and Hilton Head Hospital Master Plan. While the MED District allows workforce housing through the conversion of existing commercial buildings, the PD-2 Master Plan does not currently permit residential use on these parcels. Therefore, to allow the construction of new workforce housing, the text of the MED District and the PD-2 Master Plan must be amended.

Abode Development is proposing a PD-2 Master Plan Amendment. The subject parcels are located within the Palmetto Headlands and Hilton Head Hospital Master Plan, and identified as G-1, G-2, and E on Attachment 2 Exhibit A, which do not currently permit residential uses. G-1 and G-2 are approved for medical-related uses, while E is designated as a wetland and will remain a wetland, see application.

Abode Development is also proposing a corresponding Text Amendment, and on July 16, 2025, Abode Development requested that the Planning Commission consider amending the text of the MED District to allow for the redevelopment of the site with workforce housing at a proposed density of 10 units per acre. Pursuant to LMO Section 16-2-103.B.2.a., the Planning Commission voted unanimously to initiate the text amendment process.

This Zoning Map Amendment and the associated Text Amendment were first presented to the Planning Commission on August 20, 2025. The applicant requested postponing the rezoning to allow for additional updates to the application materials, and on November 19, 2025, after reviewing the updated application, the Planning Commission voted 7-2 to recommend approval of the Zoning Map Amendment to Town Council.

Subsequently, this Zoning Map Amendment and the associated Text Amendment were reviewed by the Community Development and Public Services Committee on December 15, 2025, and the committee voted unanimously to recommend approval of the Zoning

Map Amendment to Town Council.

**ANALYSIS:**

Attachment 3 is the Planning Commission Staff Report, application, and related documents. This includes a detailed analysis of the zoning map amendment application as prepared by Town staff and reviewed by the Planning Commission.

*Zoning Map Amendment Review Standards*

LMO Section 16-2-103.C.3, Zoning Map Amendment Review, outlines the criteria for review:

- i. Is in accordance with the Comprehensive Plan;
- ii. Would allow a range of uses that are compatible with the uses allowed on other property in the immediate vicinity;
- iii. Is appropriate for the land;
- iv. Addresses a demonstrated community need;
- v. Is consistent with the overall zoning program as expressed in future plans for the Town;
- vi. Would avoid creating an inappropriately isolated zoning district unrelated to adjacent and surrounding zoning districts;
- vii. Would allow the subject property to be put to a reasonably viable economic use;
- viii. Would result in development that can be served by available, adequate, and suitable public facilities (e.g., streets, potable water, sewerage, stormwater management); and
- ix. Is appropriate due to any changed or changing conditions in the affected area.

**TOWN COUNCIL ACTION:**

Town Council shall review the application, staff report, and recommendations of the Planning Commission and Community Development and Public Services Committee and make a final decision on the application based on the LMO standards found in Section 16-2-103.C.3, Zoning Map Amendment Review Standards.

Town Council’s decision shall be one of the following:

- 1. Adopt an ordinance approving the Zoning Map Amendment; or
- 2. Adopt an ordinance denying the Zoning Map Amendment.

**CONCLUSION:**

Town Council is requested to review and consider Second Reading of an Ordinance to Amend the Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan to modify the allowable uses on approximately 12.66 acres, to allow for Multifamily and Workforce

Housing uses in addition to the existing medical-related uses currently permitted by the PD-2 Master Plan.

**ATTACHMENTS:**

1. Ordinance Adopting the Zoning Map Amendment
2. Exhibit A to Ordinance – Application
3. Planning Commission Staff Report
4. Location Map
5. Current Use Map

**AN ORDINANCE OF THE TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA**

**AN ORDINANCE TO AMEND THE OFFICIAL ZONING MAP TO MODIFY THE PALMETTO HEADLANDS/HILTON HEAD ISLAND PD-2 MASTER PLAN WITH RESPECT TO 12.66 ACRES KNOWN AS PARCELS R510 008 000 0037 0000, R510 008 000 337A 0000, AND R510 008 000 0452 0000, TO ALLOW RESIDENTIAL, INCLUDING MULTIFAMILY WITH WORKFORCE HOUSING, WITHIN THE PALMETTO HEADLANDS/HILTON HEAD ISLAND PD-2 MASTER PLAN, AND TO PROVIDE FOR SEVERABILITY AND AN EFFECTIVE DATE.**

**BE IT ORDERED AND ORDAINED BY THE TOWN COUNCIL FOR THE TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA, AND IT IS HEREBY ORDERED AND ORDAINED UNDER THE AUTHORITY OF THE TOWN COUNCIL AS FOLLOWS:**

**Section 1. Findings and Determinations:**

- 1. The Town Council for the Town of Hilton Head Island, South Carolina (herein, the “Town Council”), has identified a continued need for the adoption of Amendments to the Official Zoning Map to address needs and issues in the Town as such are identified.
- 2. The Town Council finds that there is a shortage of suitable housing in the Town that is affordable for individuals employed in the medical field as nurses, laboratory technicians, office staff, physician’s assistants, maintenance, and facilities staff, first responders and other similar positions (herein “Workforce Housing”).
- 3. The Town Council finds that an amendment to the Official Zoning Map to modify the Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan with respect to 12.66 acres known as parcels R510 008 000 0037 0000, R510 008 000 337A 0000, and R510 008 000 0452 0000, to allow Residential, including Multifamily with Workforce Housing, within the Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan will aid in meeting the need for Workforce Housing in the Town.

4. On November 19, 2025, the Planning Commission held a Public Hearing to consider the proposed amendment to the Official Zoning Map.
5. At the Planning Commission's November 19, 2025, Public Hearing, the public had an opportunity to comment on the Proposed Amendments.
6. At the conclusion of the November 19, 2025, public hearing, and following discussion by the Planning Commission, the Planning Commission voted 7-2 to recommend that Town Council adopt the proposed Zoning Map Amendment, with this condition: All stormwater generated on-site shall be retained and managed within the project limits; no discharge shall be directed toward Hilton Head Plantation; and any existing drainage issues along the common property line with Hilton Head Plantation will be resolved to the greatest extent possible.
7. On December 15, 2025, the Community Development & Public Services Committee considered the proposed Zoning Map Amendment, and heard presentations from Town Staff and comments from the public. The Community Development & Public Services Committee then voted unanimously to recommend that Town Council approve the proposed Zoning Map Amendment, and the condition recommended by the Planning Commission, to wit: "All stormwater generated on-site shall be retained and managed within the project limits; no discharge shall be directed toward Hilton Head Plantation; and any existing drainage issues along the common property line with Hilton Head Plantation will be resolved to the greatest extent possible", be a part of the approval by the Town Council.
8. It is the intention of the Town Council that the condition recommended by the Planning Commission and the Community Development & Public Services Committee be enforced through the Development Plan Review Process, and that compliance

with the condition be met as a part of and condition to the approval of any Development Plan for any properties affected by this Zoning Map Amendment.

9. The Town Council finds it is in the best interest of the Town and the health, safety, and welfare of its citizens, residents, and visitors to amend the Land Management Ordinance by amending the Official Zoning Map to modify the Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan with respect to 12.66 acres known as parcels R510 008 000 0037 0000, R510 008 000 337A 0000, and R510 008 000 0452 0000, to allow Residential, including Multifamily with Workforce Housing, within the Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan.

**Section 2. Amendment to Official Zoning Map.**

1. The Official Zoning Map is hereby amended to modify the Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan with respect to 12.66 acres known as parcels R510 008 000 0037 0000, R510 008 000 337A 0000, and R510 008 000 0452 0000, to allow Residential, including Multifamily with Workforce Housing, within the Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan, as described in Exhibit A.

2. It is a condition of this Zoning Map Amendment that any application for a Development Plan Approval for any property affected by this Zoning Map Amendment must meet the following condition, in addition to all other requirements of the Land Management Ordinance: All stormwater generated on-site shall be retained and managed within the project limits; no discharge shall be directed toward Hilton Head Plantation; and any existing drainage issues along the common property line with Hilton Head Plantation will be resolved to the greatest extent possible.

**Section 3. Severability.** If any section, phrase, sentence, or portion of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction,

such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions thereof.

**Section 4. Effective Date.** This Ordinance shall be effective upon its adoption by the Town Council of the Town of Hilton Head Island, South Carolina.

**PASSED, APPROVED, AND ADOPTED BY THE COUNCIL FOR THE TOWN OF HILTON HEAD ISLAND ON THIS \_\_\_\_\_ DAY OF JANUARY, 2026.**

THE TOWN OF HILTON HEAD  
ISLAND, SOUTH CAROLINA

\_\_\_\_\_  
Alan R. Perry, Mayor

ATTEST:

\_\_\_\_\_  
Kimberly Gammon, Town Clerk

Public Hearing: November 19, 2025

First Reading:

Second Reading:

APPROVED AS TO FORM:

\_\_\_\_\_  
Curtis L. Coltrane, Town Attorney

Introduced by Council Member: \_\_\_\_\_



**Date:** November 10, 2025

**Shawn Leininger**

Assistant Town Manager of Operations  
Town of Hilton Head Island  
1 Town Center Court  
Hilton Head Island, SC 29928

**Subject:** Revised Request for Planning Commission Review: Workforce Housing Text Amendment and Zoning Map Amendment

Dear Shawn,

On behalf of the team of Novant Health, Abode Development, and Coastal Community Development Corporation (CCDC), we thank you for the time and support as we continue to collaborate on the entitlement and development process for the proposed workforce housing community adjacent to Hilton Head Hospital.

We respectfully submit this formal application revision to the Planning Commission for the purpose of the Text Amendment and ZMA. This amendment would seek to modify the current provisions of the Medical (MED) District zoning to allow for a multifamily workforce housing development that directly supports Hilton Head Island’s critical service and medical workforce.

**Project Highlights**

- **Location:** Parcels 0337, 337A & 0452 Bethea Drive (adjacent to Hilton Head Hospital)
- **Zoning:** MED District (12.6 acres total)
- **Program Proposal:**
  - 114 mixed-income units across twelve (12) townhome buildings.
  - Proposed Unit Mix: 38 one-bedroom, 66 two-bedroom, 10 three-bedroom units
  - Community pavilion with pool and wellness amenities
  - Outdoor recreation areas, pocket parks, and pedestrian connectivity
  - 30% of all units within the development to serve at or below 80% AMI. The remaining 70% of units to targeted to serve between 80%-150% AMI
  - Long-term affordability with deed restrictions in accordance with Sec. 16-4-105

We respectfully request that this proposal be placed into the formal Planning Commission review process to reopen our application.

Thank you again for your partnership and support in helping us bring forward a meaningful, community-based solution to Hilton Head’s workforce housing challenges.

**Keith Kostrzewski**  
Managing Partner, Abode Development  
[keith@AbodeLC.com](mailto:keith@AbodeLC.com)

**CC: Brian Quinn**  
Managing Partner, Abode Development  
[brian@AbodeLC.com](mailto:brian@AbodeLC.com)

**APPLICATION FOR ZONING MAP AMENDMENT  
FROM ABODE DEVELOPMENT IN PARTNERSHIP WITH NOVANT  
HEALTH, AND THE COASTAL COMMUNITY DEVELOPMENT  
CORPORATION**

REGARDING 12.66 ACRES ON BETHEA DRIVE, HILTON HEAD ISLAND, SC  
Parcels: R510 008 000 0337A 0000, R510 008 000 0337 0000,  
and R510 008 000 0452 0000

**Hilton Head Medical Workforce Housing Conceptual Master Plan**

Zoning Map Amendment (ZA-001007-2025)

Subject: Amendment to the Palmetto Headlands / Hilton Head Hospital PD-2 Master Plan (#CUR-3-88) and coordinated LMO text amendment to allow new construction of multifamily residential workforce housing within the Palmetto Headlands / Hilton Head Hospital PD-2 (#CUR-3-88) on MED-zoned property.

## **ATTACHEMENT A**

Hilton Head Medical Workforce Housing Conceptual Master Plan Parcel Numbers

12.66 Acres. The subject property comprises three contiguous parcels:

- R510 008 000 0337A 0000
- R510 008 000 0337 0000
- R510 008 000 0452 0000

## ATTACHMENT B NARRATIVE

NARRATIVE SUPPLEMENT TO THE APPLICATION FOR ZONING MAP AMENDMENT FROM THE TOWN OF HILTON HEAD ISLAND REGARDING 12.66 ACRES ON BETHEA DRIVE, HILTON HEAD ISLAND, SC

**This Attachment B is submitted as part of the Zoning Map Amendment Application (The “Application”) by Abode Development (the “Applicant”) in partnership with Novant Health, and the Coastal Community Development Corporation (“CCDC”) to the Planning Commission of the Town of Hilton Head Island (the “Town”). Pursuant to the criteria set forth in Section 16-2-103.c.3 of the Town’s Land Management Ordinance (the “LMO”), this application seeks approval of a Text Amendment and Zoning Map Amendment (ZA-001007-2025) to modify the allowable uses within the PD-2 district. Specifically, the applicant requests that New Construction of Multifamily Residential Development be permitted within the Palmetto Headlands / Hilton Head Hospital PD-2 Overlay District (#CUR-3-88) (The “PD-2”) . The subject property comprises approximately 12.66 acres located on Bethea Drive and is currently zoned MED with an PD-2 overlay**

### **Purpose of Request:**

#### **Hilton Head Medical Workforce Housing Conceptual Master Plan Zoning Map Amendment within the Palmetto Headlands / Hilton Head Hospital PD-2 Overlay District (#CUR-3-88)**

This application seeks an Official Zoning Map Amendment (ZMA) to the Town of Hilton Head Island’s Base Zoning Map to permit new-construction multifamily within the Palmetto Headlands / Hilton Head Hospital PD-2 Overlay District.

The amendment aims to establish the Hilton Head Medical Workforce Housing Conceptual Master Plan, and updates the PD-2 Master Plan to affirm New Construction of Multifamily Residential Housing use on the Hospital’s South Campus, document district-scale compliance (density, impervious coverage, open space), and implement enforceable workforce-housing and design standards consistent with LMO 16-4-105 and the Town’s Workforce Housing Framework: Finding Home.

## Section 1. Application Summary for ZA-001007-2025

This application seeks an Official Zoning Map Amendment (ZMA) to the Town of Hilton Head Island Base Zoning Map to authorize new-construction multifamily within the Palmetto Headlands / Hilton Head Hospital PD-2 Overlay District (CUR-3-88). The request is made in accordance with the Workforce Housing (WFH) provisions of LMO 16-4-105 and the Town’s adopted Workforce Housing Framework: Finding Home.

The subject property consists of three contiguous parcels:

- R510 008 000 0337A 0000
- R510 008 000 0337 0000
- R510 008 000 0452 0000

Together these total approximately 12.66 acres along Bethea Drive, commonly referred to as the Hilton Head Hospital South Campus.

The proposed amendment establishes the Hilton Head Medical Workforce Housing Conceptual Master Plan within the PD-2 Overlay. The land is owned by Novant Health and will be developed by Abode Development of the Lowcountry in partnership with the Coastal Community Development Corporation (CCDC). The partnership’s intent is to deliver a compact, upland-clustered, mixed-income neighborhood that expands the Island’s supply of attainable housing while remaining fully compliant with the environmental and design standards of the PD-2 district.

This amendment:

- Updates the PD-2 Master Plan to affirm New Construction Multifamily Housing, in accordance with 16-4-105, use on the South Campus consistent with MED-base and PD-2 Overlay intent;
- Documents district-scale compliance with density, impervious-surface, and open-space ratios through a verified ledger (Attachment C); and
- Translates conceptual commitments into enforceable standards, including buffers, setbacks, stormwater design, and architectural guidelines.

Approval of the amendment will enable the proposed, “Nightingale Commons”, to be developed within the established PD-2 framework while advancing the Town’s Comprehensive Plan (OurPlan 2020–2040) and 2023–2025 Strategic Plan goals for workforce housing. The application directly responds to Town Staff memoranda dated August 20 and September 17, 2025, providing corrected exhibits, restored buffers, and codified design standards to ensure long-term compliance and compatibility with adjacent uses.

## Key Development Metrics Summary

<i>Category</i>	<i>Value / Commitment</i>
<b>Total Site Area</b>	± 12.66 acres (three contiguous parcels –R510 008 000 0337A 0000, R510 008 000 0337 0000, and R510 008 000 0452 0000)
<b>Developed Uplands / Preserved Area</b>	5.7 ac developed / 6.96 ac preserved (> 40 % open space)
<b>Zoning Context</b>	MED (Base) + PD-2 Overlay (CUR-3-88 Palmetto Headlands / Hilton Head Hospital)
<b>Program &amp; Density</b>	Proposed 114 Dwelling Units & 10 u/ac PD-2 limit
<b>Building Height</b>	MF ≤ 45 ft Max, Limited to 2 stories above natural grade
<b>Parking Provided / Required</b>	186 Spaces required using MF method. LMO compliance standards for bike parking, compact and parallel spots are used to achieve requirements.
<b>Buffers &amp; Setbacks (Development)</b>	<ul style="list-style-type: none"> <li>● 20 ft PD-2 boundary buffer (minimum Type B per LMO 16-5-103; enhanced to Type C Option 2 where feasible) with ≥ 50 % evergreen planting and 6–7 ft opaque fence.</li> <li>● Maintain ≥ 5 ft structural setback beyond buffer: no parking, lighting, utilities, or impervious surfaces within buffer zones.</li> <li>● All wetlands preserved with 35 ft average / 20 ft minimum buffer (from certified USACE/DES line) plus +5 ft structural setback per LMO 16-6-102.D.2 and Town 2023 standards.</li> <li>● LID stormwater features (such as bio-retention and swales) located ≥ 20 ft from wetland edge: buffers and setbacks dimensioned on C- and L-sheets.</li> <li>● Building heights ≤ 45 ft.</li> </ul>
<b>Buffers &amp; Setbacks (HHP Residential)</b>	<ul style="list-style-type: none"> <li>● 20 ft PD-2 boundary buffer (minimum Type B per LMO 16-5-103; enhanced to Type C Option 2 with evergreen screening and 6–7 ft opaque fence where space and context allow).</li> <li>● Within 50 ft of shared property line, limit buildings to two stories (≤ 40 ft consistent with Hilton Head Plantation height standards); no rear balconies or decks facing HHP; dark-sky lighting ≤ 0.1 fc at property line.</li> <li>● Landscape and fence details coordinated with HHP POA/ARB.</li> </ul>
<b>Buffers &amp; Setbacks (Wetlands)</b>	<ul style="list-style-type: none"> <li>● 35 ft average / 20 ft minimum wetland buffer from certified USACE/OCRM line per LMO 16-6-102.D.2 + 5 ft structural setback.</li> <li>● LID stormwater features ≥ 20 ft from wetland edge; depict 7 required buffer lines on site plan and include average-width calculation table to verify compliance.</li> </ul>
<b>Stormwater Design</b>	Low-Impact Development (LID) basins ≥ 20 ft from wetland edge; 2023 Town standards
<b>Workforce Housing Program</b>	<ul style="list-style-type: none"> <li>● ≥ 30 % (≥ 35 units) reserved for households at or below 80 % AMI</li> <li>● CCDC administration, management, and annual recertification,</li> <li>● no Short Term Rentals; 12-month minimum leases; explicit preference for Hilton Head Island’s workforce</li> </ul>
<b>Open Space Ownership / Maintenance</b>	CCDC to maintain buffers, stormwater, and common areas under LMO 16-5-104.E

## **Section 2. Development Background**

In 2024, Novant Health acquired the subject parcels along Bethea Drive as part of its purchase of Hilton Head Hospital from Tenet Health. The property, commonly referred to as the Hospital’s South Campus, totals approximately 12.66 acres and includes several small medical and office buildings constructed around 1990, comprising roughly 24,000 square feet. Most structures have remained vacant and deteriorated since Hurricane Matthew (2016), and the final tenant relocated off-site in early 2025. Engineering evaluations confirm that the buildings are beyond reasonable repair and unsuitable for any form of reuse or commercial conversion.

The property’s existing zoning is MED (Medical District) with the Palmetto Headlands / Hilton Head Hospital PD-2 Overlay (CUR-3-88). Under the current Workforce Housing (WFH) framework, the only workforce-eligible option within the MED district is through commercial-to-residential conversion. Because the existing buildings cannot be feasibly rehabilitated, the Applicant seeks a PD-2 Master Plan amendment to allow new-construction multifamily, consistent with LMO 16-4-105 and the Town’s workforce-housing policies.

Residential uses have long existed within the broader PD-2 area, including Palmetto Commons, a nearby residential community with a density of approximately 13.6 units per acre. However, language in the original PD-2 standards (adopted in the 1980s) did not explicitly list new multifamily residential construction as a permitted use—creating ambiguity despite this established development pattern. The proposed Nightingale Commons plan resolves that gap, confirming the suitability of multifamily as compatible uses within the PD-2 overlay. The development proposes 114 units - below the allowable use of 10 units per acre and comparable residential areas, and maintains impervious coverage under 35%, consistent with the environmental and design standards of the PD-2 district.

## **Section 3. Development Description**

The Hilton Head Medical Workforce Housing Conceptual Master Plan (Nightingale Commons) establishes a compact, upland-clustered residential neighborhood within the Palmetto Headlands / Hilton Head Hospital PD-2 Overlay District. The plan provides a total of 114 dwelling units, composed of (12) townhouse buildings.

A loop-street circulation pattern organizes the site, providing access to all buildings while maintaining emergency-vehicle turning radius and clear pedestrian separation. A continuous sidewalk network links residences to the mail kiosk, a small community pavilion, and a frontage path connecting to Bethea Drive and the broader hospital campus. Bicycle racks are located at the multifamily entry, the pavilion, and the mail kiosk. Parking provided to accommodate 186 spots in accordance with LMO 16-5-107.

Site planning prioritizes environmental protection and compliance with PD-2 and Town stormwater standards. All wetlands are preserved in place, with a 35-foot average / 20-foot minimum buffer and an additional 5-foot structural setback beyond the certified delineation line (per 16-6-102.D.2). The PD-2 boundary buffer along the Hilton Head Plantation edge is restored to its full 20-foot width, planted to Type B MF standards (at least 50 percent evergreen) and supplemented by a 6- to 7-foot opaque fence for privacy. No parking, lighting, or other impervious improvements encroach into buffer or setback areas.

Stormwater infrastructure is designed to the 2023 Town of Hilton Head Island Stormwater Standards using Low-Impact Development (LID) practices. Bio-retention, vegetated swales, and forebays are located at least 20 feet from the wetland edge, and post-development discharge rates and volumes remain at or below pre-development conditions. The site’s overall impervious coverage is <35% percent, and total open space exceeds 40 percent, both comfortably within PD-2 limits.

Architectural design follows the Lowcountry style established by the PD-2 Design Manual and detailed in Appendix A – Architectural and Community Design Standards. Building materials include fiber-cement siding, brick, and stucco in muted coastal colors; roof forms are gable, hip, or shed; and lighting standards will meet or exceed standards for adjacent use residential. Screening of rooftop and ground equipment is required.

The development’s ownership, long-term maintenance, and workforce-housing administration will be managed by the Coastal Community Development Corporation (CCDC) under recorded covenants compliant with LMO 16-5-104.E. CCDC will also oversee the workforce-housing eligibility and annual recertification process in accordance with LMO 16-4-105.

This description summarizes the physical layout and design intent of Nightingale Commons; the following section outlines the detailed program elements and quantitative commitments under the Development Scope (Workforce Housing Development Agreement).

### **Section 4. Workforce Affordability**

The Hilton Head Medical Workforce Housing Conceptual Master Plan (Nightingale Commons) has been structured in full compliance with LMO 16-4-105 (Workforce Housing Standards) and the Town’s adopted Workforce Housing Framework: Finding Home. The Workforce Housing Development Agreement (WHDA) formalizes the site’s affordability commitments, administrative procedures, and long-term monitoring responsibilities.

**Affordability Commitment.** A minimum of 30% of all dwelling units (≥ 35 of 114) will be reserved for households earning at or below 80% of Area Median Income (AMI). All affordable units will be tenure-blind, indistinguishable in materials, finishes, and amenities from market-rate units, and distributed proportionally across the multifamily buildings to ensure integration within the community.

**Income Band Distribution.**

<b>AMI Band</b>	<b>*Approximate Units</b>	<b>Share of Total Development</b>	<b>Designation</b>
≤ 80 % AMI	35	31%	Workforce Housing – Restricted
81 – 120 % AMI	22	19%	Median/ Moderate Workforce
> 120 % AMI	57	50%	Market Rate
	114	100%	

*\*Note: Final rent limits will be established annually using HUD-published AMI data for Beaufort County and confirmed with the Town’s Housing Program Manager.*

#### **Administration and Oversight.**

The Coastal Community Development Corporation (CCDC) will serve as the Workforce Housing Administrator. Responsibilities include:

1. Verifying initial tenant income eligibility.
2. Conducting annual income recertifications.
3. Maintaining a compliance ledger by unit documenting occupancy, rent levels, and income tier
4. Preparing an annual compliance report for submission to the Town of Hilton Head Island.

### **Leasing and Operations.**

Affordable units will be leased for a minimum 12-month term; short-term rentals are prohibited. Priority leasing will be extended to essential workers employed on Hilton Head Island, including those in healthcare, public safety, and education. No application, screening, or occupancy policy will conflict with fair-housing or equal-opportunity provisions.

### **Covenants and Enforcement.**

Affordability restrictions and CCDC oversight responsibilities will be recorded in a Workforce Housing Covenant running with the land. Non-compliance or unauthorized conversion will constitute a covenant violation enforceable by the Town through the WHDA. Monitoring and reporting procedures will align with the Town's annual housing compliance audit schedule.

### **Longevity and Renewal.**

Affordability commitments will remain in effect for 99 years, unless amended by mutual agreement with the Town under the terms of the recorded WHDA. Periodic review will allow rent limits and program procedures to adjust to updated AMI thresholds while maintaining the 30 percent  $\leq$  80 % AMI baseline.

## **Section 5. Roles and Implementation**

### **Abode Development of the Lowcountry (Developer)**

- Leads project delivery, including entitlements, financing, and construction. Coordinates all submissions and ensures compliance with PD-2 and LMO standards, the Workforce Housing Development Agreement, and recorded covenants.

### **Novant Health (Landowner / Institutional Partner)**

- Owns the 12.66-acre South Campus property and provides the site for development under the PD-2 Overlay. Aligns the development with hospital operations and workforce needs to ensure proximity housing for essential medical staff. Novant is also committing to one-third of the rental units for healthcare workers.

### **Coastal Community Development Corporation – CCDC (Steward / Administrator)**

- Serves as long-term steward and workforce-housing administrator. Owns and maintains common open space, buffers, and stormwater facilities per LMO 16-5-104.E. Administers eligibility verification, annual income recertification, and compliance reporting under LMO Guidelines.

## Section 6. Rezoning Criteria

### (i) In accordance with the Comprehensive Plan (OurPlan 2020–2040)

The proposed Zoning Map Amendment directly advances the Town of Hilton Head Island Comprehensive Plan (OurPlan 2020–2040) and demonstrates measurable alignment with each of the Plan’s seven Core Values. The Nightingale Commons development embodies the Town’s goals for sustainable growth, right-sized infrastructure, and the delivery of attainable housing through a modern, environmentally responsible construction approach within a sustainable campus.

#### Core Value 1 — Relentless Pursuit of Excellence

- Designing a high-quality, durable neighborhood consistent with Hilton Head’s Lowcountry character and built-environment standards.
- Buildings are constructed with high-performance exterior materials (fiber-cement siding, masonry accents, and weather-rated roof systems) designed for high wind loads and FEMA-compliant elevation criteria, ensuring resilience to coastal storm events.
- Architectural detailing includes varied rooflines (gable, hip, and shed), and sustainable elements.
- By codifying these requirements in Appendix A – Architectural and Community Design Standards, the development converts aspirational design guidance into enforceable construction specifications, aligning with the Town’s pursuit of excellence in form, craftsmanship, and visual continuity.

#### Core Value 2 — Redefining Environmental Sustainability

- Employing a Low-Impact Development (LID) strategy that integrates stormwater management into the landscape and minimizes long-term maintenance demands.
- All bio-retention and vegetated swales are located  $\geq 20$  ft from the certified wetland line, treating runoff naturally before infiltration. The development footprint is limited to uplands, preserving  $\approx 6.96$  acres ( $> 40\%$ ) of the site as wetlands, buffers, and open space.
- Construction practices will include erosion-control sequencing, tree-protection fencing, and on-site material recycling where feasible.
- The design exceeds MED and PD-2 environmental standards and advances Hilton Head’s redefinition of sustainability—achieving compliance not by constraint but by integration of green infrastructure and reduced impervious surfaces

#### Core Value 3 — Revitalizing and Modernizing the Economy

- Transforming obsolete, hurricane-damaged medical facilities into productive land uses that support Hilton Head’s evolving economic base.
- The partnership between **Novant Health, Abode Development, and CCDC** converts an underutilized institutional site into workforce housing that stabilizes the hospital’s labor supply and benefits the Island’s broader service and education sectors.
- Modern construction methods reduce operational costs while supporting local contracting and workforce participation. This aligns with the Comprehensive Plan’s call to modernize the economy through reinvestment in existing developed areas.

#### **Core Value 4 — Fostering an Inclusive, Multi-Dimensional Community**

- Delivering a proposed 114 rental homes in both apartment and townhouse formats, with  $\geq 30\%$  ( $\geq 35$  units) reserved for households earning  $\leq 80\%$  of Area Median Income (AMI).
- All affordable units are tenure-blind—similar in exterior design, materials, and amenities to market-rate homes—and distributed throughout the community to encourage integration.
- CCDC will oversee income verification, annual recertification, and compliance reporting under LMO 16-4-105, ensuring transparency and long-term affordability.
- The development directly supports Hilton Head’s essential workers - particularly healthcare professionals, educators, and first responders, addressing the need documented in the Workforce Housing Framework: Finding Home and advancing inclusivity through opportunity.

#### **Core Value 5 — Building a Connected and Collaborative Community Fabric**

- Providing a walkable, interconnected layout that ties the residential neighborhood into the existing hospital campus and the surrounding street network.
- A continuous sidewalk system and bicycle parking at community nodes supports multimodal mobility.
- Close coordination with the Hilton Head Plantation Property Owners’ Association (POA) and Architectural Review Board (ARB) will support buffer design to ensure aesthetic and functional consistency along the shared boundary.
- These measures extend the Town’s vision of community connectivity and collaboration across institutional and residential property lines.

#### **Core Value 6 — Expanding to Embrace an Integrated Regional Focus**

- Strengthening regional resilience through collaboration between private, institutional, and nonprofit partners. As a healthcare-supported housing initiative, Nightingale Commons addresses workforce shortages not only within Hilton Head but also across the broader Beaufort County medical network.
- The public-private structure—Novant Health (landowner), Abode (developer), CCDC (administrator)—represents a model for regional, cross-sector cooperation, consistent with OurPlan’s goal of expanding partnerships beyond jurisdictional boundaries.

#### **Core Value 7 — Creating “Right-Sized” Infrastructure**

- Maximizing use of existing hospital and Town infrastructure without extending utilities or roadways. The development’s circulation, parking, and stormwater systems are appropriately scaled: parking spaces, and utility corridors that connect directly to existing service lines.
- Stormwater detention is decentralized through LID basins that reduce peak discharge and maintenance costs.
- These strategies embody the Town’s directive for infrastructure that meets community needs efficiently and sustainably.

*Summary:* Collectively, Nightingale Commons implements *OurPlan 2020–2040* by transforming underutilized institutional land into a resilient, connected, and inclusive neighborhood. Its compact footprint, modern construction practices, and enforceable design standards operationalize the Comprehensive Plan’s core values—demonstrating that workforce housing can serve as a model for sustainable, right-sized development on Hilton Head Island.

**(ii) Range of uses compatible with the vicinity**

The proposed New Construction Multifamily Housing residential use is compatible with adjacent institutional and residential areas within the PD-2 district. Height limits ( $\leq 45$  ft MF) and the 20-ft PD-2 buffer with natural screening and 6–7 ft fencing ensure appropriate transitions to neighboring properties.

**(iii) Appropriateness for the land**

Development occurs entirely on uplands ( $\approx 5.7$  acres) and avoids all wetlands. A 35-ft average / 20-ft minimum wetland buffer plus 5-ft structural setback protects natural drainage and habitat aligning with LMO sec. 16-6-102.D.2. The compact layout and LID stormwater strategy ensure appropriate and sustainable land use.

**(iv) Demonstrated community need**

Hilton Head Island faces a well-documented shortage of attainable housing for healthcare, education, and public-safety workers. The development proposes 114 units,  $\geq 30\%$  ( $\geq 35$  units) affordable  $\leq 80\%$  AMI, directly addressing this need while remaining within existing service capacities.

**(v) Consistency with the Town’s overall zoning program**

The amendment maintains PD-2 district balance. Overall density  $\approx 10$  du/ac limit, impervious  $>35\%$ , and open space  $> 40\%$  ( $\geq 25\%$  required). No variances or waivers are requested.

**(vi) Avoidance of isolated zoning**

The proposal remains within the existing PD-2 Overlay District and does not create an isolated zoning area. It reinforces established land-use patterns and provides a compatible transition between hospital and residential uses. Reinforcing the established uses already existing for the Palmetto Commons residential community in PD-2 at 13.6 units per acre and the residential uses for commercial conversion through the WFH standards sec. 16-4-105

**(vii) Reasonably viable economic use**

The hurricane-damaged medical structures are beyond repair and unsuitable for reuse. Redevelopment as workforce housing provides a viable and productive economic use that supports the hospital workforce and community objectives while preserving environmental resources.

**(viii) Adequacy of public facilities**

Public facilities and services are adequate. Access geometry and firetruck turning radius meet Town standards; water and sewer service confirmed; and LID basins ( $\geq 20$  ft from wetlands) maintain post-development runoff  $\leq$  pre-development conditions.

**(ix) Changed or changing conditions**

Recent adoption of the Workforce Housing Framework: Finding Home and increased healthcare employment represent changing conditions warranting this PD-2 Master Plan update. The amendment enables context-sensitive residential use that aligns with current policy and sustains district-wide compliance metrics.

## Section 7. PD-2 Design Standards: #CUR-3-88 Palmetto Headlands / Hilton Head Hospital

Per 16-3-106.G.6 (a–h)

*Please reference Appendix A for additional detail.*

(a) Arrangement considering natural features, drainage, views, access, surrounding uses

- Development confined to upland areas, preserving wetlands and open space within the 12.66-acre site
- The site layout follows existing topography and drainage patterns, providing a 35-ft average / 20-ft minimum wetland buffer with an additional 5-ft structural setback from the certified USACE/DES delineation line, in compliance with LMO 16-6-102.D.2.
- Along the Hilton Head Plantation boundary, a minimum Type B buffer is provided per LMO 16-5-103, enhanced to Type C Option 2 within 50'-0" of Hilton Head Plantation residential lots with residential use, incorporating  $\geq 50\%$  natural plantings and a 6–7 ft opaque fence to protect residential views and privacy.
- Lighting complies with the Town's Dark-Sky standards, utilizing Palmetto Electric's full-cutoff LED fixtures and meeting or exceeding the LMO standards.

(b) Clustering to preserve features / provide open space

- Clustering logic. Density is organized into (12) 2 story buildings, calibrated to keep impervious  $>35\%$  and hold  $>40\%$  of the site in open space.
- Open-space structure. Landscape plan establishes contiguous greens that link buffers, stormwater LID, and pedestrian commons (mail/pavilion nodes), rather than isolated pockets.
- Tree preservation workflow. Pre-clearing meeting establishes orange tree-save fencing limits; arborist field-walk confirms protection details to the supplemented current tree inventory as "Attachment C" to this application.

(c) Integrated circulation system

- A loop-street system provides full vehicular circulation and emergency access with radius meeting Fire Rescue standards.
- Sidewalks and marked crossings connect buildings to shared amenities, the mail kiosk, and a frontage path on Bethea Drive. Bicycle racks are located at the multifamily entry, pavilion, and kiosk, encouraging non-vehicular mobility.
- Pedestrian-first setbacks. A landscaped frontage zone (walk + planting) separates buildings from parking throughout.

(d) Infrastructure integration with environmental factors

- Stormwater design follows the 2023 Town of Hilton Head Island Stormwater Standards, incorporating Low-Impact Development (LID) features such as bio-retention basins, vegetated swales, and sediment forebays located  $\geq 20$  ft from wetlands.
- Post-development discharge rates and volumes remain at or below pre-development conditions.
- Utility corridors align with existing hospital infrastructure to minimize new disturbance.

(e) Design & sizing proportionate to demand

- Program right-sizing. A Proposed 114 units meet PD-2 and workforce objectives without exhausting district capacity; parking meets requirements, provides a small operational buffer without over-paving.

- Utility capacity checks. Ward Edwards confirmed downstream sewer and potable capacity with utility providers; fire flow meets hydrant spacing/pressure criteria.
- Operations planning. Trash/compactor and delivery areas are sited off the loop with no backing over pedestrian routes; postal and rideshare lay-bys are included to prevent conflicts.

**(f) Open space ownership / maintenance**

- Recorded covenants. CCDC will own/maintain buffers, trails, LID basins, and amenities under recorded 99-year covenants; reserve funding is modeled in the O&M plan.
- O&M manuals. LID protocols have seasonal maintenance checklists (mow heights, sediment cleanout thresholds, re-planting protocols), coordinated with Tiller’s planting schedule.
- Annual reporting. CCDC will prepare an annual open space/O&M compliance letter for Town records, aligning with workforce housing reporting cadence.

**(g) Architectural guidelines (*Detail in Appendix A*)**

Architectural design and community standards comply with the PD-2 Design Manual and the *Nightingale Commons – Rules & Regulations and Architectural Standards* (Appendix A). These standards codify the Town’s Lowcountry design principles into enforceable specifications for building form, materials, color palette, lighting, fencing, and stormwater integration.

● **Architectural Materials and Finishes**

Primary façades will use durable, high-quality materials such as fiber-cement siding (Hardie Plank or Boral), stucco, or brick, with limited wood accents. Color palettes are restricted to muted coastal tones compatible with Hilton Head’s natural environment.

● **Roof Design and Materials**

Roofs will be gable, hip, or shed; flat roofs are prohibited. Architectural-grade asphalt shingles are the primary material, with metal accents allowed on non-plantation-facing elevations only. All roof assemblies are engineered for high wind loads and use energy-efficient underlayment systems.

● **Setbacks, Height, and Building Separation**

PD-2 standards are observed, including a 20-foot undisturbed buffer along the Hilton Head Plantation line and an additional 5-foot structural setback for townhomes. Two-story porches or decks are prohibited within 50 feet of the shared property line of Hilton Head Plantation, and buildings are limited to two stories above natural grade. Building separation is  $\geq 15$  ft (7.5 ft per side).

● **Buffers, Screening, and Fencing**

A minimum Type B buffer is provided along the Hilton Head Plantation (HHP) boundary in accordance with LMO 16-5-103, enhanced to Type C Option 2 where space and context permit to provide additional evergreen screening. The buffer includes a 6–7 ft opaque “Charleston Green” privacy fence installed on the interior edge. Final planting mix and fence design will be coordinated with the HHP POA/ARB to ensure visual and material compatibility.

● **Lighting**

All lighting complies with Town LMO standards and is provided through the Palmetto Electric Lighting Program. Fixtures are fully shielded, down-directed, with no visible bulbs or floodlights on façades facing Hilton Head Plantation. Rear facing floodlights are explicitly not permitted.

● **Exterior Restrictions and Accessory Elements**

No banners, flags, flagpoles, fire pits, or pools/spas above 18 inches are permitted beyond rear setbacks or on elevations facing Hilton Head Plantation. Trash and service areas are centralized and architecturally screened.

- **Parking, Mobility, and Drainage**

Parking meets LMO 16-5-107.D.1 ratios (1.4/1.7/2.0 per bedroom mix) and provides LMO Compliance for the required 186 spaces. Stormwater systems use asphalt with pervious components and LID practices, consistent with the LMO Town standards.

*Reference: Appendix A – Nightingale Commons Rules & Regulations and Architectural Standards; Sheets*

**(h) Sufficient acreage**

- Footprint discipline. The development area occupies <50% of the parcel; 2-story TH standards within the community protects neighborhood scale at the shared property line with Hilton Head Plantation.
- Performance headroom. District-wide metrics remain compliant after this development (impervious <35%), leaving headroom for PD-2 balance.
- Future adaptability. Drives, utilities, and LID facilities are laid out to allow maintenance access without entering buffers and to accommodate minor operational adjustments without regrading.

**Why this meets and exceeds 16-3-106.G.6**

- Development clustered entirely on uplands; wetlands preserved 100 %.
- Buffers, setbacks, and impervious limits meet or exceed PD-2 requirements.
- LID stormwater design integrates sustainability and access.
- Architectural standards codified in Appendix A ensure long-term compatibility and quality.
- CCDC covenants provide enduring maintenance and reporting obligations.

# **Hilton Head Medical Workforce Housing Conceptual Master Plan**

### DEVELOPMENT SUMMARY

TOTAL ACRES	+/- 12.66 ACRES
PARCEL ID:	DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452
ZONING:	MEDICAL DISTRICT (MED)
PD-2:	PALMETTO HEADLANDS / HILTON HEAD HOSPITAL (CUR-3-88)
PROPOSED USE:	WORKFORCE HOUSING
PROPOSED DENSITY:	10.0 DU/ACRE
MAXIMUM STRUCTURE	45' HEIGHT
MAXIMUM IMPERVIOUS	35%
OPEN SPACE	70%
FEMA FLOOD ZONE	X

### POTENTIAL UNIT YIELDS

TOTAL BLDG YIELD	12 BUILDINGS
TOTAL UNIT YIELD	114 UNITS
1 BEDROOM TOWNHOUSE	38 DWELLING UNITS
2 BEDROOM TOWNHOUSE	66 DWELLING UNITS
3 BEDROOM TOWNHOUSE	10 DWELLING UNITS

### PARKING

MULTI-FAMILY		
1 BEDROOM =	1.4 SPACES/DU*	
MULTI-FAMILY		
2 BEDROOM =	1.7 SPACES/DU*	
MULTI-FAMILY		
3 BEDROOM =	2.0 SPACES/DU*	
TOTAL REQUIRED PARKING:	186 SPACES	
BIKE PARKING:	110 BIKE PARKING SPACES	
BIKE PARKING REDUCTION**:	11 CAR PARKING SPACES	
REDUCED REQUIRED CAR PARKING:	175 SPACES	
PROVIDED CAR PARKING:	175 SPACES	

\*USING MULTI-FAMILY STANDARD  
 \*\*THE MINIMUM NUMBER OF CAR PARKING SHALL BE REDUCED BY 1 FOR EVERY 10 BIKE PARKING SPACES

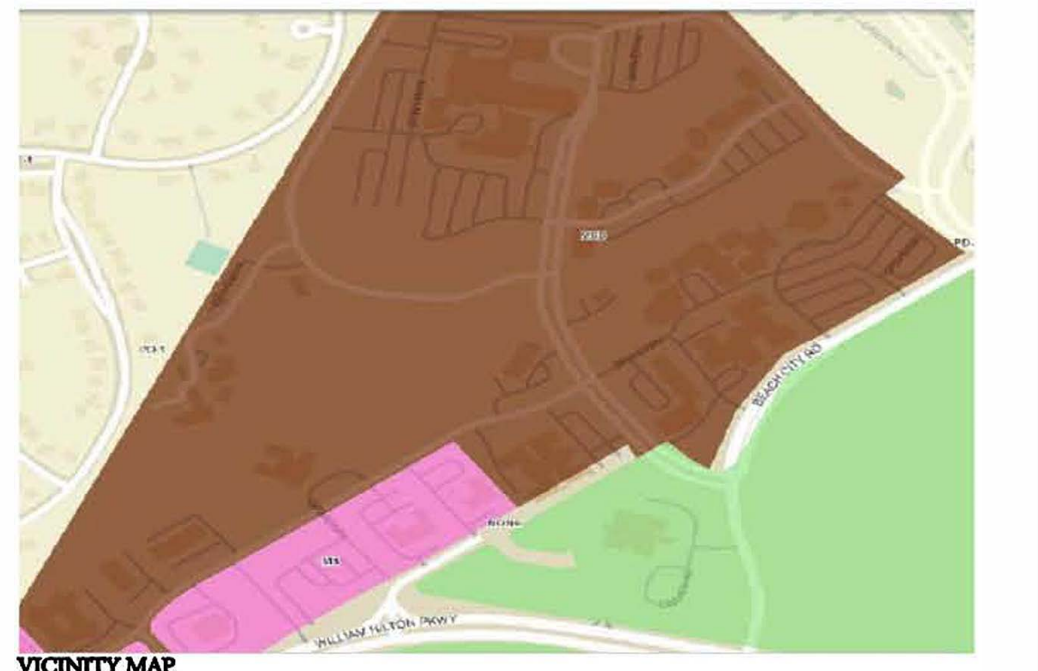
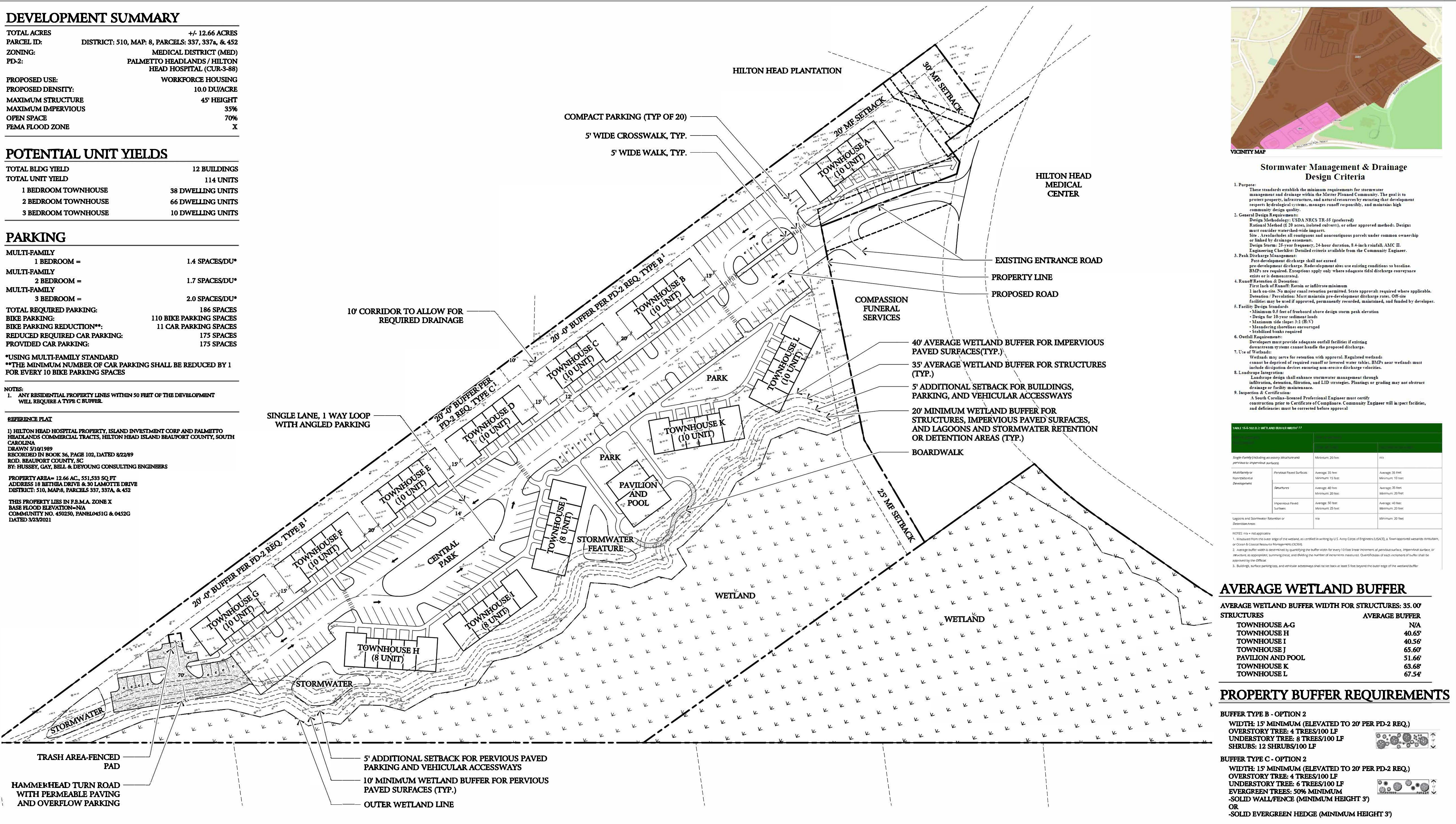
NOTES:  
 1. ANY RESIDENTIAL PROPERTY LINES WITHIN 50 FEET OF THIS DEVELOPMENT WILL REQUIRE A TYPE C BUFFER.

#### REFERENCE PLAT

1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP AND PALMETTO HEADLANDS COMMERCIAL TRACTS, HILTON HEAD ISLAND BEAUFORT COUNTY, SOUTH CAROLINA  
 DRAWN 5/10/1989  
 RECORDED IN BOOK 36, PAGE 102, DATED 8/22/89  
 ROD. BEAUFORT COUNTY, SC  
 BY: HUSSEY, GAY, BELL & DEYOUNG CONSULTING ENGINEERS

PROPERTY AREA= 12.66 AC., 551,533 SQ. FT.  
 ADDRESS 18 BETHA DRIVE & 30 LAMOTTE DRIVE  
 DISTRICT: 510, MAP: 8, PARCELS 337, 337A, & 452

THIS PROPERTY LIES IN P.E.M.A. ZONE X  
 BASE FLOOD ELEVATION-N/A  
 COMMUNITY NO. 450250, PARCELS 0451G & 0452G  
 DATED 3/23/2021



### Stormwater Management & Drainage Design Criteria

- Purpose:** These standards establish the minimum requirements for stormwater management and drainage within the Master Planned Community. The goal is to protect property, infrastructure, and natural resources by ensuring that development respects hydrological systems, manages runoff responsibly, and maintains high community design quality.
- General Design Requirements:**
  - Design Methodology: USDA NRCS TR-55 (preferred)
  - Rational Method (2.0 acres, isolated catchment), or other approved methods. Designs must consider watershed-wide impacts.
  - Site: Areas include all contiguous and noncontiguous parcels under common ownership or linked by drainage easements.
  - Design Storm: 25-year frequency, 24-hour duration, 8.4-inch rainfall, AMC II.
  - Engineering Checklist: Detailed checklist available from the Community Engineer.
- Peak Discharge Management:** Post-development discharge shall not exceed pre-development discharge. Redevelopment sites use existing conditions as baseline. BMPs are required. Exceptions apply only where adequate tidal discharge conveyance exists or is demonstrated.
- Runoff Retention & Detention:**
  - First Inch of Runoff: Retain or infiltrate minimum 1 inch on-site. No major canal retention permitted. State approval required where applicable.
  - Detention: Percolation: Must maintain pre-development discharge rates. Off-site facilities may be used if approved, permanently recorded, maintained, and funded by developer.
- Facility Design Standards:**
  - Minimum 0.5 feet of freeboard above design storm peak elevation
  - Design for 10-year sediment loads
  - Maximum side slopes 3:1 (B:V)
  - Meandering channels encouraged
  - Stabilized banks required
- Outfall Requirements:** Developers must provide adequate outfall facilities if existing downstream systems cannot handle the proposed discharge.
- Use of Wetlands:** Wetlands may serve for retention with approval. Regulated wetlands cannot be deprived of required runoff or lowered water tables. BMPs near wetlands must include dispersion devices ensuring non-erosive discharge velocities.
- Landscaping Integration:** Landscaping design shall enhance stormwater management through infiltration, detention, filtration, and LID strategies. Plantings or grading may not obstruct drainage or facility maintenance.
- Inspection & Certification:** A South Carolina-licensed Professional Engineer must certify construction prior to Certificate of Compliance. Community Engineer will inspect facilities, and deficiencies must be corrected before approval.

Single Family (including accessory structures and porches or impervious surfaces)	Minimum: 20 feet	N/A
Multi-family	Average: 35 feet Minimum: 15 feet	Average: 35 feet Minimum: 10 feet
Non-residential Development	Average: 40 feet Minimum: 20 feet	Average: 35 feet Minimum: 20 feet
Impervious Paved Surfaces	Average: 50 feet Minimum: 25 feet	Average: 40 feet Minimum: 20 feet
Lagoons and Stormwater Retention or Detention Areas	N/A	Minimum: 20 feet

NOTES: N/A = not applicable  
 1. Measured from the outer edge of the wetland, as certified in writing by U.S. Army Corps of Engineers USACE, a town-approved wetlands consultant, or County or Coastal Resource Management (CRMS).  
 2. Average buffer width is determined by quantifying the buffer width for every 10-foot linear increment of perimeter surface, impervious surface, or structure as appropriate, summing these, and dividing the number of increments measured. Quantification of each increment of buffer shall be approved by the official.  
 3. Buildings, surface parking lots, and similar abutments shall be set back at least 5 feet beyond the outer edge of the wetland buffer.

### AVERAGE WETLAND BUFFER

AVERAGE WETLAND BUFFER WIDTH FOR STRUCTURES: 35.00'

STRUCTURES	AVERAGE BUFFER
TOWNHOUSE A-G	N/A
TOWNHOUSE H	40.65'
TOWNHOUSE I	40.56'
TOWNHOUSE J	65.60'
PAVILION AND POOL	51.66'
TOWNHOUSE K	63.68'
TOWNHOUSE L	67.54'

### PROPERTY BUFFER REQUIREMENTS

**BUFFER TYPE B - OPTION 2**  
 WIDTH: 15' MINIMUM (ELEVATED TO 20' PER PD-2 REQ.)  
 OVERSTORY TREE: 4 TREES/100 LF  
 UNDERSTORY TREE: 8 TREES/100 LF  
 SHRUBS: 12 SHRUBS/100 LF

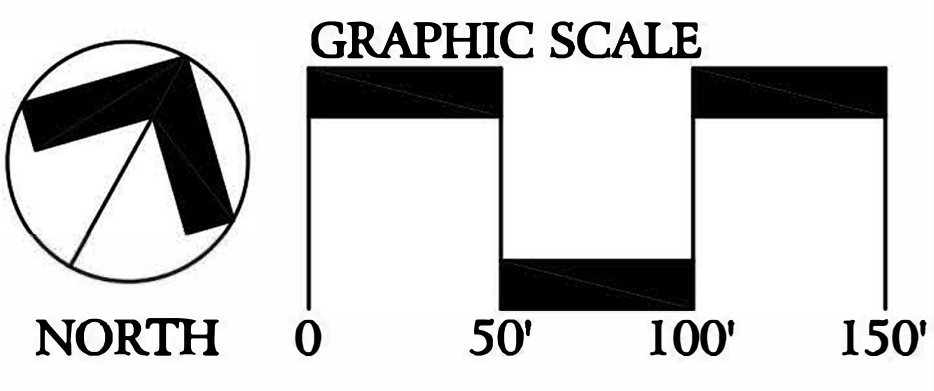
**BUFFER TYPE C - OPTION 2**  
 WIDTH: 15' MINIMUM (ELEVATED TO 20' PER PD-2 REQ.)  
 OVERSTORY TREE: 4 TREES/100 LF  
 UNDERSTORY TREE: 6 TREES/100 LF  
 EVERGREEN TREES: 50% MINIMUM  
 -SOLID WALL/FENCE (MINIMUM HEIGHT 3')  
 OR  
 -SOLID EVERGREEN HEDGE (MINIMUM HEIGHT 3')

PREPARED FOR:  
 NOVANT HEALTH ON BEHALF OF ABODE  
 PREPARED BY:

**J. K. TILLER ASSOCIATES, INC.**  
 LAND PLANNING LANDSCAPE ARCHITECTURE  
 181 BLUFFTON ROAD, SUITE 3104 BLUFFTON, SC 29910  
 Voice 843.815.4800 jktiller@jktiller.com Fax 843.815.4802

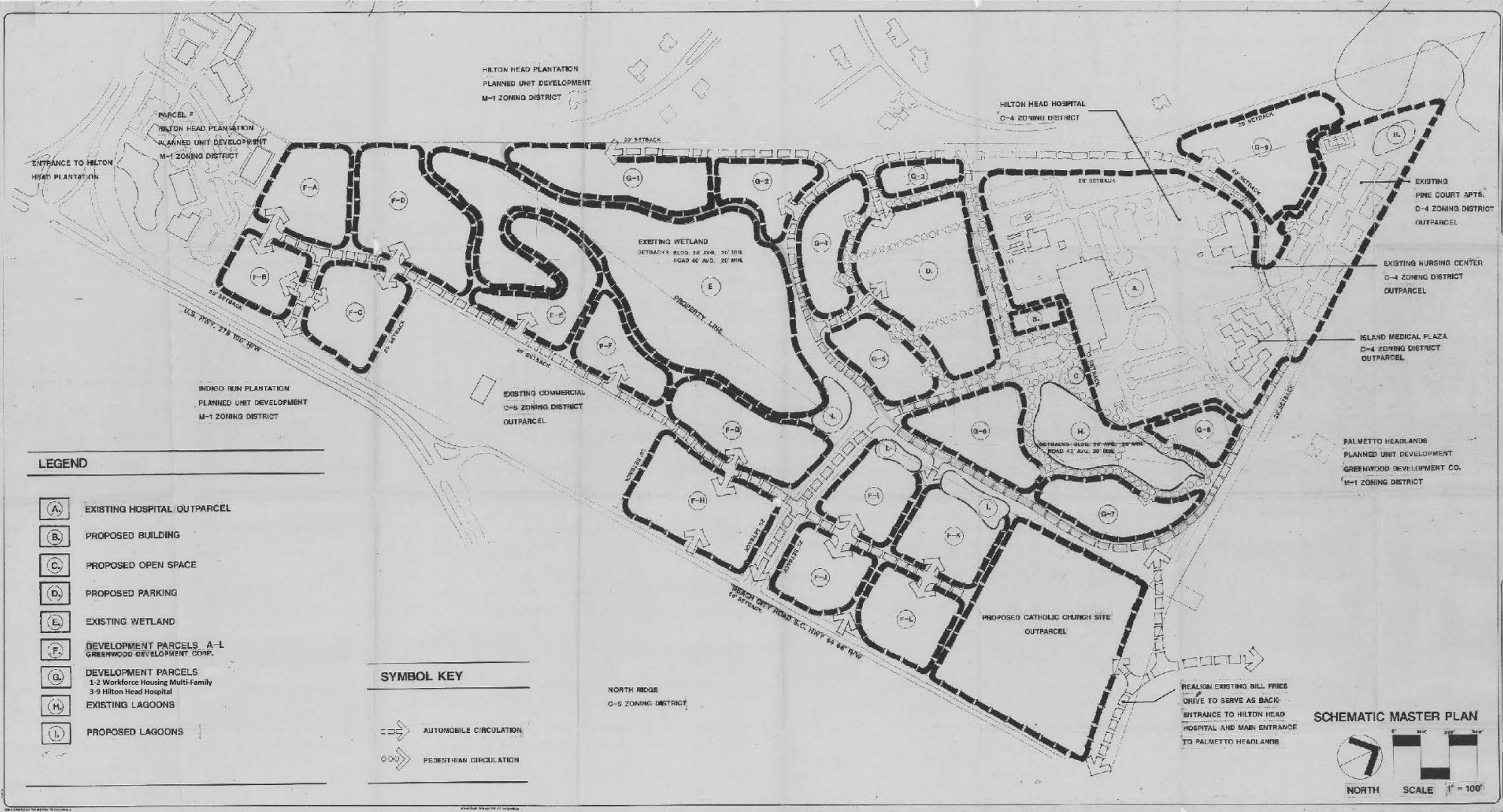
# HILTON HEAD MEDICAL TOWNHOUSES MASTER PLAN

TOWN OF HILTON HEAD, SOUTH CAROLINA  
 NOVEMBER 07, 2025



THIS IS A CONCEPTUAL PLAN AND IS SUBJECT TO CHANGE. ALL SURVEY INFORMATION AND SITE BOUNDARIES WERE COMPILED FROM A VARIETY OF UNVERIFIED SOURCES AT VARIOUS TIMES AND AS SUCH ARE INTENDED TO BE USED ONLY AS A GUIDE. ALL PROPERTY LINES, TRACT DIMENSIONS AND NARRATIVE DESCRIPTIONS ARE FOR GRAPHIC REPRESENTATION ONLY, AS AN AID TO SITE LOCATION AND POTENTIAL LAND USE, AND ARE NOT LEGAL REPRESENTATIONS AS TO FUTURE USES OR LOCATIONS. J. K. TILLER ASSOCIATES, INC. ASSUMES NO LIABILITY FOR ITS ACCURACY OR STATE OF COMPLETION, OR FOR ANY DECISIONS (REQUIRING ACCURACY) WHICH THE USER MAY MAKE BASED ON THIS INFORMATION. **JKT Job Number: 202427-03**

**Proposed #CUR-3-88 Master Plan Overlay  
Palmetto Headlands / Hilton Head Hospital PD-2**



- LEGEND**
- (A) EXISTING HOSPITAL OUTPARCEL
  - (B) PROPOSED BUILDING
  - (C) PROPOSED OPEN SPACE
  - (D) PROPOSED PARKING
  - (E) EXISTING WETLAND
  - (F) DEVELOPMENT PARCELS A-L GREENWOOD DEVELOPMENT CORP.
  - (G) DEVELOPMENT PARCELS 1-2 Workforce Housing Multi-Family 3-9 Hilton Head Hospital
  - (H) EXISTING LAGOONS
  - (L) PROPOSED LAGOONS

- SYMBOL KEY**
- AUTOMOBILE CIRCULATION
  - ○ ○ ○ PEDESTRIAN CIRCULATION

NORTH RIDGE  
 G-5 ZONING DISTRICT

**SCHEMATIC MASTER PLAN**

REALIGN EXISTING BILL FRIES DRIVE TO SERVE AS BACK ENTRANCE TO HILTON HEAD HOSPITAL AND MAIN ENTRANCE TO PALMETTO HEADLANDS

NORTH

SCALE 1" = 100'

HILTON HEAD HOSPITAL  
 MEDICAL COMPLEX  
 SCHEMATIC MASTER PLAN  
 HILTON HEAD ISLAND, S.C.

Edward Pinckney Associates, Ltd.  
 Landscape Architects and Planners  
 1000 West 10th Street, Suite 100  
 Charleston, SC 29407  
 803-799-4400

Sheet Title: SCHEMATIC MASTER PLAN  
 Job Number: 2022-001  
 Date: 08/20/22  
 Drawn by: [Name]  
 Checked by: [Name]  
 Approved: [Name]  
 Revisions: [List]

Sheet: [Number]  
 Of: [Total]

## **Appendix A: Architectural and Community Design Standards Summary**

These standards are adopted in fulfillment of LMO 16-3-106.G.6(g) Architectural Guidelines

### **Purpose**

These standards have been prepared collaboratively by J.K. Tiller Associates, Inc. (land planning and landscape architecture), Ward Edwards (site/civil engineering and infrastructure), and in coordination with the Hilton Head Plantation Property Owners' Association (POA) and Architectural Review Board (ARB). All provisions are binding and will be implemented through site plan approval, building permit review, and long-term management by the Coastal Community Development Corporation (CCDC).

### **1. Architectural Materials and Finishes**

- All structures shall have exterior walls constructed of Hardie Plank, Boral siding, stucco, or brick.
- Vinyl siding shall not be permitted.
- Color palettes shall reflect muted coastal tones drawn from the Lowcountry vernacular. Bright, reflective, or high-contrast colors are prohibited.
- Trim and accent materials shall be of equal durability to the primary siding and compatible in tone.
- All foundations shall be finished in brick, stucco, or parged concrete consistent with the primary building material.

### **2. Roof Design and Materials**

- Roof structures shall be gable, hip, or shed in form to complement the Lowcountry architectural style.
- Roofing shall be architectural-grade asphalt shingles or metal with non-reflective coatings.
- Reflective or galvanized finishes are not permitted.
- Dormers and gables may be incorporated for articulation and balance.
- All roof penetrations, vents, and mechanical units shall be painted to match the roof color and fully screened from view.

### **3. Setbacks, Height, and Building Separation**

- All structures shall comply with the dimensional standards of the PD-2 Master Plan and applicable sections of the LMO.
- A minimum 20-foot PD-2 buffer shall be provided along the Hilton Head Plantation boundary, and all buildings shall maintain an additional 5-foot structural setback beyond the buffer.
- No encroachments—including walls, pavement, or accessory structures—shall occur within the buffer.
- Maximum building height shall not exceed 45 feet and 2 stories over natural grade
- A minimum 15-foot building separation, or 7'-6" each side, shall be maintained between principal structures to allow for fire access and privacy.

#### 4. Buffers, Screening, and Fencing

- A minimum Type B buffer shall be provided along the PD-2 boundary with Hilton Head Plantation, enhanced to Type C Option 2 where space and context allow, consistent with LMO § 16-5-103 and the Palmetto Headlands / Hilton Head Hospital PD-2 (CUR-3-88) standards.
- Plantings shall include  $\geq 50$  percent native species, and a 6- to 7-foot opaque fence, painted Charleston Green, shall be installed along the interior edge of the buffer within 50'-0" of adjacent residential lots with residential uses.
- Fencing materials shall be wood or high-quality composite consistent with the architectural character of the principal buildings.
- All plantings shall be irrigated and maintained in a healthy condition; replacement shall occur promptly when vegetation fails to survive.
- No parking, light poles, utilities, or paved areas shall encroach into required buffers or the 5-foot structural setback beyond the buffer edge.
- Final buffer planting mix, fence profile, and berm configuration shall be coordinated with the Hilton Head Plantation POA/ARB to ensure material and visual compatibility.

#### 5. Lighting

- All site lighting shall be full cut-off LED fixtures provided through Palmetto Electric's Lighting plan to meet or exceed the LMO standards.
- No uplighting, wall-wash, or façade floodlighting shall be permitted as "landscape lighting"
- Light poles shall not exceed 14 feet in height
- Exterior lighting shall be controlled by timers or photocells to minimize after-hours illumination.
- Lighting for pedestrian areas shall balance safety and dark-sky compliance.

#### 6. Exterior Restrictions and Ancillary Features

- No banners, flags, or temporary signage shall be permitted except as authorized by the Town.
- No exterior storage of materials, above-ground propane tanks, recreational vehicles, or equipment shall be visible from public rights-of-way.
- No rear-yard fire pits, spas, structures over 18" or outdoor kitchens shall be permitted on properties abutting Hilton Head Plantation within the 5'-0" setback. Patios are permitted on the lower level only in the setback not to encroach into the buffer.
- All service line utilities shall be located underground or screened from view.

#### 7. Waste and Service Areas

- Trash, recycling, and service areas shall be consolidated within a centralized, screened enclosure.
- Enclosure walls shall be constructed of materials consistent with the adjacent building
- Gates shall remain closed except during servicing.
- Collection hours shall comply with the Town's noise and sanitation ordinances.

## 8. Parking and Mobility

- Parking shall be provided at the following ratios: 1.4 spaces per one-bedroom unit, 1.7 spaces per two-bedroom unit, and 2.0 spaces per three-bedroom unit
- Bicycle racks shall be installed at the multifamily building entry, mail kiosk, and community pavilion.
- All parking areas shall be located outside of required buffers and setbacks.
- Pedestrian pathways shall connect parking areas to all buildings and amenities via sidewalks.

## 9. Noise and Conduct

- All residents and guests shall comply with Town noise ordinances and property-management rules.
- No amplified outdoor music shall occur on the rear of townhome buildings A-G along the Hilton Head Plantation Property line.
- Outdoor activities shall be limited to designated amenity areas and during permitted hours.
- Management shall maintain a system for responding promptly to noise complaints and shall document any violations.

## 10. Stormwater and Drainage

- Stormwater management shall comply with the 2023 Town of Hilton Head Island standards.
- Low Impact Development (LID) methods—including bio-retention, infiltration swales, and vegetated channels—shall be utilized wherever practical.
- All detention facilities shall be located a minimum of 20 feet from the certified wetland edge and shall include forebays for first-flush capture.
- Native wetland and upland vegetation shall be used to stabilize slopes and provide filtration.
- An approved Operations and Maintenance Plan shall guide routine inspection, sediment removal, and vegetation management.

## 11. Administration and Enforcement

- These standards shall be incorporated into approved construction documents and enforced through the Town’s development-review and inspection process.
- Final buffer and fence designs shall be reviewed with the Hilton Head Plantation ARB prior to implementation of the final buffer installation.
- Post-occupancy, CCDC shall perform annual inspections to confirm ongoing compliance with lighting, buffer maintenance, and community-conduct provisions, and shall report findings to the Town as part of its property-management responsibilities.

## Conclusion

These standards ensure that Nightingale Commons maintains the design integrity, environmental sensitivity, and neighborhood compatibility expected within the PD-2 Overlay and OurPlan 2020–2040.

By codifying architectural form, landscape character, and operational behavior, they provide a long-term framework for a well-managed, sustainable, and visually cohesive workforce-housing community.

## Appendix B: Tree Inventory

The site inventory identifies 435 live trees, primarily pines (219) and water oaks (103), based on a field survey measuring DBH in inches. Under Hilton Head Island's Land Management Ordinance, trees are classified as significant or specimen based on species-specific DBH thresholds Per LMO sec 16-6-104.F.1. Total classified trees: 9 (7 significant, 2 specimens). Dead trees (21) are excluded. Multi-stem trees use the largest stem for classification.

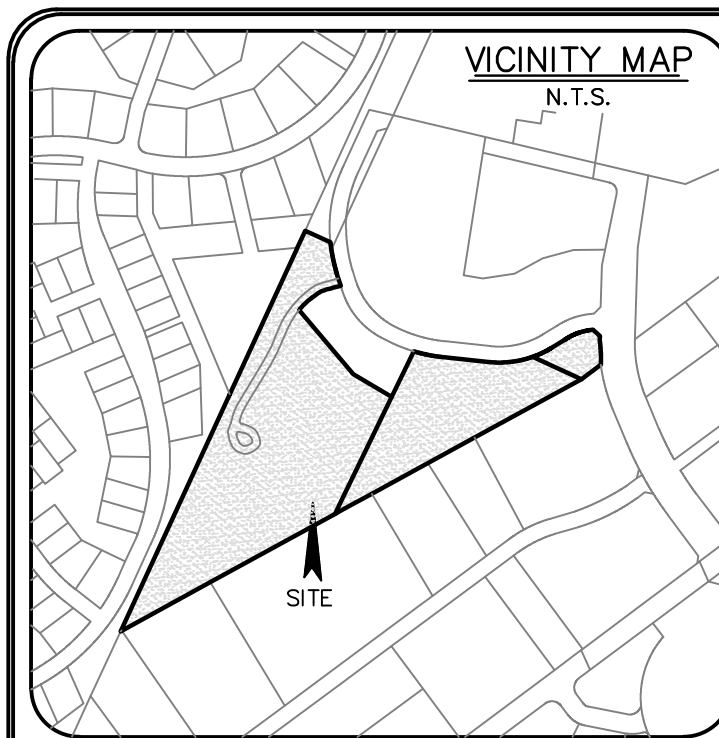
### Key findings:

- Pines: 3 significant (30–34 inches).
- Water oaks: 2 significant (26–28 inches), 1 specimen (30 inches).
- Live oaks: 2 significant (assumed 28 inches), 1 specimen (36 inches).
- Laurel oaks: 1 significant (30 inches).
- Other species (e.g., gums, palms, magnolias, crepe myrtles, red oaks, black gums, maples, tupelo): 14 live trees, none meeting thresholds.

<i>Species</i>	<i>Sig DBH (inches)</i>	<i>Spec DBH (inches)</i>	<i>Total Alive</i>	<i>Significant Trees</i>	<i>Specimen Trees</i>
<i>Pine (PN)</i>	28	35	219	3	0
<i>Water Oak (WO)</i>	24	30	103	2	1
<i>Live Oak (LO)</i>	28	35	31	2	1
<i>Laurel Oak (LA)</i>	28	35	15	1	0
<i>Gum (GUM)</i>	24	30	42	0	0
<i>Palm (PLM)</i>	N/A	N/A	10	0	0
<i>Magnolia (MAG)</i>	24	30	6	0	0
<i>Crape Myrtle (CM)</i>	N/A	N/A	3	0	0
<i>Red Oak (RO)</i>	20	25	2	0	0
<i>Black Gum (BG)</i>	24	30	2	0	0
<i>Maple (MAP)</i>	24	30	1	0	0
<i>Tupelo (TUP)</i>	N/A	N/A	1	0	0

## **Appendix C: Boundary Maps**

*Located on the subsequent 6 pages*



CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	23.59'	468.59'	11.80'	23.59'	S08°58'25"E	002°53'05"
C2	14.46'	468.59'	7.23'	14.45'	S15°15'48"E	001°46'03"
C3	97.29'	519.02'	48.79'	97.15'	S78°47'05"E	010°44'25"
C4	142.30'	317.44'	72.37'	141.11'	N83°00'22"E	025°41'05"
C5	66.78'	660.87'	33.42'	66.75'	N64°08'15"E	005°47'22"
C6	97.37'	223.86'	49.47'	96.60'	S70°33'55"W	024°55'13"
C7	77.78'	511.53'	38.97'	77.71'	S02°42'35"E	008°42'44"

LINE TABLE (WETLAND A)					
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L5	34.03'	N76°25'56"E	L25	26.40'	N51°53'33"E
L6	35.82'	N38°03'37"E	L26	28.42'	N31°54'41"E
L7	36.20'	N07°21'55"W	L27	11.94'	N31°30'34"E
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L21	34.70'	N33°43'21"E			
L22	31.14'	N48°20'21"E			
L23	35.79'	N07°16'34"E			
L24	22.62'	N46°15'00"E			

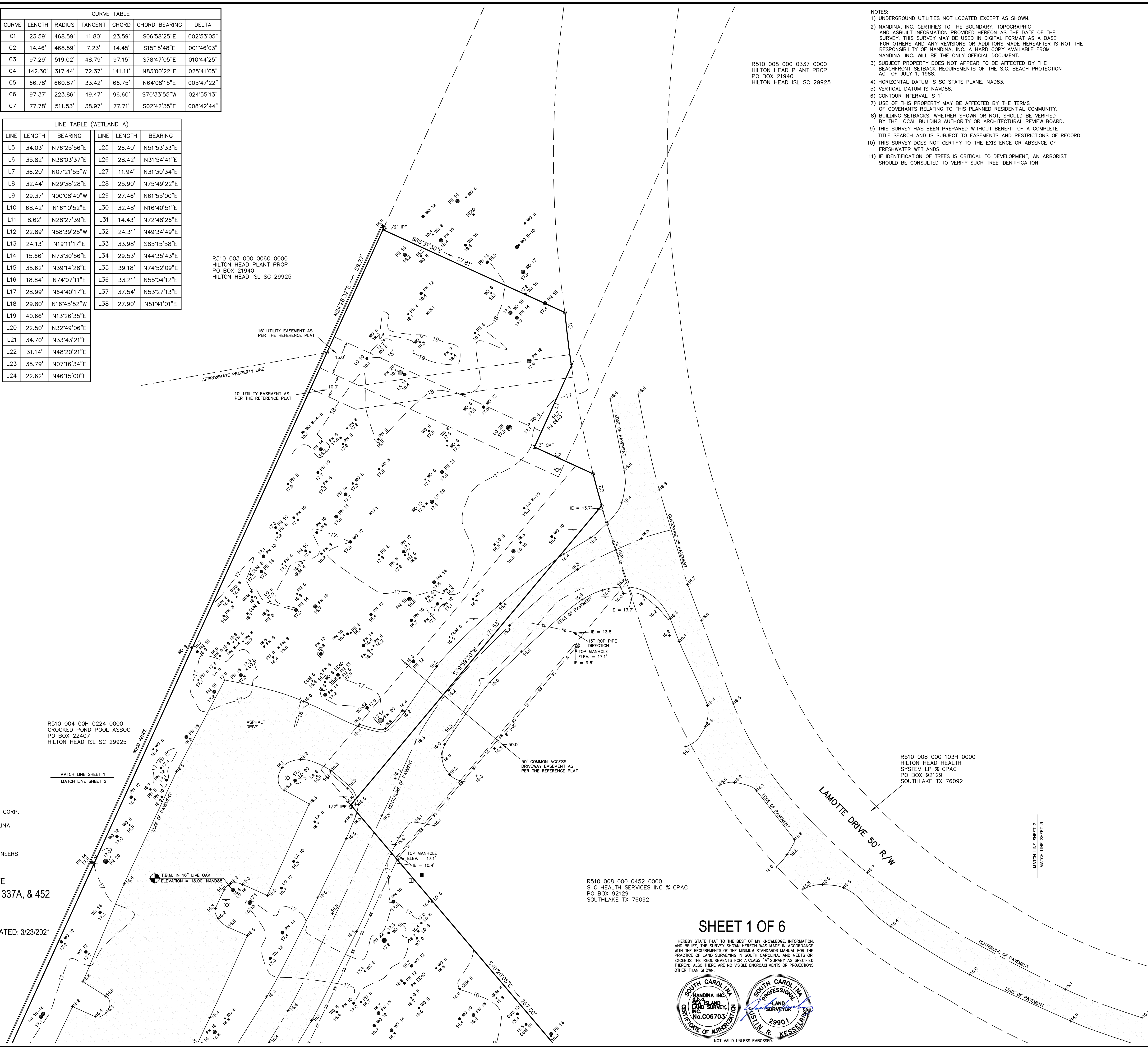
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L2	28.32'	S65°27'43"E
L3	26.74'	N46°22'20"W
L4	12.63'	N01°38'55"E

- LEGEND & SYMBOLS:**
- TREE SIZES ARE INCHES IN DIAMETER
  - 17.1+ SPOT ELEVATION
  - 13 CONTOUR
  - A33 WETLAND FLAG & ELEVATION
  - 3" CMF 3" CONCRETE MONUMENT FOUND
  - 1/2" IRF 1/2" IRON PIN FOUND
  - 1/2" IPS 1/2" IRON PIN SET
  - TBM TEMPORARY BENCH MARK
  - IE INVERT ELEVATION
  - FFE FINISHED FLOOR ELEVATION
  - PVC POLYVINYL CHLORIDE
  - RCP REINFORCED CONCRETE PIPE
  - LO LIVE OAK
  - LA LAUREL OAK
  - MAG MAGNOLIA
  - RO RED OAK
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  - MAP MAPLE
  - DEAD DEAD TREE NO ID
  - ELM ELM
  - TUP TUPELO
  - GUM GUM
  - BC BLACK GUM
  - CM CREPE MYRTLE
  - ET ELECTRIC TRANSFORMER
  - TS TELEPHONE SERVICE
  - TV TELEVISION SERVICE
  - VB VALVE BOX
  - ICV IRRIGATION CONTROL VALVE
  - SM SANITARY MANHOLE
  - FH FIRE HYDRANT
  - LN SIGN
  - LP LIGHT POLE
  - CB CATCH BASIN
  - WF WETLAND FLAG
  - AC AC UNIT

**REFERENCE PLAT**

1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP. AND PALMETTO HEADLANDS COMMERCIAL TRACTS, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
 DRAWN: 5/10/1989  
 RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89  
 ROD. BEAUFORT COUNTY, SC  
 BY: HUSSEY, GAY, BELL, & DEYOUNG CONSULTING ENGINEERS

PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft.  
 ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE  
 DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452  
 THIS PROPERTY LIES IN F.E.M.A. ZONE X  
 BASE FLOOD ELEVATION = N/A  
 COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021



R510 008 000 0337 0000  
 HILTON HEAD PLANT PROP  
 PO BOX 21940  
 HILTON HEAD ISL SC 29925

R510 003 000 0060 0000  
 HILTON HEAD PLANT PROP  
 PO BOX 21940  
 HILTON HEAD ISL SC 29925

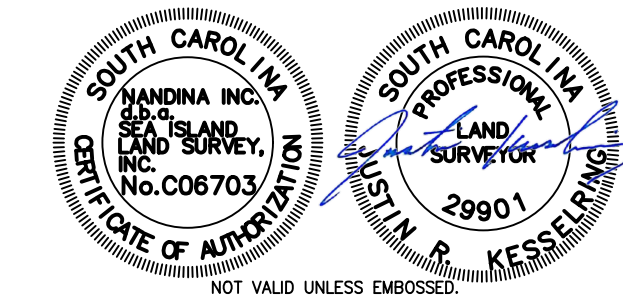
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 CROOKED POND POOL ASSOC  
 PO BOX 22407  
 HILTON HEAD ISL SC 29925

R510 008 000 103H 0000  
 HILTON HEAD HEALTH  
 SYSTEM LP % CPAC  
 PO BOX 92129  
 SOUTHLAKE TX 76092

R510 008 000 0452 0000  
 S C HEALTH SERVICES INC % CPAC  
 PO BOX 92129  
 SOUTHLAKE TX 76092

**SHEET 1 OF 6**

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



- NOTES:**
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - 2) NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
  - 4) HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
  - 5) VERTICAL DATUM IS NAVD88.
  - 6) CONTOUR INTERVAL IS 1'
  - 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - 8) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - 10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

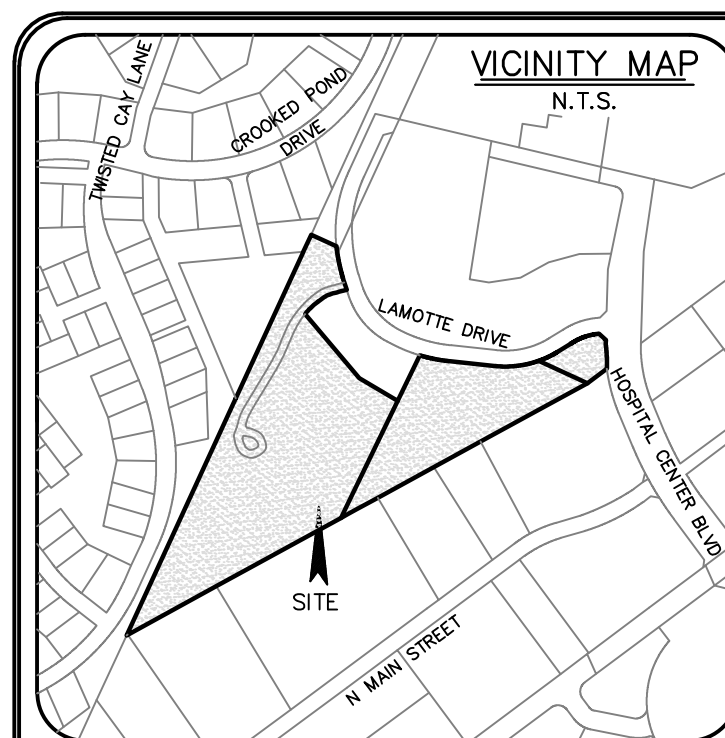
ASBLUIT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF:  
 PARCELS 337, 337A, & 452, HILTON HEAD HOSPITAL PROPERTY, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:  
 HILTON HEAD REGIONAL HEALTHCARE

DATE: 02/26/2025 SCALE: 1" = 20'



d.b.a. Sea Island Land Survey, Inc.  
 10 Oak Park Drive, Unit C1,  
 Hilton Head Island, SC 29926  
 Tel (843) 681-3248  
 email: admin@nandinainc.com  
 FILE No.: 23260.2  
 DWG No.: 4-23260.2  
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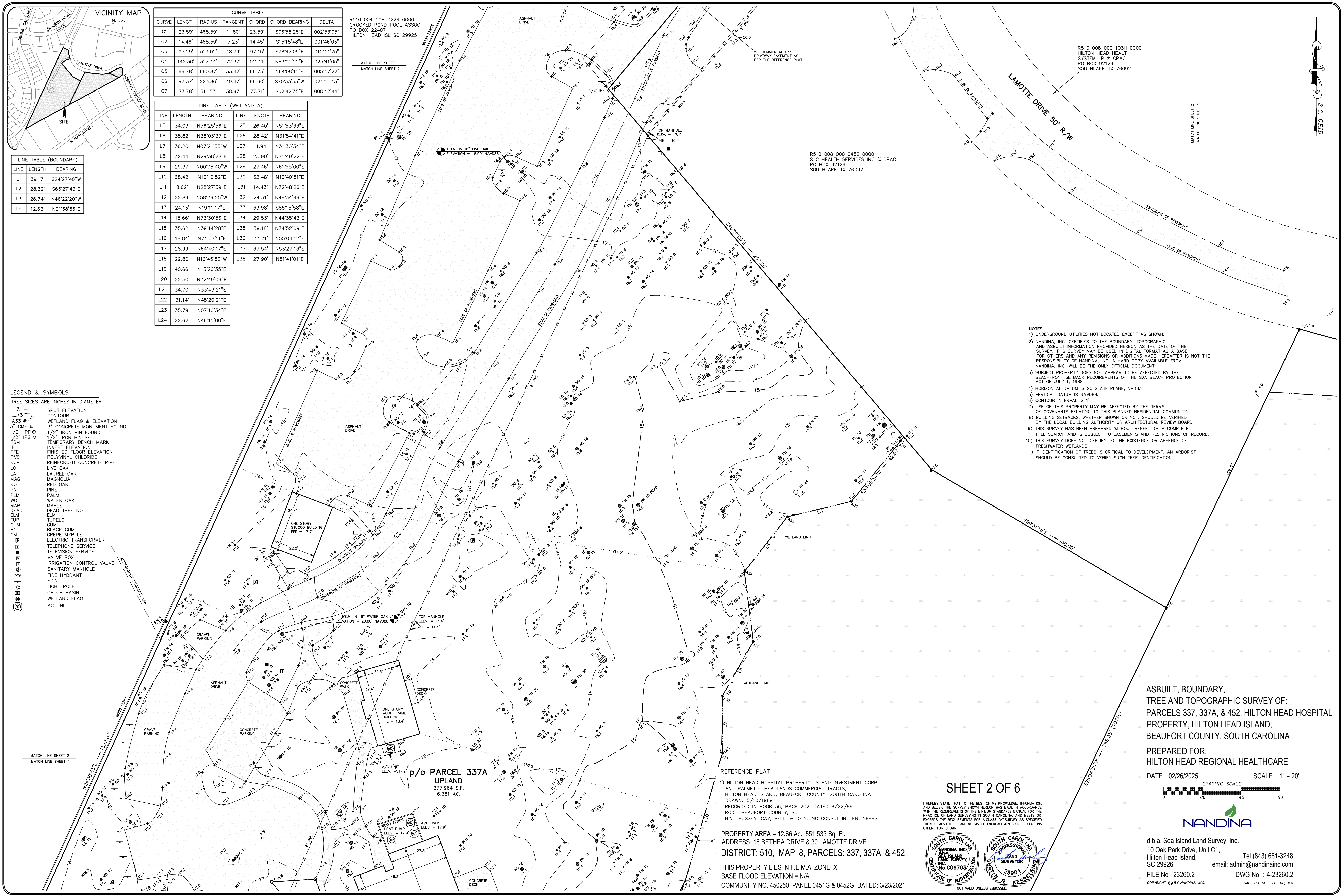


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  - VALVE BOX
  - IRRIGATION CONTROL VALVE
  - SANITARY MANHOLE
  - FIRE HYDRANT
  - SIGN
  - LIGHT POLE
  - CATCH BASIN
  - WETLAND FLAG
  - AC UNIT



R510 004 00H 0224 0000  
CROOKED POND POOL ASSOC  
PO BOX 22407  
HILTON HEAD ISL SC 29925

R510 008 000 0452 0000  
S C HEALTH SERVICES INC % CPAC  
PO BOX 92129  
SOUTHLAKE TX 76092

R510 008 000 103H 0000  
HILTON HEAD HEALTH  
SYSTEM LP % CPAC  
PO BOX 92129  
SOUTHLAKE TX 76092

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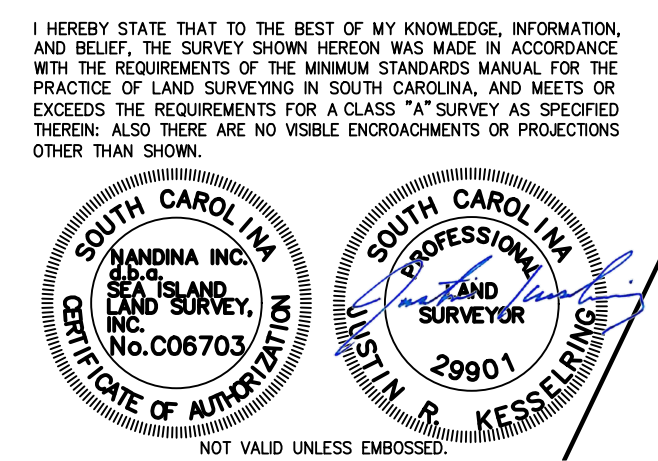
p/o PARCEL 337A  
UPLAND  
277,964 S.F.  
6.381 AC.

**REFERENCE PLAT**

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DRAWN: 5/10/1989  
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ROD., BEAUFORT COUNTY, SC  
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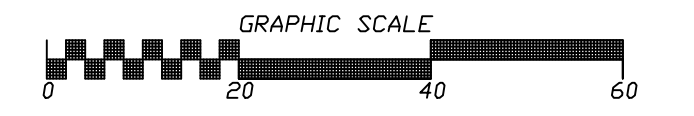
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DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452  
THIS PROPERTY LIES IN F.E.M.A. ZONE X  
BASE FLOOD ELEVATION = N/A  
COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021

**SHEET 2 OF 6**

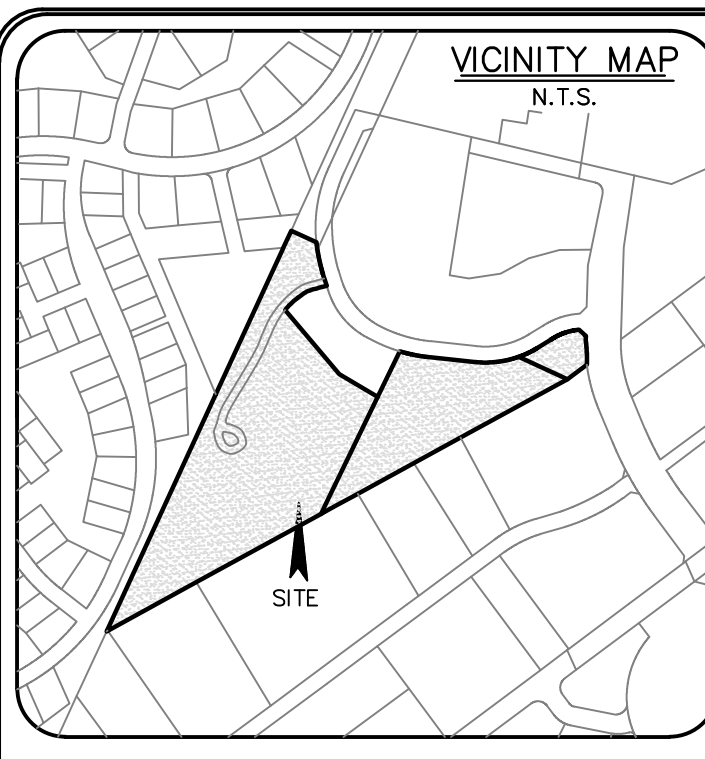


ASBLUT, BOUNDARY,  
TREE AND TOPOGRAPHIC SURVEY OF:  
PARCELS 337, 337A, & 452, HILTON HEAD HOSPITAL  
PROPERTY, HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:  
HILTON HEAD REGIONAL HEALTHCARE  
DATE: 02/26/2025 SCALE: 1" = 20'



d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926  
Tel (843) 681-3248  
email: admin@nandinainc.com  
FILE No.: 23260.2  
DWG No.: 4-23260.2  
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CURVE TABLE						
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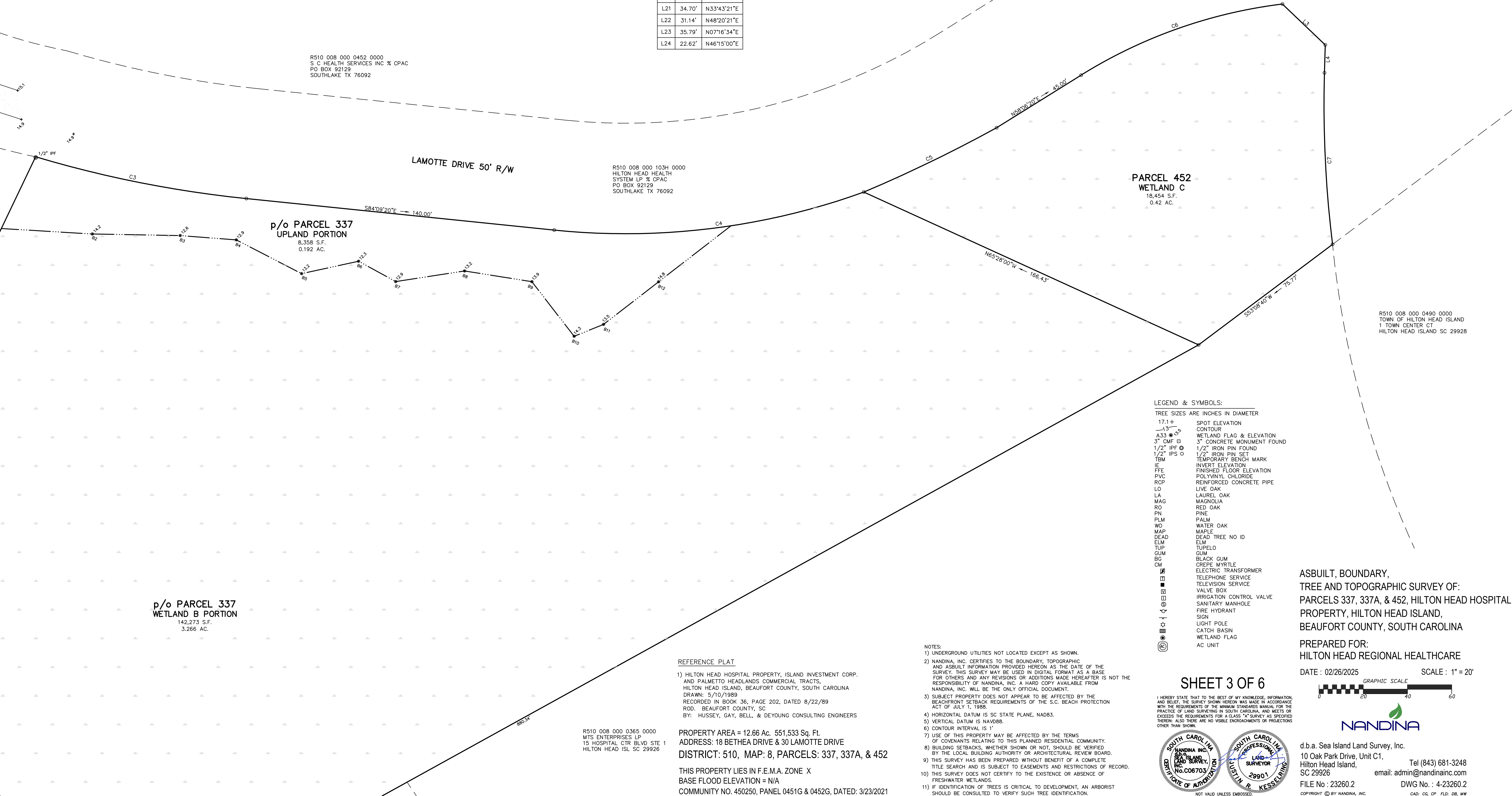
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R510 008 000 0452 0000  
S C HEALTH SERVICES INC % CPAC  
PO BOX 92129  
SOUTH LAKE TX 76092

R510 008 000 103H 0000  
HILTON HEAD HEALTH  
SYSTEM LP % CPAC  
PO BOX 92129  
SOUTH LAKE TX 76092

R510 008 000 103H 0000  
HILTON HEAD HEALTH  
SYSTEM LP % CPAC  
PO BOX 92129  
SOUTH LAKE TX 76092

R510 008 000 0490 0000  
TOWN OF HILTON HEAD ISLAND  
1 TOWN CENTER CT  
HILTON HEAD ISLAND SC 29928



p/o PARCEL 337  
WETLAND B PORTION  
142,273 S.F.  
3.266 AC.

p/o PARCEL 337  
UPLAND PORTION  
8,358 S.F.  
0.192 AC.

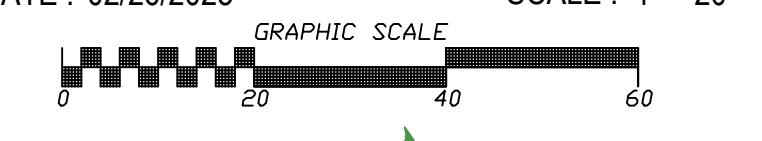
PARCEL 452  
WETLAND C  
18,454 S.F.  
0.42 AC.

- LEGEND & SYMBOLS:**
- 17.1+ SPOT ELEVATION
  - 1.3- CONTOUR
  - A33 WETLAND FLAG & ELEVATION
  - 3" CONCRETE MONUMENT FOUND
  - 1/2" IRON PIN FOUND
  - 1/2" IRON PIN SET
  - TEMPORARY BENCH MARK
  - INVERT ELEVATION
  - FINISHED FLOOR ELEVATION
  - POLYVINYL CHLORIDE
  - REINFORCED CONCRETE PIPE
  - LIVE OAK
  - LAUREL OAK
  - MAGNOLIA
  - RED OAK
  - PINE
  - PALM
  - WATER OAK
  - MAPLE
  - DEAD TREE NO ID
  - ELM
  - TUPELO
  - GUM
  - BLACK GUM
  - CREPPE MYRTLE
  - ELECTRIC TRANSFORMER
  - TELEPHONE SERVICE
  - TELEVISION SERVICE
  - VALVE BOX
  - IRRIGATION CONTROL VALVE
  - SANITARY MANHOLE
  - FIRE HYDRANT
  - SIGN
  - LIGHT POLE
  - CATCH BASIN
  - WETLAND FLAG
  - AC UNIT

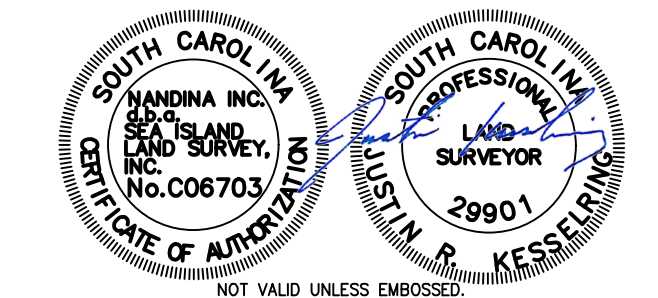
ASBUILT, BOUNDARY,  
TREE AND TOPOGRAPHIC SURVEY OF:  
PARCELS 337, 337A, & 452, HILTON HEAD HOSPITAL  
PROPERTY, HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:  
HILTON HEAD REGIONAL HEALTHCARE  
DATE: 02/26/2025 SCALE: 1" = 20'

SHEET 3 OF 6



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION,  
AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE  
WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE  
PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR  
EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED  
THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS  
OTHER THAN SHOWN.



**REFERENCE PLAT**

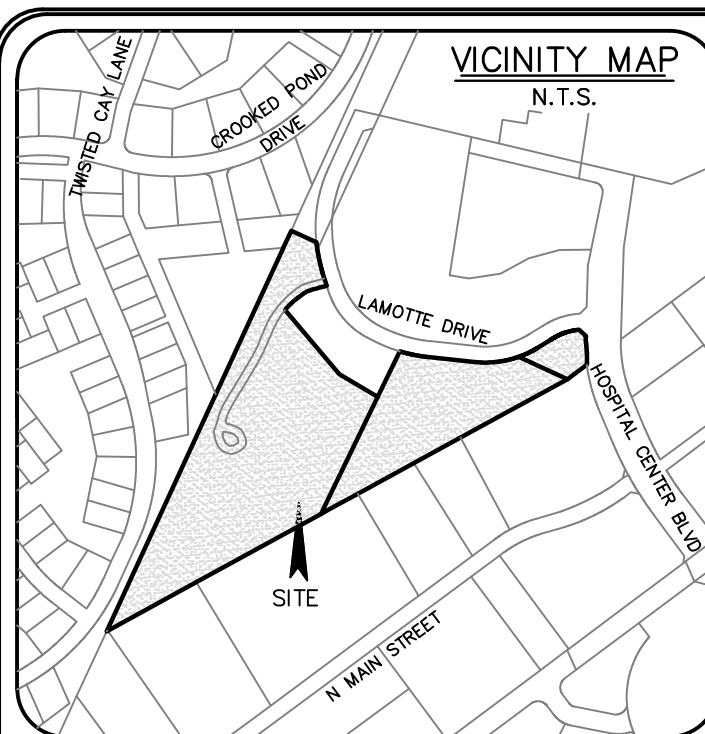
1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP.  
AND PALMETTO HEADLANDS COMMERCIAL TRACTS,  
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN: 5/10/1989  
RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89  
ROD. BEAUFORT COUNTY, SC  
BY: HUSSEY, GAY, BELL, & DEVOUNG CONSULTING ENGINEERS

PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft.  
ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE  
DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452  
THIS PROPERTY LIES IN F.E.M.A. ZONE X  
BASE FLOOD ELEVATION = N/A  
COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021

- NOTES:**
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
  - HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
  - VERTICAL DATUM IS NAVD83.
  - CONTOUR INTERVAL IS 1'
  - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

R510 008 000 0365 0000  
MTS ENTERPRISES LP  
15 HOSPITAL CTR BLVD STE 1  
HILTON HEAD ISL SC 29926

d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926  
Tel (843) 681-3248  
email: admin@nandinainc.com  
FILE No.: 23260.2  
DWG No.: 4-23260.2  
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LEGEND & SYMBOLS:

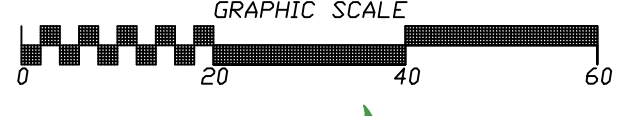
- Tree sizes are inches in diameter. Symbols for spot elevation, contour, wetland flag, concrete monument, iron pin, bench mark, invert elevation, finished floor, polyvinyl chloride, reinforced concrete pipe, live oak, laurel oak, magnolia, red oak, pine, palm, water oak, maple, dead tree, tupelo, gum, black gum, crepe myrtle, electric transformer, telephone service, television service, valve box, irrigation control valve, sanitary manhole, fire hydrant, sign, light pole, catch basin, wetland flag, AC unit.

- NOTES: 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN. 2) NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY... 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

ASBUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF: PARCELS 337, 337A, & 452, HILTON HEAD HOSPITAL PROPERTY, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR: HILTON HEAD REGIONAL HEALTHCARE

DATE: 02/26/2025 SCALE: 1" = 20'



d.b.a. Sea Island Land Survey, Inc. 10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926. Tel: (843) 681-3248. Email: admin@nandinainc.com. File No: 23260.2 DWG No.: 4-23260.2

R510 003 000 0060 0000 HILTON HEAD PLANT PROP PO BOX 21940 HILTON HEAD ISL SC 29925

REFERENCE PLAT: 1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP. AND PALMETTO HEADLANDS COMMERCIAL TRACTS, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA DRAWN: 5/10/1989 RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89

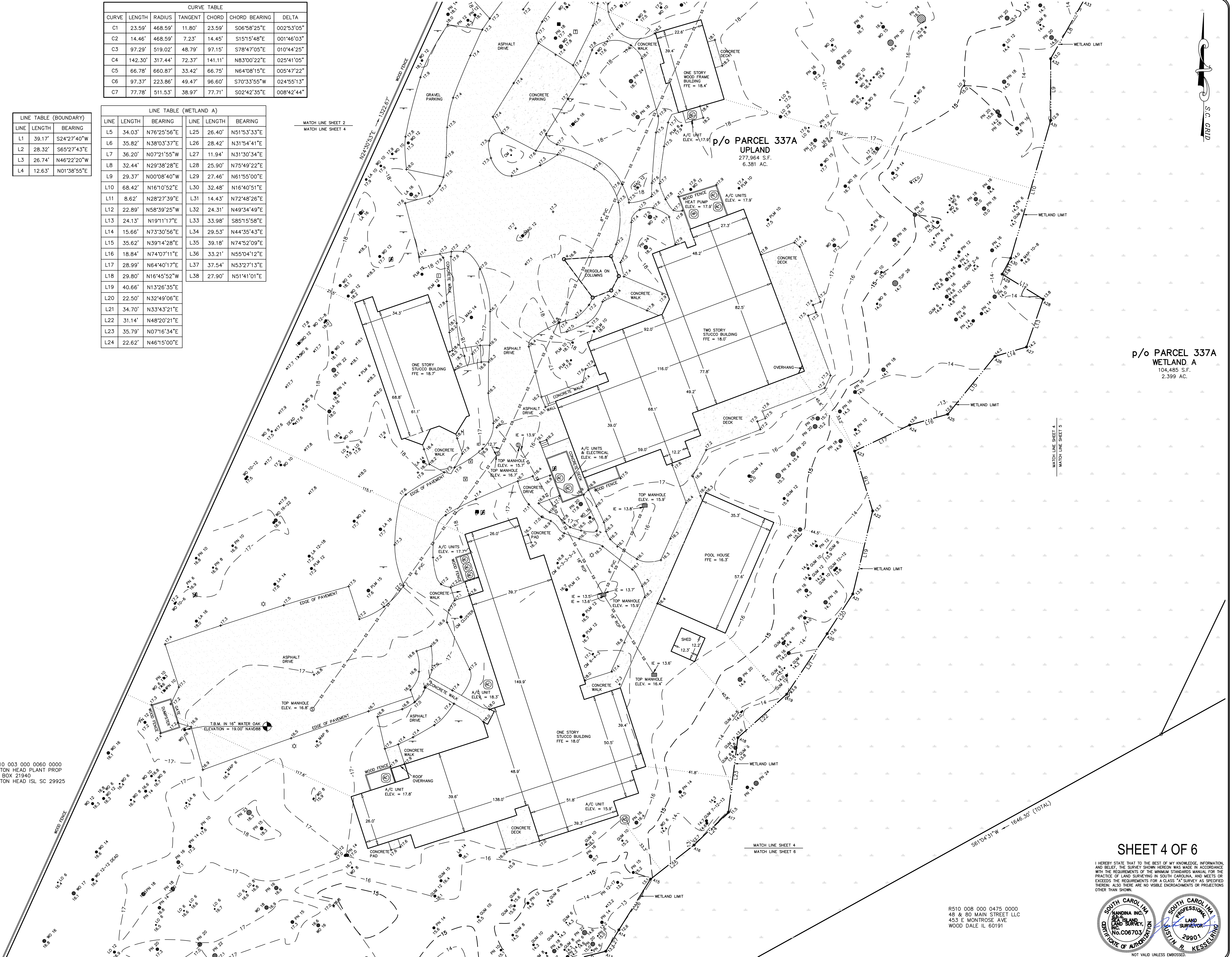
PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft. ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452

THIS PROPERTY LIES IN F.E.M.A. ZONE X BASE FLOOD ELEVATION = N/A COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021

CURVE TABLE with columns: CURVE, LENGTH, RADIUS, TANGENT, CHORD, CHORD BEARING, DELTA. Rows C1 through C7.

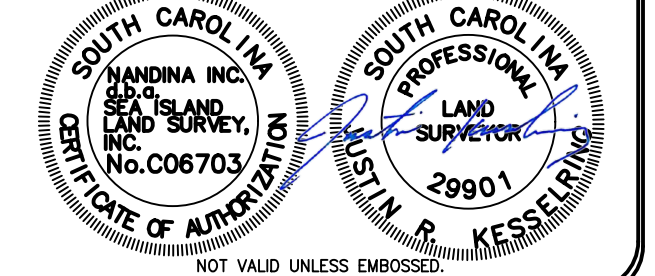
LINE TABLE (BOUNDARY) with columns: LINE, LENGTH, BEARING. Rows L1 through L4.

LINE TABLE (WETLAND A) with columns: LINE, LENGTH, BEARING. Rows L5 through L24.

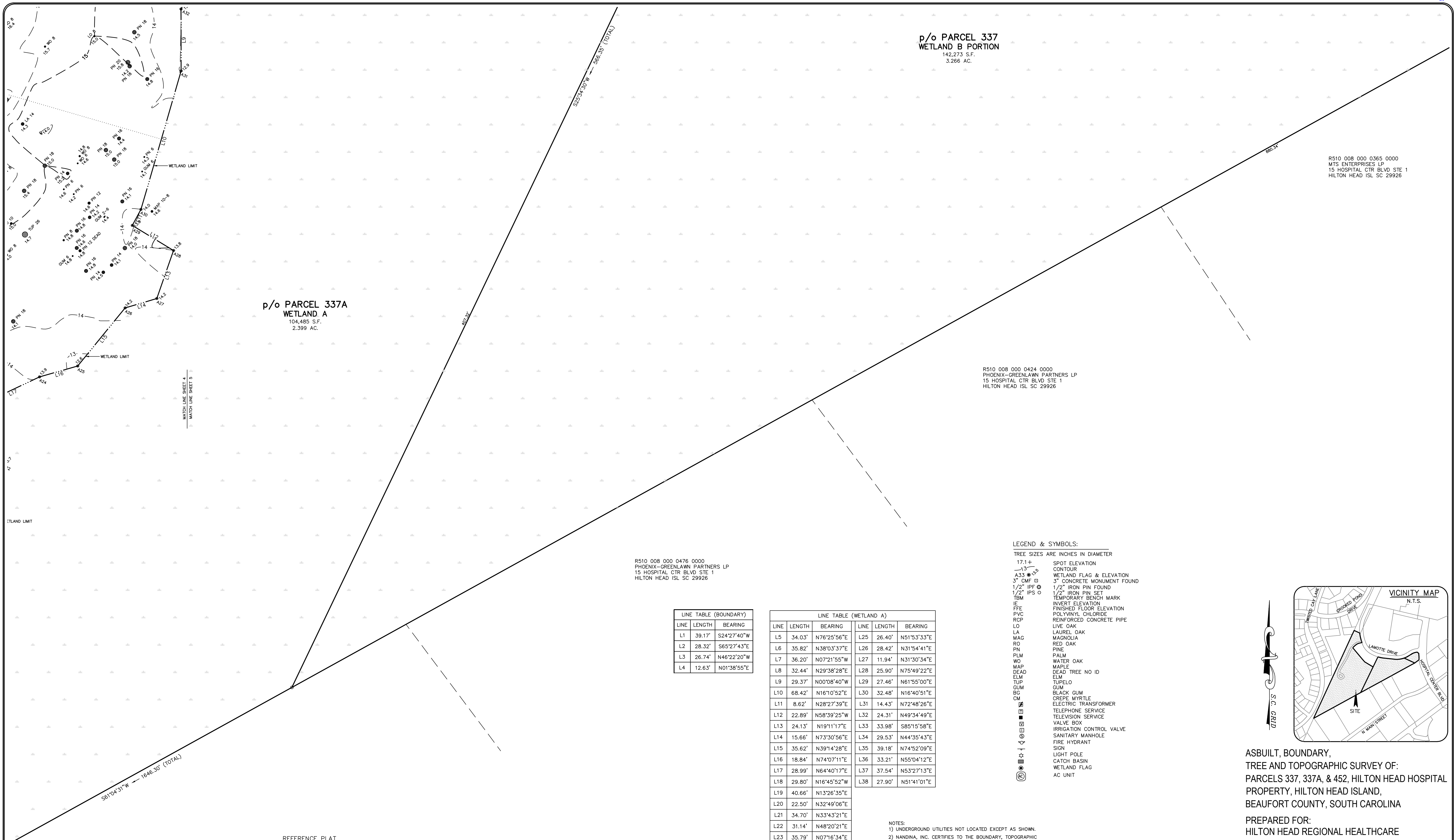


SHEET 4 OF 6

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA...



R510 008 000 0475 0000 48 & 80 MAIN STREET LLC 453 E MONTROSE AVE WOOD DALE IL 60191



p/o PARCEL 337  
WETLAND B PORTION  
142,273 S.F.  
3.266 AC.

p/o PARCEL 337A  
WETLAND A  
104,485 S.F.  
2.399 AC.

R510 008 000 0365 0000  
MTS ENTERPRISES LP  
15 HOSPITAL CTR BLVD STE 1  
HILTON HEAD ISL SC 29926

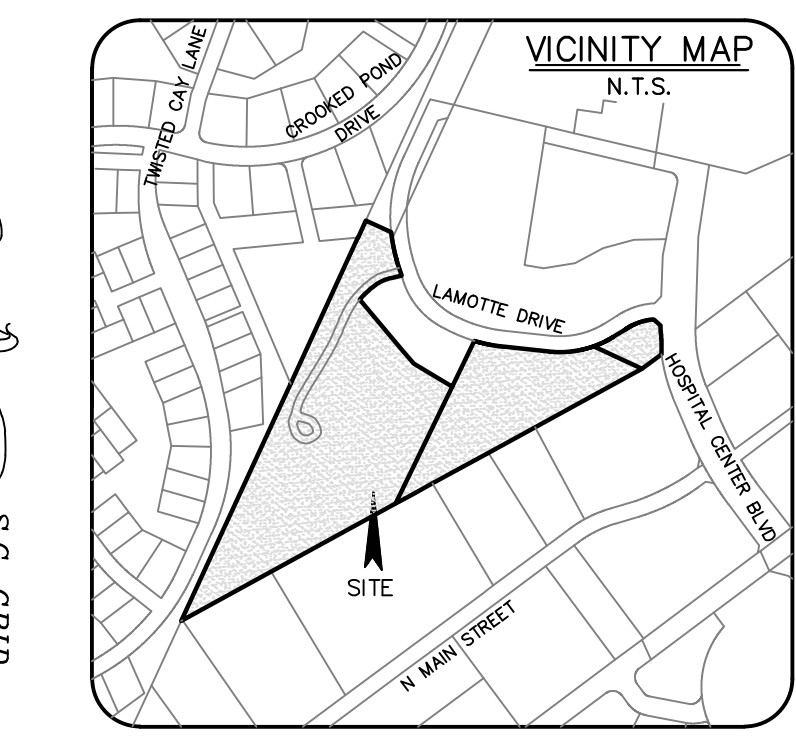
R510 008 000 0424 0000  
PHOENIX-GREENLAWN PARTNERS LP  
15 HOSPITAL CTR BLVD STE 1  
HILTON HEAD ISL SC 29926

R510 008 000 0476 0000  
PHOENIX-GREENLAWN PARTNERS LP  
15 HOSPITAL CTR BLVD STE 1  
HILTON HEAD ISL SC 29926

LINE	LENGTH	BEARING
L1	39.17'	S24°27'40"W
L2	28.32'	S65°27'43"E
L3	26.74'	N46°22'20"W
L4	12.63'	N01°38'55"E

LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L5	34.03'	N76°25'56"E	L25	26.40'	N51°53'33"E
L6	35.82'	N38°03'37"E	L26	28.42'	N31°54'41"E
L7	36.20'	N07°21'55"W	L27	11.94'	N31°30'34"E
L8	32.44'	N29°38'28"E	L28	25.90'	N75°49'22"E
L9	29.37'	N00°08'40"W	L29	27.46'	N61°55'00"E
L10	68.42'	N16°10'52"E	L30	32.48'	N16°40'51"E
L11	8.62'	N28°27'39"E	L31	14.43'	N72°48'26"E
L12	22.89'	N58°39'25"W	L32	24.31'	N49°34'49"E
L13	24.13'	N19°11'17"E	L33	33.98'	S85°15'58"E
L14	15.66'	N73°30'56"E	L34	29.53'	N44°35'43"E
L15	35.62'	N39°14'28"E	L35	39.18'	N74°52'09"E
L16	18.84'	N74°07'11"E	L36	33.21'	N55°04'12"E
L17	28.99'	N64°40'17"E	L37	37.54'	N53°27'13"E
L18	29.80'	N16°45'52"W	L38	27.90'	N51°41'01"E
L19	40.66'	N13°26'35"E			
L20	22.50'	N32°49'06"E			
L21	34.70'	N33°43'21"E			
L22	31.14'	N48°20'21"E			
L23	35.79'	N07°16'34"E			
L24	22.62'	N46°15'00"E			

- LEGEND & SYMBOLS:**
- TREE SIZES ARE INCHES IN DIAMETER
  - 17.1+ SPOT ELEVATION
  - 13- CONTOUR
  - A33 WETLAND FLAG & ELEVATION
  - 3" GMP 3" CONCRETE MONUMENT FOUND
  - 1/2" IPF 1/2" IRON PIN FOUND
  - 1/2" IPS 1/2" IRON PIN SET
  - TBM TEMPORARY BENCH MARK
  - FFE FINISHED FLOOR ELEVATION
  - PVC POLYVINYL CHLORIDE
  - RCP REINFORCED CONCRETE PIPE
  - LO LIVE OAK
  - LA LAUREL OAK
  - MAG MAGNOLIA
  - RO RED OAK
  - PN PINE
  - PLM PALM
  - WO WATER OAK
  - MAP MAPLE
  - DEAD DEAD TREE NO ID
  - ELM ELM
  - TUP TUPELO
  - GUM GUM
  - BG BLACK GUM
  - CM CREPE MYRTLE
  - EF ELECTRIC TRANSFORMER
  - TEL TELEPHONE SERVICE
  - TVS TELEVISION SERVICE
  - VB VALVE BOX
  - ICV IRRIGATION CONTROL VALVE
  - SM SANITARY MANHOLE
  - FH FIRE HYDRANT
  - SG SIGN
  - LP LIGHT POLE
  - CB CATCH BASIN
  - WF WETLAND FLAG
  - AC AC UNIT

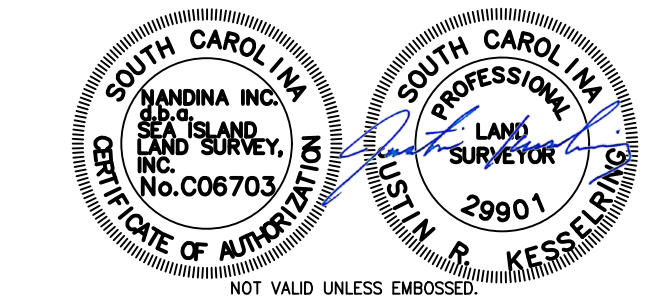


ASBUILT, BOUNDARY,  
TREE AND TOPOGRAPHIC SURVEY OF:  
PARCELS 337, 337A, & 452, HILTON HEAD HOSPITAL  
PROPERTY, HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR:  
HILTON HEAD REGIONAL HEALTHCARE

DATE: 02/26/2025 SCALE: 1" = 20'

SHEET 5 OF 6

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION,  
AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE  
WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE  
PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR  
EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED  
THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS  
OTHER THAN SHOWN.



- NOTES:**
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  - SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
  - HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
  - VERTICAL DATUM IS NAVD88.
  - CONTOUR INTERVAL IS 1'
  - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

**REFERENCE PLAT:**

1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP. AND PALMETTO HEADLANDS COMMERCIAL TRACTS, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN: 5/10/1989  
RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89  
ROD. BEAUFORT COUNTY, SC  
BY: HUSSEY, GAY, BELL, & DEYOUNG CONSULTING ENGINEERS

PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft.  
ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE  
DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452  
THIS PROPERTY LIES IN F.E.M.A. ZONE X  
BASE FLOOD ELEVATION = N/A  
COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021

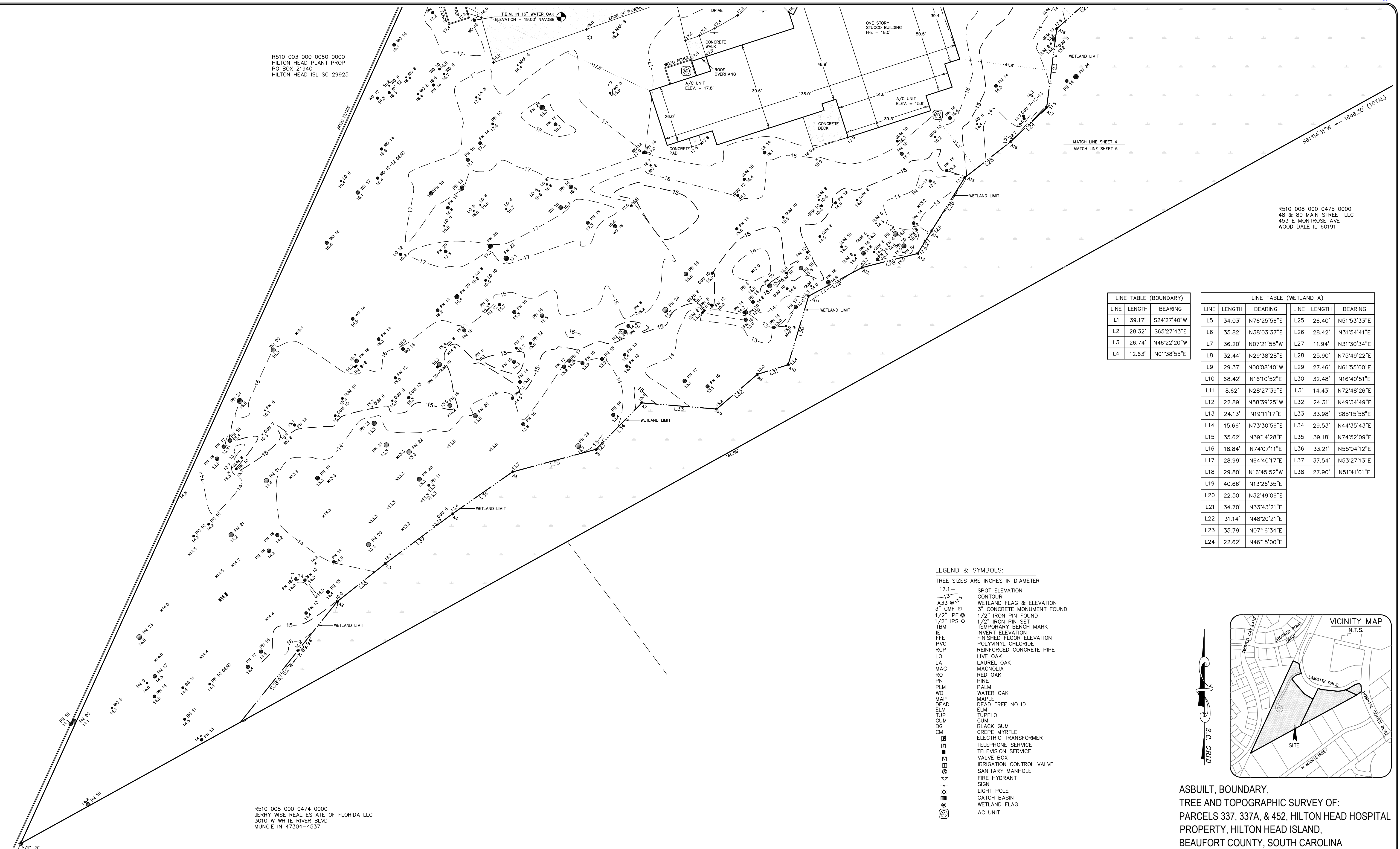
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	23.59'	468.59'	11.80'	23.59'	S06°58'25"E	002°53'05"
C2	14.46'	468.59'	7.23'	14.45'	S15°15'48"E	001°46'03"
C3	97.29'	519.02'	48.79'	97.15'	S78°47'05"E	010°44'25"
C4	142.30'	317.44'	72.37'	141.11'	N83°00'22"E	025°41'05"
C5	66.78'	660.87'	33.42'	66.75'	N64°08'15"E	005°47'22"
C6	97.37'	223.86'	49.47'	96.60'	S70°33'55"W	024°55'13"
C7	77.78'	511.53'	38.97'	77.71'	S02°42'35"E	008°42'44"

R510 008 000 0475 0000  
48 & 80 MAIN STREET LLC  
453 E MONTROSE AVE  
WOOD DALE IL 60191

d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926  
Tel: (843) 681-3248  
email: admin@nandinainc.com  
FILE No.: 23260.2 DWG No.: 4-23260.2  
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R510 003 000 0060 0000  
HILTON HEAD PLANT PROP  
PO BOX 21940  
HILTON HEAD ISL SC 29925

R510 008 000 0475 0000  
48 & 80 MAIN STREET LLC  
453 E MONTROSE AVE  
WOOD DALE IL 60191

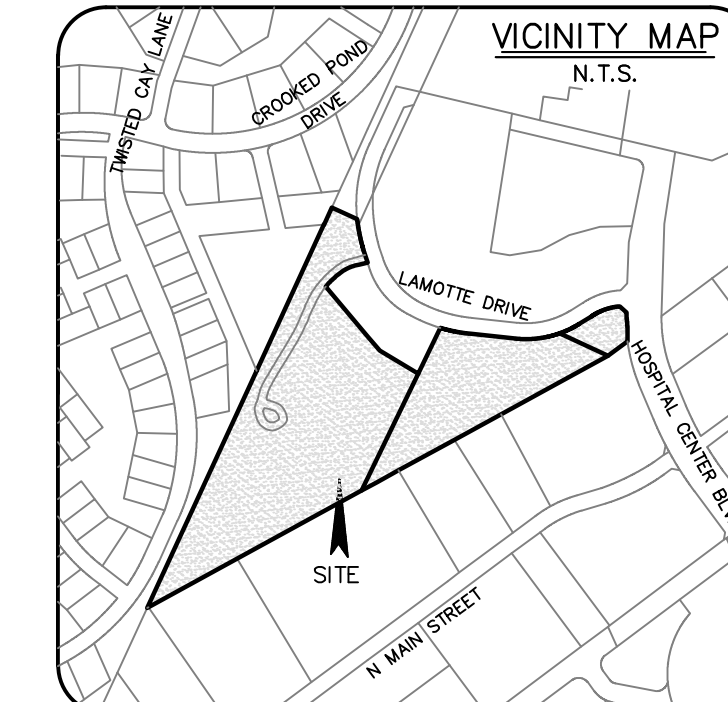


LINE TABLE (BOUNDARY)		
LINE	LENGTH	BEARING
L1	39.17'	S24°27'40"W
L2	28.32'	S65°27'43"E
L3	26.74'	N46°22'20"W
L4	12.63'	N01°38'55"E

LINE TABLE (WETLAND A)					
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L5	34.03'	N76°25'56"E	L25	26.40'	N51°53'33"E
L6	35.82'	N38°03'37"E	L26	28.42'	N31°54'41"E
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L18	29.80'	N16°45'52"W	L38	27.90'	N51°41'01"E
L19	40.66'	N13°26'35"E			
L20	22.50'	N32°49'06"E			
L21	34.70'	N33°43'21"E			
L22	31.14'	N48°20'21"E			
L23	35.79'	N07°16'34"E			
L24	22.62'	N46°15'00"E			

LEGEND & SYMBOLS:

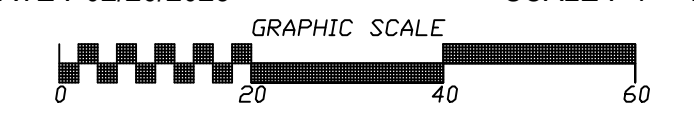
- TREE SIZES ARE INCHES IN DIAMETER
- 17.1+ SPOT ELEVATION
- 1.5 CONTOUR
- A33 WETLAND FLAG & ELEVATION
- 3" CONCRETE MONUMENT FOUND
- 1/2" IPF 1/2" IRON PIN FOUND
- 1/2" IPS 1/2" IRON PIN SET
- TBM TEMPORARY BENCH MARK
- INVERT ELEVATION
- FFE FINISHED FLOOR ELEVATION
- PVC POLYVINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- LO LIVE OAK
- LA LAUREL OAK
- MAG MAGNOLIA
- RO RED OAK
- PN PINE
- PLM PALM
- WO WATER OAK
- MAP MAPLE
- DEAD DEAD TREE NO ID
- ELM ELM
- TUP TUPELO
- GUM GUM
- BG BLACK GUM
- CM CREPE MYRTLE
- TRANSFORMER ELECTRIC TRANSFORMER
- TELEPHONE SERVICE TELEPHONE SERVICE
- TELEVISION SERVICE TELEVISION SERVICE
- VALVE VALVE BOX
- IRRIGATION CONTROL VALVE IRRIGATION CONTROL VALVE
- SANITARY MANHOLE SANITARY MANHOLE
- FIRE HYDRANT FIRE HYDRANT
- SIGN SIGN
- LIGHT POLE LIGHT POLE
- CATCH BASIN CATCH BASIN
- WETLAND FLAG WETLAND FLAG
- AC UNIT AC UNIT



ASBUILT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF: PARCELS 337, 337A, & 452, HILTON HEAD HOSPITAL PROPERTY, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR: HILTON HEAD REGIONAL HEALTHCARE

DATE: 02/26/2025 SCALE: 1" = 20'



d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926  
Tel: (843) 681-3248  
email: admin@nandinainc.com  
FILE No: 23260.2 DWG No.: 4-23260.2  
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REFERENCE PLAT  
1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP. AND PALMETTO HEADLANDS COMMERCIAL TRACTS, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN: 5/10/1989  
RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89  
ROD: BEAUFORT COUNTY, SC  
BY: HUSSEY, GAY, BELL, & DEYOUNG CONSULTING ENGINEERS

PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft.  
ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE  
DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452  
THIS PROPERTY LIES IN F.E.M.A. ZONE X  
BASE FLOOD ELEVATION = N/A  
COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	23.59'	468.59'	11.80'	23.59'	S06°58'25"E	002°53'05"
C2	14.46'	468.59'	7.23'	14.45'	S15°15'48"E	001°46'03"
C3	97.29'	519.02'	48.79'	97.15'	S78°47'05"E	010°44'25"
C4	142.30'	317.44'	72.37'	141.11'	N83°00'22"E	025°41'05"
C5	66.78'	660.87'	33.42'	66.75'	N64°08'15"E	005°47'22"
C6	97.37'	223.86'	49.47'	96.60'	S70°33'55"W	024°55'13"
C7	77.78'	511.53'	38.97'	77.71'	S02°42'35"E	008°42'44"

- NOTES:
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
  - HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
  - VERTICAL DATUM IS NAVD88.
  - CONTOUR INTERVAL IS 1'
  - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

SHEET 6 OF 6

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

NOT VALID UNLESS EMBOSSED.

R510 008 000 0473 0000  
FOILES WILLIAM M LISA J JTROS  
PO DRAWER 23797  
HILTON HEAD ISLAND SC 29925

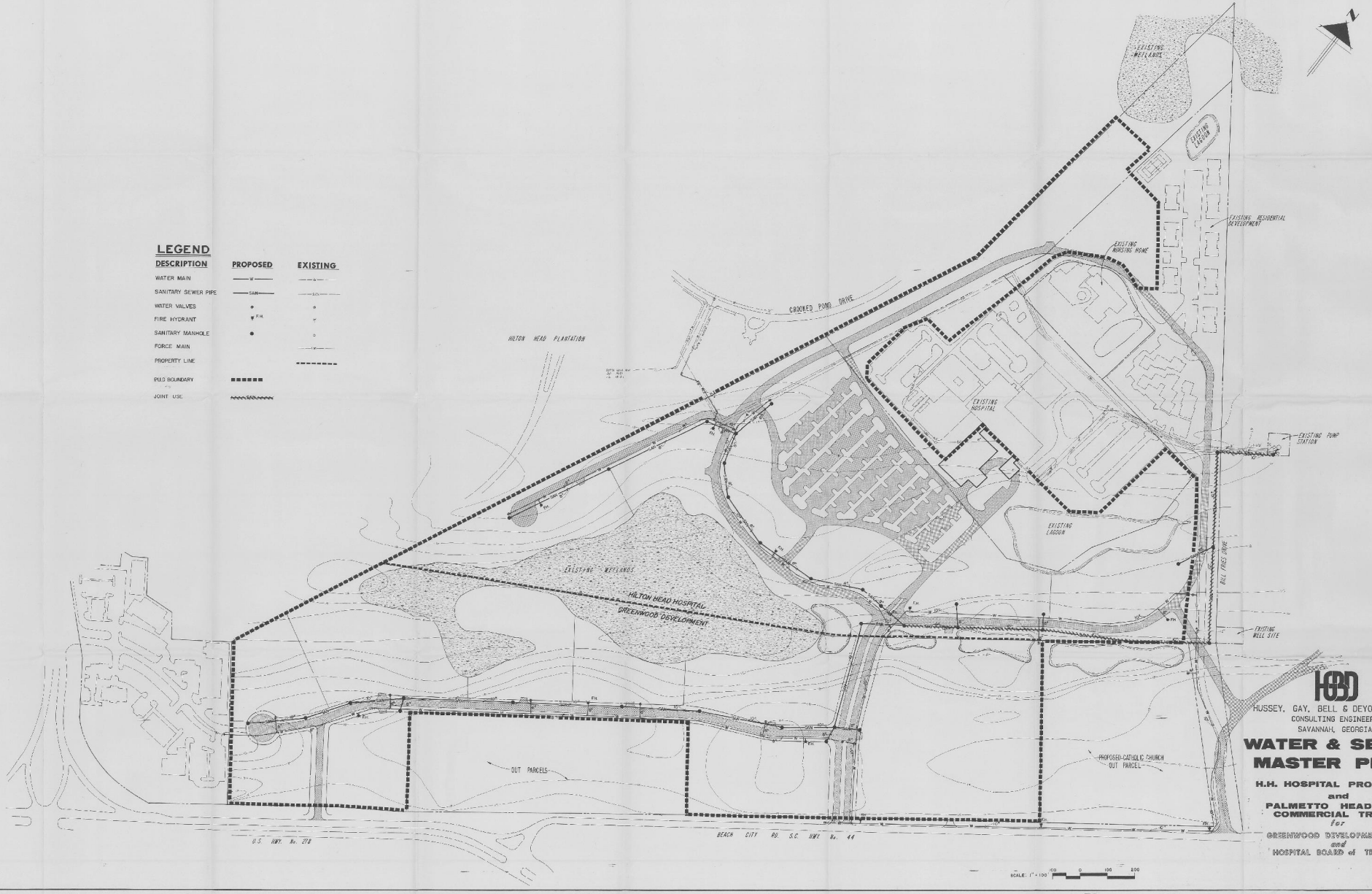
## **Appendix D: Associated Maps and Surveys**

1. Drainage Master Plan
2. Water and Sewer Master Plan
3. Current Schematic Master Plan for Palmetto Highlands / Hilton Head Hospital PD-2
4. Open Space Master Plan
5. Driveway Encroachment Plan
6. Wetland Survey – Newkirk April 2025



**LEGEND**

DESCRIPTION	PROPOSED	EXISTING
WATER MAIN	—W—	—W—
SANITARY SEWER PIPE	—SS—	—SS—
WATER VALVES	•	•
FIRE HYDRANT	• F.H.	•
SANITARY MANHOLE	•	•
FORCE MAIN	—FM—	—FM—
PROPERTY LINE	—	—
PUD BOUNDARY	—	—
JOINT USE	—	—



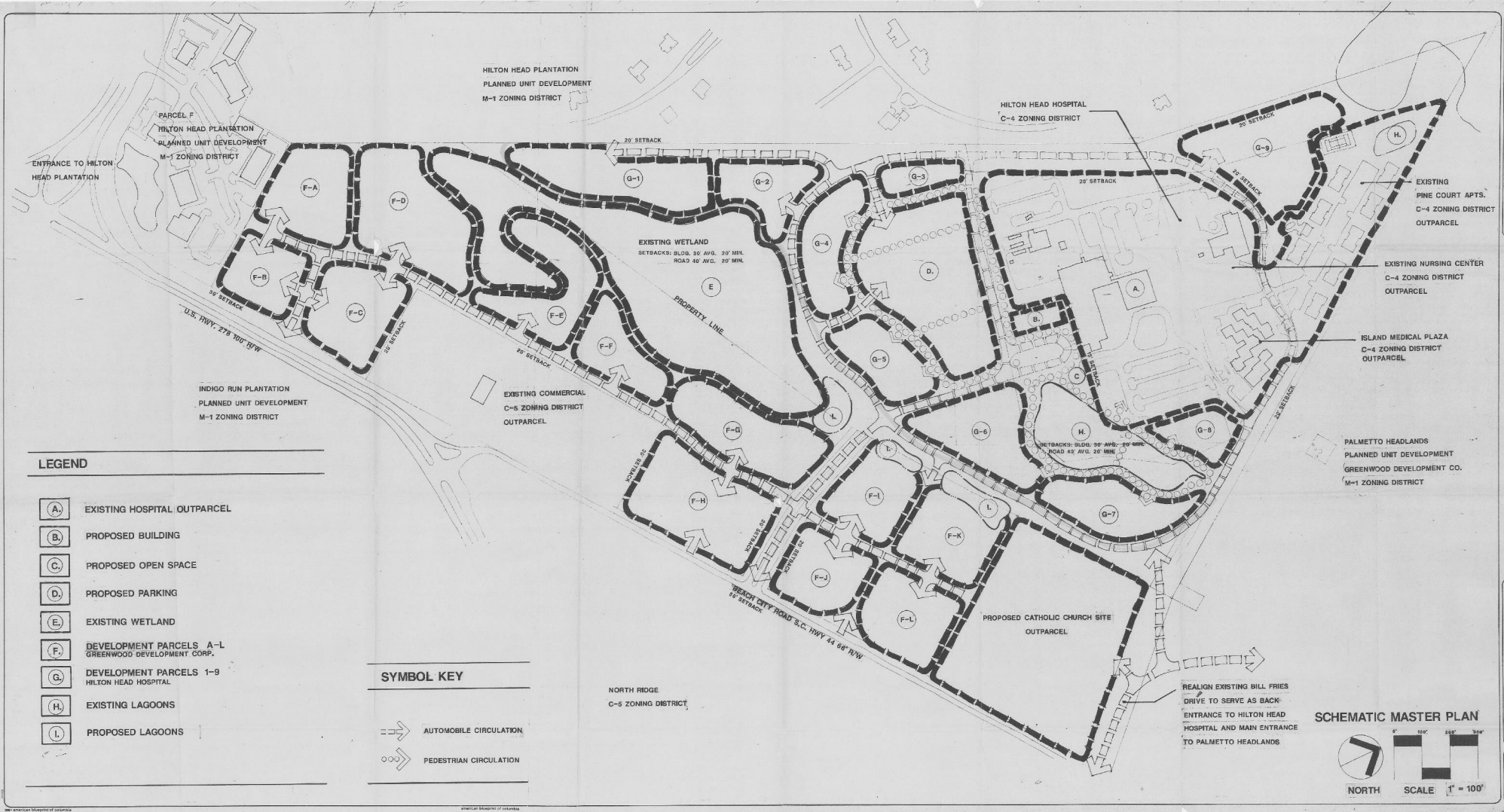
**HSD**  
 HUSSEY, GAY, BELL & DEYOUNG, INC.  
 CONSULTING ENGINEERS  
 SAVANNAH, GEORGIA

**WATER & SEWER  
 MASTER PLAN**

H.H. HOSPITAL PROPERTIES  
 and  
 PALMETTO HEADLANDS  
 COMMERCIAL TRACTS  
 for  
 GREENWOOD DEVELOPMENT CORP.  
 HOSPITAL BOARD of TRUSTEES

SCALE: 1" = 100'

NOV. 1988



**HILTON HEAD HOSPITAL MEDICAL COMPLEX SCHEMATIC MASTER PLAN**  
HILTON HEAD ISLAND, S.C.

Edward Pinckney/Associates, Ltd.  
Landscape Architects and Planners  
1000 N. Orange Blossom Trail, Suite 200  
Orlando, Florida 32809  
407.852.2222

Sheet Title: SCHEMATIC MASTER PLAN  
Job Number: 00457  
Date: 08/20/05  
Drawn: Approved: Revisions:

Sheet







April 21, 2025

Mr. Brian Quinn  
The Twelve Oaks Group  
brian@adobelc.com  
843.422.1661

**Re: 18 & 30 Bethea Drive – Wetland Findings Report  
Beaufort County, South Carolina**

Dear Mr. Quinn:

At your request, Newkirk Environmental Inc. staff conducted a wetland determination to assess the presence and location of wetlands and other aquatic resources as defined by the US Army Corps of Engineers (USACE). Field studies were conducted on a 12.66 - acre tract of land located off Lamotte Drive, Hilton Head Island, Beaufort County, South Carolina.

NEI staff reviewed publicly available data as well as conducted a site visit. The delineation was done using methods outlined in the USACE Wetland Delineation Manual, 1987, the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Atlantic and Gulf Coastal Plain Region, November 2010. Under Section 404 of the Clean Water Act, Wetlands are defined as “areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs, and similar areas.”

### **Delineation Findings**

NEI staff determined that the site does have a total of 6.96 acres of freshwater non-tidal wetlands on site, the attached **Wetland Plat** depicts our findings.

Please note, although NEI is confident in our assessment, the USACE is the only agency that can make final decisions regarding wetland delineations and jurisdictional status; therefore, all delineations are subject to change until written verification is obtained. This letter is the professional opinion of Newkirk Environmental Inc. and can be relied upon as that.

Sincerely,

*Connor Breedlove*

Connor Breedlove, Senior Biologist  
Newkirk Environmental Inc. - Beaufort Office

Attachments: Wetland Plat

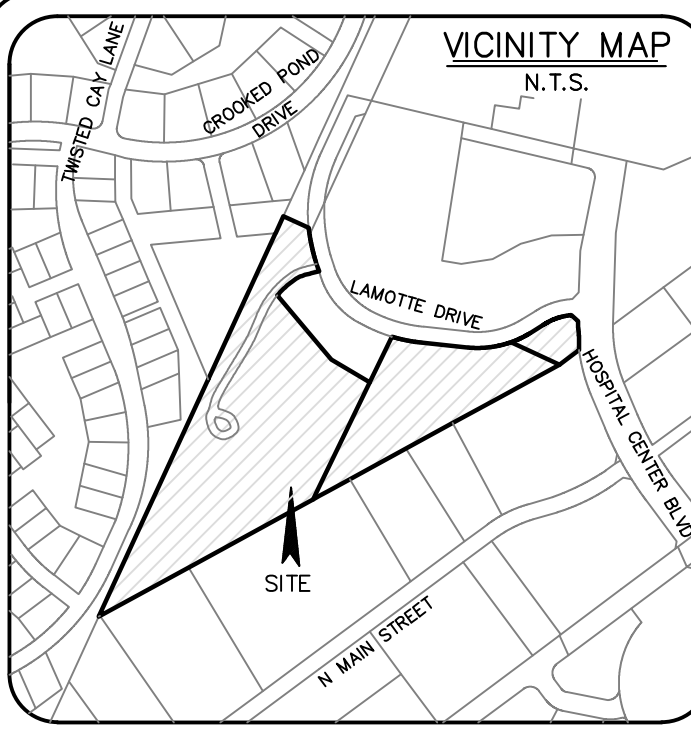
Figure 1: Project Location Map

Figure 2: USGS Topographical Map

Figure 3: National Wetland Inventory (NWI) Map

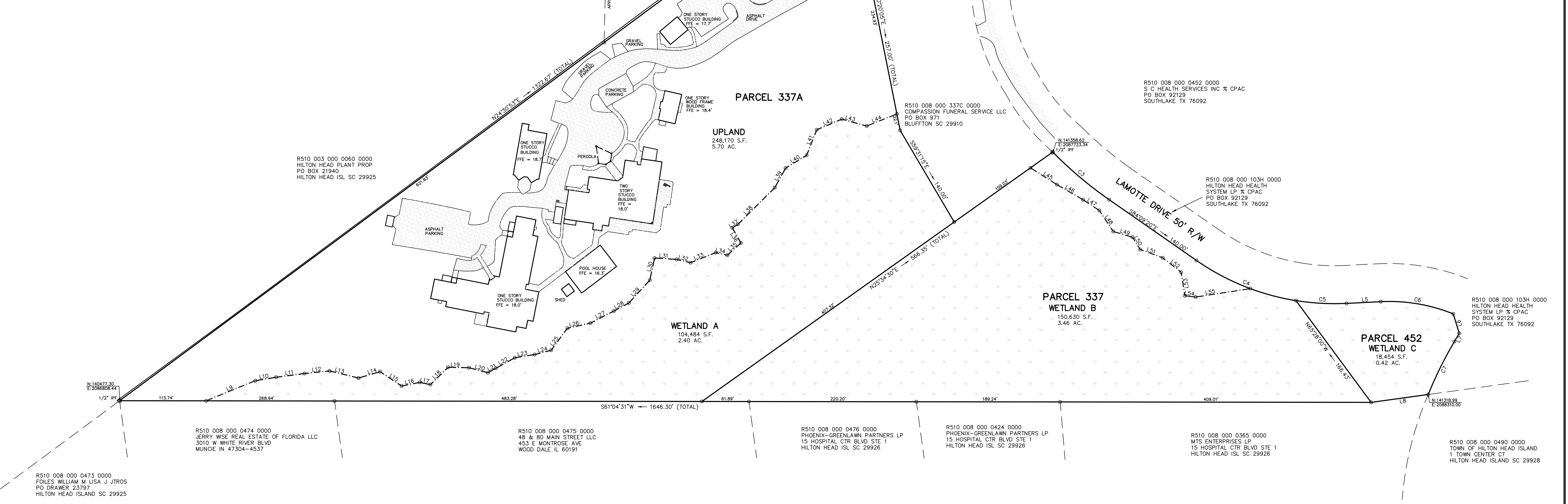
Figure 4: NRCS Soils Map

Site Photographs



CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	23.59'	468.59'	11.80'	23.59'	S06°58'25"E	002°53'05"
C2	14.46'	468.59'	7.23'	14.45'	S15°15'48"E	001°46'03"
C3	97.29'	519.02'	48.79'	97.15'	S78°47'05"E	010°44'25"
C4	142.30'	317.44'	72.37'	141.11'	N83°00'22"E	025°41'05"
C5	66.87'	317.58'	33.56'	66.75'	N64°08'15"E	012°03'54"
C6	97.37'	223.86'	49.47'	96.60'	S70°33'55"W	024°55'13"
C7	77.78'	511.53'	38.97'	77.71'	S02°42'35"E	008°42'44"

LINE	LENGTH	BEARING
L1	59.27'	N24°28'32"E
L2	87.81'	S65°31'30"E
L3	39.17'	S24°27'40"W
L4	28.32'	S65°27'43"E
L5	45.00'	N58°06'20"E
L6	26.74'	N46°22'20"W
L7	12.63'	N01°38'55"E
L8	75.77'	S53°08'40"W
L9	69.94'	N38°43'52"E
L10	27.90'	N51°41'01"E
L11	37.54'	N53°27'13"E
L12	33.21'	N55°04'12"E
L13	39.18'	N74°52'09"E
L14	29.53'	N44°35'43"E
L15	33.98'	S85°15'58"E
L16	24.31'	N49°34'49"E
L17	14.43'	N72°48'26"E
L18	32.48'	N16°40'51"E
L19	27.46'	N61°55'00"E
L20	25.90'	N75°49'22"E



PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft.  
 ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE  
 DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452

THIS PROPERTY LIES IN F.E.M.A. ZONE X  
 BASE FLOOD ELEVATION = N/A  
 COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021

LEGEND & SYMBOLS:

- 3" CMF □ 3" CONCRETE MONUMENT FOUND
- 1/2" IPF ● 1/2" IRON PIN FOUND
- WETLAND FLAG

OBJECT	AREA (AC.)	AREA (S.F.)
UPLAND	6.38	277,965
WETLAND A	2.40	104,484
WETLAND B	3.46	150,630
WETLAND C	0.42	18,454
WETLAND TOTAL	6.96	303,363
TOTAL	12.66	551,533

TOTAL UPLAND BUILDINGS	277,965 S.F.
DRIVEWAY & WALKS	22,852 S.F.
TOTAL IMPERVIOUS AREA	74,352 S.F.
TOTAL IMPERVIOUS AREA AS % OF UPLAND AREA	26.75%

REFERENCE PLAT

1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP. AND PALMETTO HEADLANDS COMMERCIAL TRACTS, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
 DRAWN: 5/10/1989  
 RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89  
 ROD. BEAUFORT COUNTY, SC  
 BY: HUSSEY, GAY, BELL, & DEYOUNG CONSULTING ENGINEERS

NOTES:

- THIS PLAT HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH BY NANDINA, INC.
- THIS PROPERTY MAY BE SUBJECT TO EASEMENTS OF RECORD AND COVENANT RESTRICTIONS AS RECORDED IN THE OFFICE OF THE ROD FOR BEAUFORT COUNTY.
- SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
- BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
- USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
- HORIZONTAL DATUM IS SC STATE PLANE, NAD83.

SITE CALCULATIONS FOR:  
 PARCELS 337, 337A, & 452, BETHEA DRIVE, LAMOTTE DRIVE, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
 PREPARED FOR: ABODE DEVELOPMENT

DATE: 4/11/2025 SCALE: 1" = 60'

NANDINA  
 d.b.a. Sea Island Land Survey, Inc.  
 10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926  
 Tel (843) 681-3248 Fax (843) 689-3871  
 E-mail: admin@nandinainc.com  
 FILE No : 23260.3 DWG No. : 4-23260.3  
 COPYRIGHT © BY NANDINA, INC. CAD: BA

Please note, although Newkirk Environmental, Inc. is confident in its assessments, the USACE is the only agency that can make final decisions regarding wetland delineations; therefore, all preliminary determinations are subject to change. Until verification is received from the USACE, no reliance may be made in this preliminary determination. Newkirk Environmental, Inc. strongly recommends that written verification be obtained prior to closing on the property, beginning any site work or making any legal reliance on this determination.

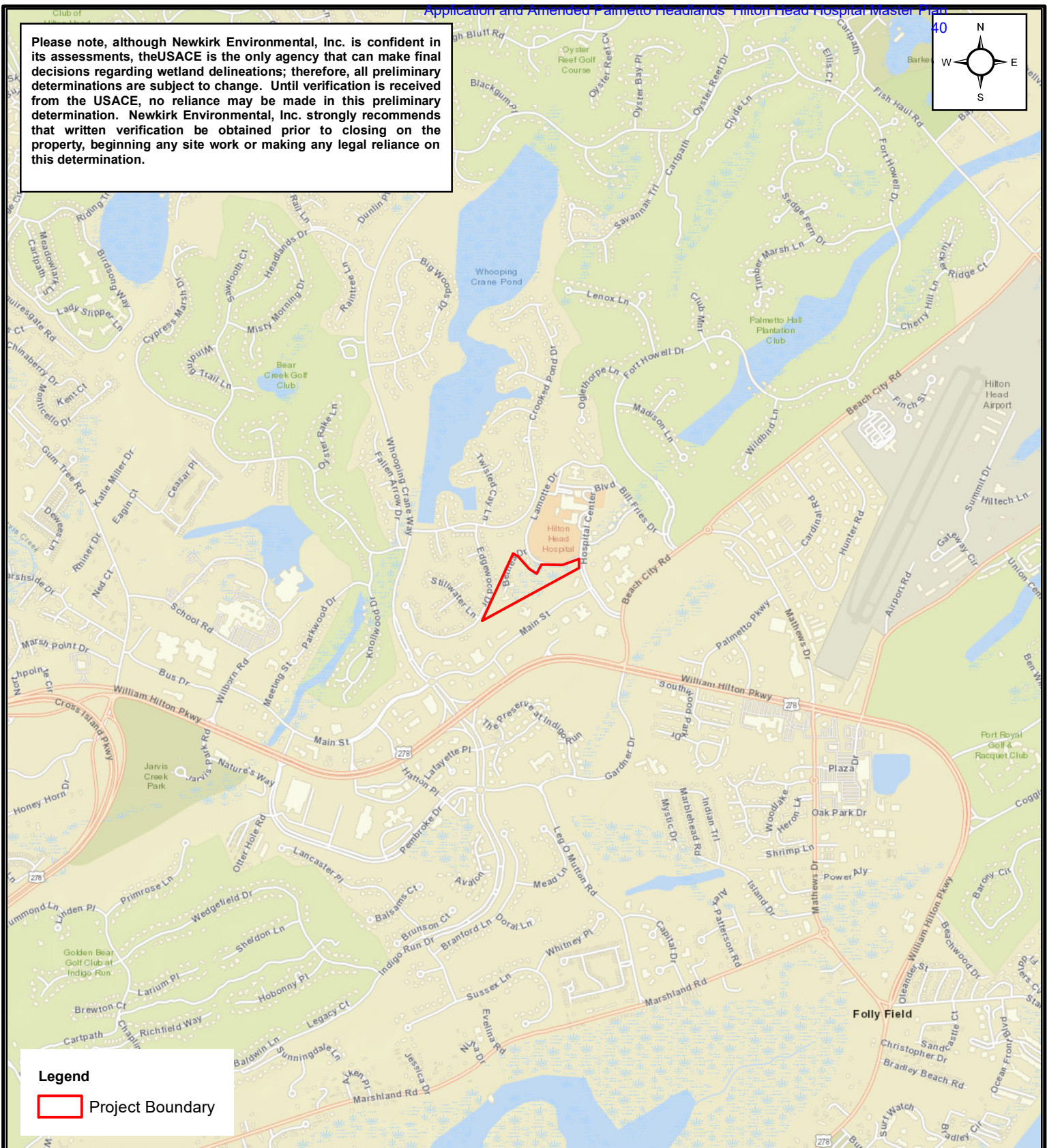
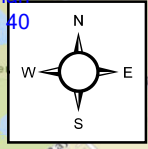
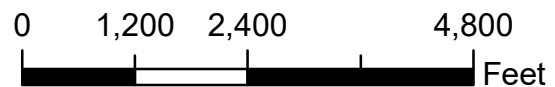


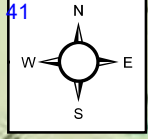
Figure 1: Project Location Map

Project #: 04-5938a Date: April 2025

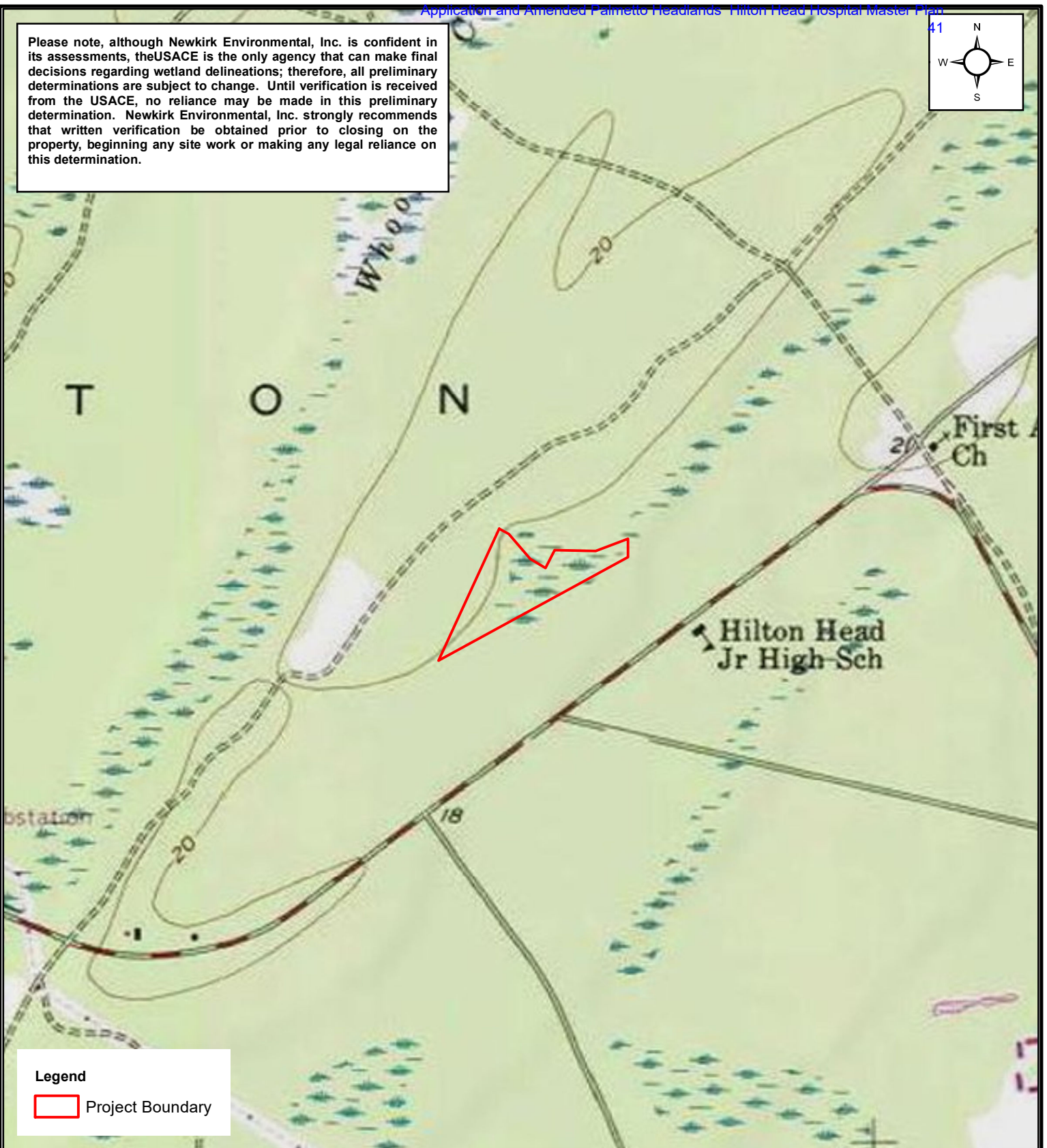
Created by: CAB

18 & 30 Bethea Drive  
Beaufort County, South Carolina





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Legend

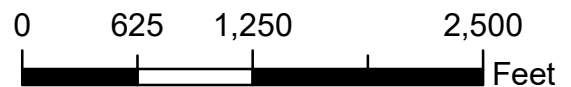
 Project Boundary

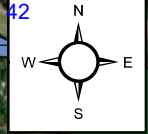
Figure 2: USGS Topographical Map

Project #: 04-5938a Date: April 2025

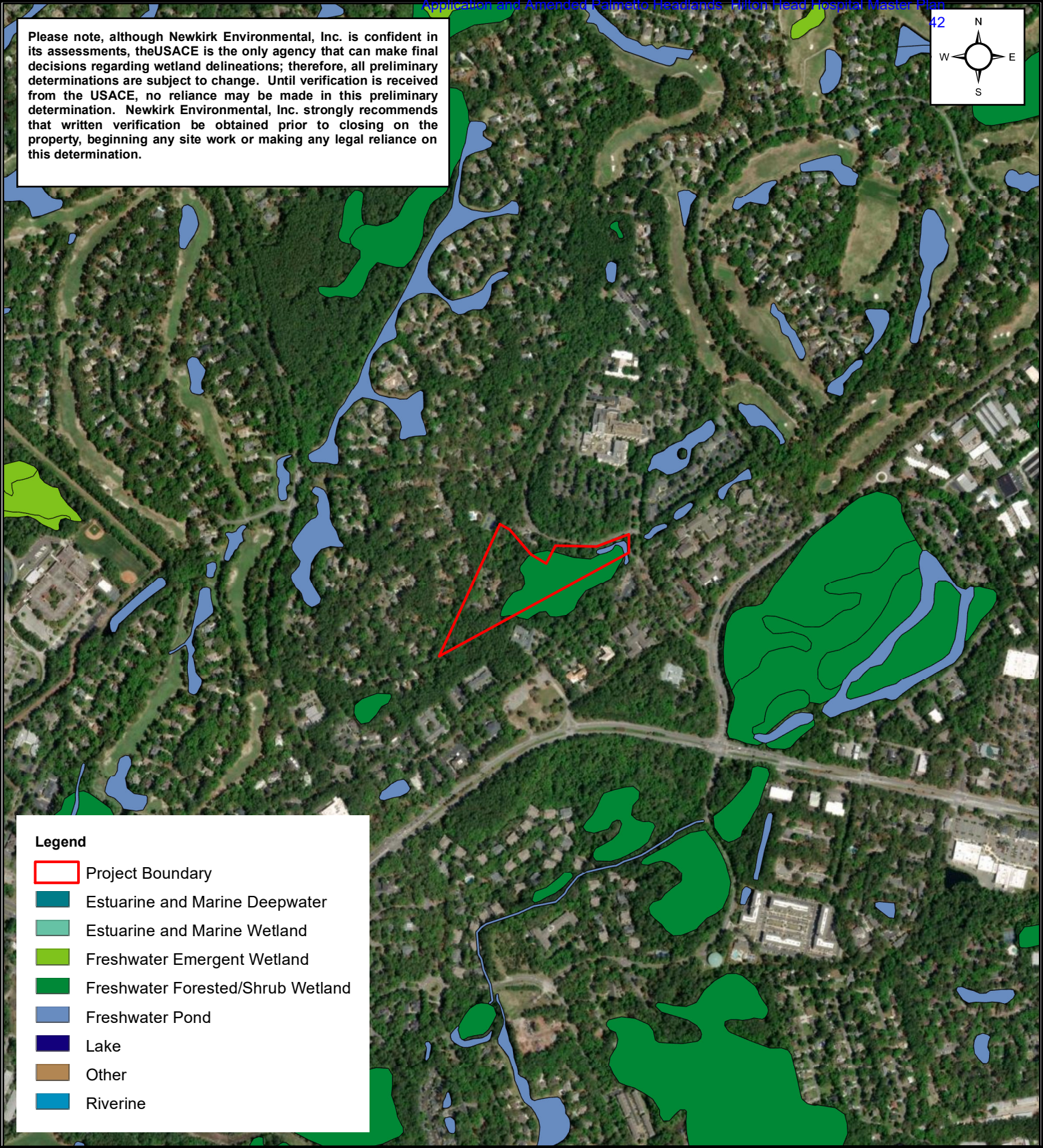
Created by: CAB

18 & 30 Bethea Drive  
Beaufort County, South Carolina





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**Legend**










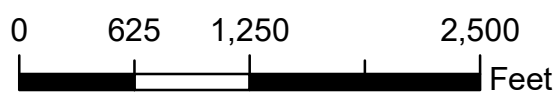
-  Project Boundary
-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Other
-  Riverine

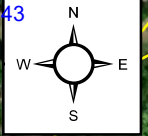
Figure 3: National Wetland Inventory (NWI) Map

Project #: 04-5938a Date: April 2025

Created by: CAB

18 & 30 Bethea Drive  
Beaufort County, South Carolina





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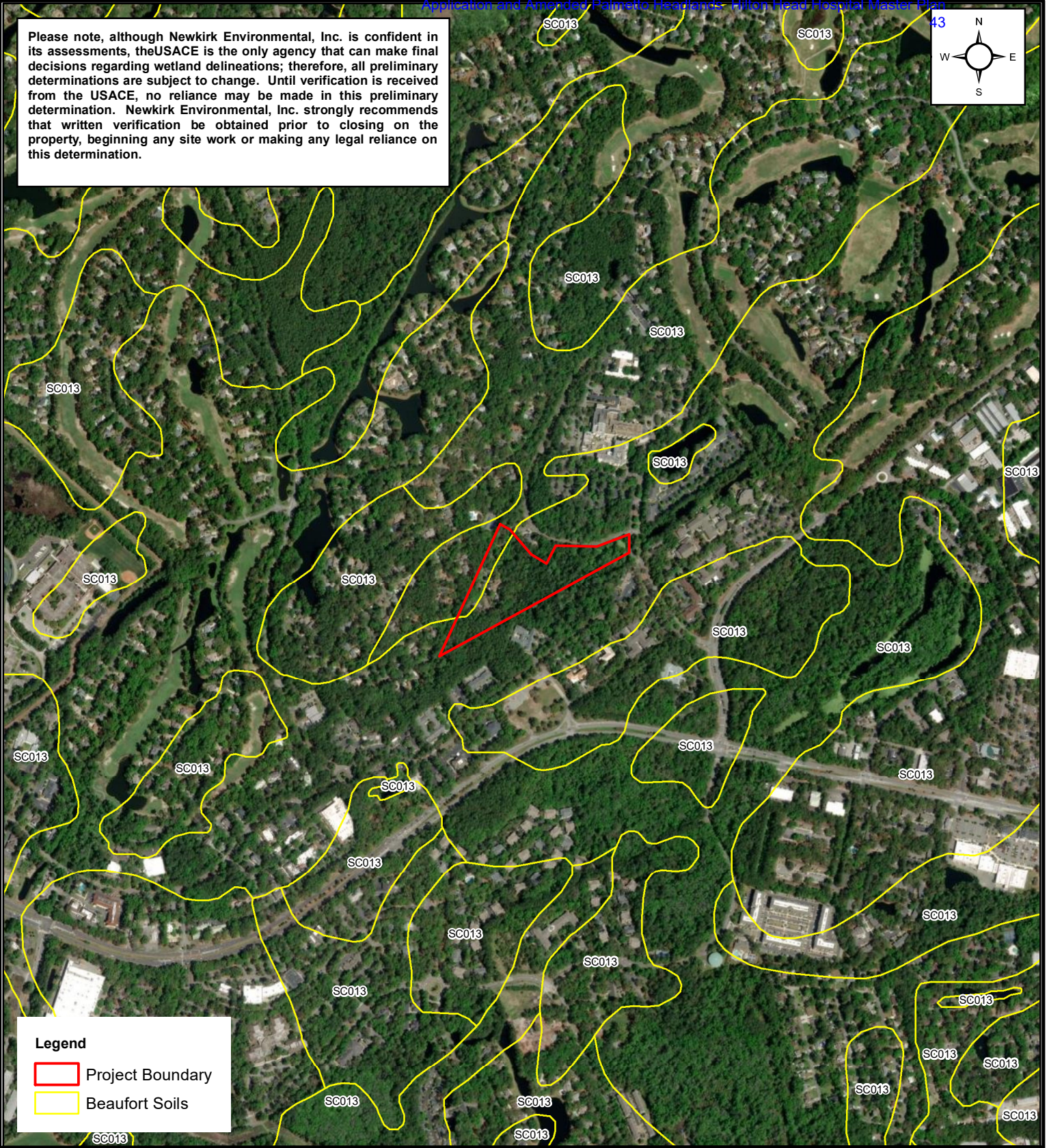


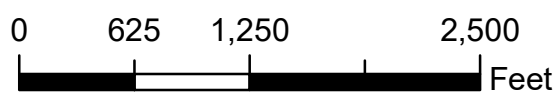
Figure 4: NRCS Soils Map

Project #: 04-5938a Date: April 2025

Created by: CAB



18 & 30 Bethea Drive  
Beaufort County, South Carolina



## Back Matter: Formal Application Outline

Application Letter for Zoning Map Amendment	1
Affidavit of Ownership and Hold Harmless	2
Application for Zoning Map Amendment	3
Attachment A: Property Information	4
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Section 2. Development Background	8
Section 3. Development Description	8
Section 4. Workforce Affordability	9
Section 5. Roles and Implementation	10
Section 6. Rezoning Criteria	11
Section 7. PD-2 Design Standards: #CUR-3-88 Palmetto Headlands / Hilton Head Hospital	14
Hilton Head Medical Workforce Housing Conceptual Master Plan	17-18
Proposed #CUR-3-88 Master Plan Overlay: Palmetto Headlands / Hilton Head Hospital PD-2	19-20
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	<b>TOWN OF HILTON HEAD ISLAND COMMUNITY DEVELOPMENT DEPARTMENT</b>		
	One Town Center Court	Hilton Head Island, SC 29928	843-341-4757

## STAFF REPORT ZONING MAP AMENDMENT

Case #	Name of Project	Public Hearing Date
ZA-001007-2025	Nightingale Commons Workforce Zoning Map Amendment	November 19, 2025

Parcel Data	Property Owner	Applicant
<u>Parcel Numbers:</u> 1. R510 008 000 337A 0000 2. R510 008 000 0337 0000 3. R510 008 000 0452 0000  <u>Size:</u> 12.66 acres  <u>Address:</u> 18 Bethea Drive and 30 Lamotte Drive	Hilton Head Medical Center	Brian Quinn, of Abode Development, 14 New Orleans Road, Suite 14, Hilton Head Island, SC, 29928

Existing Zoning	Proposed Zoning
<p><u>Overlay District:</u> Planned Development Overlay (PD-2) District (Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan)</p> <p><u>Allowable Uses in PD-2:</u> Medical-related uses, including hospital, nursing home, medical office, outpatient clinic, and accessory institutional support uses.</p> <p><u>Zoning District:</u> All parcels are in the Medical (MED) District.</p> <p><u>Allowable Uses:</u> Group Living, Mixed-Use, Multifamily, Workforce Housing, Community Service Uses, Education Uses, Government Uses, Major Utilities, Minor Utilities, Public Parks, Religious Institutions, Telecommunication Antenna, Collocated or Building Mounted, Telecommunication Towers, Monopole, Hospitals, Nursing Homes, Other Health Services, Other Office Uses, Other Commercial Services</p>	<p><u>Overlay District:</u> Planned Development Overlay (PD-2) District (Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan)</p> <p><u>Proposed Allowable Uses in PD-2:</u> Medical-related uses, including hospital, nursing home, medical office, outpatient clinic, and accessory institutional support uses; residential including Multifamily, and Workforce Housing.</p> <p><u>Zoning District:</u> All parcels are in the Medical (MED) District.</p> <p><u>Allowable Uses:</u> Group Living, Mixed-Use, Multifamily, Workforce Housing, Community Service Uses, Education Uses, Government Uses, Major Utilities, Minor Utilities, Public Parks, Religious Institutions, Telecommunication Antenna, Collocated or Building Mounted, Telecommunication Towers, Monopole, Hospitals, Nursing Homes, Other Health Services, Other Office Uses, Other Commercial Services</p>

<b>Application Summary:</b>
<p>The applicant, Abode Development, in partnership with Novant Health and the Coastal Community Development Corporation (CCDC), has submitted a request to amend the Palmetto Headlands / Hilton Head Hospital PD-2 Master Plan to modify the allowable uses on approximately 12.66 acres located along Bethea Drive (Parcels R510 008 000 0337, R510 008 000 337A, and R510 008 000 0452), (see Attachment B, Location Map). The proposed amendment would allow Multifamily and Workforce Housing uses in addition to the existing medical-related uses currently permitted by the PD-2 Master Plan.</p> <p>The proposed development, Nightingale Commons, consists of 114 mixed-income dwelling units in twelve (12) two-story townhome buildings on approximately 12.66 acres adjacent to Hilton Head Hospital. The unit mix includes 38 one-bedroom, 66 two-bedroom, and 10 three-bedroom units for a total of 114 residential dwelling units. The development will also include a community pavilion with a pool and wellness amenities.</p> <p>The applicant proposes a mixed-income housing program designed to serve a broad range of the Island's workforce, where 30% of the total units will be reserved for households earning at or below 80% of the Area Median Income (AMI), while the remaining 70% will serve households between 80% and 150% AMI. Affordability will be preserved through long-term deed restrictions administered in accordance with LMO Section 16-4-105, per the applicant.</p> <p>This request is driven by the Town's documented need for Workforce Housing and the desire to reuse underutilized parcels. By amending the PD-2 Master Plan to allow medical or residential uses, the applicant seeks to provide housing that supports the Island's healthcare workforce and broader</p>

employment base while retaining the flexibility for future medical development on the site.

As a concurrent effort, the Town, through the Planning Commission by request of the applicant, is pursuing a related Land Management Ordinance (LMO) amendment to allow Workforce Housing as a permitted residential use within the Medical (MED) Zoning District. The amendment would establish qualification standards and development conditions specific to Workforce Housing in the MED District. In consideration of this proposed change, the applicant has submitted a Zoning Map Amendment to modify the Palmetto Headlands/Hilton Head Hospital PD2 Master Plan to allow medical or residential uses on the subject parcels. Approval of the Zoning Map Amendment is contingent upon the adoption of the LMO text amendment to permit Workforce Housing within the MED base district.

**Staff Recommendation:**

Staff recommends that the Planning Commission review this application and forward a recommendation to Town Council, based on those Findings of Facts as determined by the LMO Official and enclosed herein.

Should the Planning Commission recommend approval to Town Council, Staff recommends the following condition that: “All stormwater generated on-site shall be retained and managed within the project limits; no discharge shall be directed toward Hilton Head Plantation; and any existing drainage issues along the common property line with Hilton Head Plantation will be resolved to the greatest extent possible” be included.

**Background:**

The subject property is part of the Palmetto Headlands and Hilton Head Hospital PD-2 Master Plan (CUR388), which was approved in 1988 as a Planned Development Overlay District encompassing approximately 94 acres (see Attachment C, PD2 Master Plan – CUR 3-88). As part of that approval, the parcels identified as R510-008-000-0337, R510-008-000-337A, and R510-008-000-0452 were designated to support hospital, nursing home, and related medical office development as part of a coordinated healthcare campus.

In the years following approval, the site was developed with medical-related structures, several of which are now vacant and deteriorated. The applicant proposes demolishing the existing buildings and redeveloping the site in accordance with the amended Master Plan. The parcels are accessed via Bethea Drive and Lamotte Drive and are served by existing water, sewer, and stormwater systems constructed for the original campus, consistent with the PD-2 Master Plan.

The Palmetto Headlands Commercial Planning File highlights that the PD-2 Overlay was intentionally structured to allow long-term flexibility, including the ability to adapt land uses as community needs changed over time.

Today, the subject parcels are located near Hilton Head Hospital, nursing and rehabilitation facilities, and Hilton Head Plantation within the PD-2 Overlay (see Attachment D, Current Use Map). The proposed amendment would revise the PD-2 Master Plan to allow residential uses (Multifamily and Workforce Housing) on Parcels 337, 337A, and 452 in place of the current medical-only restriction to enable the development of Nightingale Commons, a 114-unit mixed-income community (see Attachment A, Application Materials). The requested change retains the parcels’ medical use potential while introducing residential use to address the Town’s documented Workforce Housing shortage.

The request directly advances multiple adopted Town policies. The Workforce Housing Strategic Plan (2019) calls for the production of 200 new housing units per year. It prioritizes locating Workforce Housing near major employment centers such as Hilton Head Hospital. The Housing Impact Analysis (2023) documents that over 14,000 workers commute to the Island daily and that more than 40% of Island households are cost-burdened, with healthcare workers identified among the most impacted employment sectors. This amendment also aligns with Our Plan 2020–2040 Core Values for Economy, Inclusive Community, and Infrastructure, and implements the Town’s Finding Home Framework adopted by Town Council in 2022. Approval of this request would represent a step in addressing the Island’s Workforce Housing crisis while utilizing underperforming parcels within the hospital district, consistent with the PD-2 Overlay’s intent.

The changes that would occur as a result of this amendment include the following:

- Current PD-2 Allowable Uses:
  - Medical-related uses, including hospital, nursing home, medical office, outpatient clinic, and accessory institutional support uses.
  
- Proposed PD-2 Allowable Uses:
  - Medical-related uses, including hospital, nursing home, medical office, outpatient clinic, and accessory institutional support uses.
  - Residential uses, including Multifamily and Workforce Housing.

All subject parcels are located in the Medical (MED) District.

- MED District Allowable Uses:
  - Group Living; Mixed-Use; \*Multifamily; \*Workforce Housing; Community Service Uses; Education Uses; Government Uses; Major Utilities; Minor Utilities; Public Parks; Religious Institutions; Telecommunication Antenna (Collocated or Building Mounted); Telecommunication Towers (Monopole); Hospitals; Nursing Homes; Other Health Services; Other Office Uses; Other Commercial Services.

*\*Sec. 16-4-102.B.1.b, “Multifamily use in the CC and MED Districts shall only be permitted as part of a commercial conversion that includes WFH per Sec. 16-10-102.B.1.”*

Uses adjacent to the sites are:

- North: Hilton Head Hospital and outpatient facilities – MED and PD-2 Overlay
- East: Nursing and other health services – MED and PD-2 Overlay
- South: Nursing and other health services – MED, PD-2 Overlay and Corridor Overlay
- West: Hilton Head Plantation – Planned Development Mixed-Use District (PD-1), residential

The Town’s LMO defines Workforce Housing as “Housing that is affordable at 60—100% of the Area Median Income (AMI) for Beaufort County.”

The applicant proposes a mixed-income housing program where 30% of the total (114) units will be reserved for households earning at or below 80% of the Area Median Income (AMI), while the remaining 70% will serve households between 80% and 150% AMI.

**Applicant’s Grounds for ZMA:**

The project focuses on providing sustainable, workforce housing options for essential workers, including healthcare professionals employed at Hilton Head Hospital, in direct alignment with the Town’s Finding Home: Workforce Housing Framework (2022) and the Workforce Housing Strategic Plan (2019).

The applicant is requesting approval to amend the PD2 Master Plan to allow residential uses (Workforce Housing and Multifamily) in addition to the current medical uses designation. This change, combined with the concurrent LMO text amendment to permit new construction of Multifamily Workforce Housing within the Medical (MED) District, provided such development is consistent with an adopted PD-2 Master Plan and meets Workforce Housing Program standards. The Town’s LMO defines Workforce Housing as “Housing that is affordable at 60—100% of the Area Median Income (AMI) for Beaufort County.”

The applicant asserts that the proposed PD-2 Master Plan amendment preserves the long-term medical potential of the parcels while expanding allowable uses to include residential development that meets current community housing needs. By establishing flexibility within the PD-2 framework, the amendment seeks to allow coordinated medical and residential use of the property.

Approval of this Zoning Map Amendment (ZA-001007-2025) is contingent upon adoption of the concurrent LMO Text Amendment authorizing the construction of new Workforce Housing in the MED District.

**Summary of Facts and Conclusions:**

**Findings of Fact:**

- The application was submitted on October 17, 2025, as set forth in LMO Section 16-2-103.C and Appendix D-1.
- Per LMO Section 16-2-102.E.1, when an application is subject to a hearing, the LMO Official shall ensure that the hearing on the application is scheduled for a regularly scheduled meeting of the body conducting the hearing.
- The LMO Official scheduled the public hearing on the application for the November 19, 2025, Planning Commission meeting, which is a regularly scheduled meeting of the Planning Commission.
- Per LMO Section 16-2-102.E.2, the LMO Official shall publish a notice of the public hearing in a newspaper of general circulation in the Town no less than 15 calendar days before the hearing date.
- Notice of the Nov. 19, 2025, public hearing was published in the Island Packet on Oct. 26, 2025.
- Per LMO Section 16-2-102.E.2, the applicant shall mail a notice of the public hearing by first-class mail to the owners of the land subject to the application and owners of record of properties within 350 feet of the subject land, no less than 15 calendar days before the hearing date.
- The applicant mailed notices of the Nov. 19, 2025, public hearing by first-class mail to the owners of record of properties within 350 feet of the subject land on Oct. 23, 2025.
- Per LMO Section 16-2-102.E.2, the LMO Official shall post conspicuous notice of the public hearing on or adjacent to the land subject to the application no less than 15 days before the hearing date, with at least one such notice being visible from each public thoroughfare that abuts the subject land.
- The LMO Official posted on Nov. 3, 2025, a conspicuous notice of the public hearing on the land subject to the application.

**Conclusions of Law:**

- The application was submitted in compliance with LMO Section 16-2-103.C and Appendix D-1.

Notice of the public hearing was published, mailed, and posted, in compliance with LMO Section 16-2-102.E.2.

*As set forth in LMO Section 16-2-103.C.3. In determining whether to recommend that Town Council approve or deny a proposed Zoning Map Amendment (Rezoning), the Planning Commission may weigh the relevance of and consider the following:*

**Summary:**

*Criteria 1: Whether and the extent to which the proposed zoning is in accordance with the Comprehensive Plan (LMO Section 16-2-103.C.3.a.i):*

**Findings:**

This application addresses the Comprehensive Plan in the following areas:

**Core Value: Relentless Pursuit of Excellence**

Goal

- Ideals of Excellence: To adopt and pursue Our Ideals of Excellence for Hilton Head Island.

Strategies & Tactics

- 2.10: Continue to provide an appropriate range of land uses that accommodate the needs of the community.
- 2.10.1: Encourage development and redevelopment opportunities that help Hilton Head Island be a competitive and affordable place to live and work.

**Core Value: Revitalizing & Modernizing the Economy**

Goal 3

- Brand: To manage evolving economic growth while maintaining Hilton Head Island’s unique aesthetic.

Strategies & Tactics

- 3.2: Monitor demographics and economic trends to manage emerging growth and changes.
- 3.2.2: Monitor trends in housing development to provide housing options that meet market demands.

Goal 6

- Workforce: To have a high-quality Workforce Housing through effective incentives.

Strategies & Tactics

- 6.1: Encourage the development of Workforce Housing through effective incentives.
- 6.1.1: Continue to pursue the recommendations from the Town's Workforce Housing Strategic Plan.
- 6.1.2: Identify methods to support construction of new Workforce Housing by 2024.
- 6.1.6: Monitor changing demographics and trends in housing development to allow for housing options to meet market demands.
- 6.1.7: Continue to educate the public on the potential impact on their daily quality of life that is directly affected by the supply or lack of Workforce Housing.

**Core Value: Fostering an Inclusive Multi-dimensional Community**

Goal 3

- Community Development: To foster creation of sustainable, inclusive, equitable, and innovative community development on the entire Island.

Strategies & Tactics

- 3.3: Continue to implement the recommendations from the Town’s Workforce Housing Strategic Plan.
- 3.4: Evaluate opportunities for diversity in housing costs and transportation modes by establishing incentives for redevelopment of abandoned and underutilized spaces.
- 3.5: Encourage employer-assisted housing programs to entice more employees of various professions (teachers, police officers, firefighters, etc.) to live within Town limits.
- 3.7: Address housing issues by using a systematic approach that integrates economic development, transportation, and land use.

**Core Value: Building a Connected & Collaborative Community Fabric**

Goal 2

- Built Environment: To promote designs for the built environment that capitalize on our natural beauty and community strengths, reinforcing our unique sense of place.

Strategies & Tactic

- 2.4: Create incentives and/or public/private partnerships for redevelopment with goals of diversity in housing types and cost, and types of transportation modes.

Goal 4

- Quality of Life: To foster an exceptional quality of life for residents, outstanding experiences for visitors, and economic opportunity for our workforce.

Strategies & Tactic

- 4.1.1: Continue to implement the recommendations from the Town’s Workforce Housing Strategic Plan.

**Core Value: Expanding to Embrace an Integrated Regional Focus**

Goal 2

- Workforce: To improve and expand opportunities for workforce development and housing on Hilton Head Island and in the region.

Strategies & Tactic

- 2.1: Pursue regional cooperation of public, private, and nonprofit agencies in meeting area housing and workforce needs.

**Core Value: Innovative Approach to Create “Right-Sized” Infrastructure**

Goal 6

- Housing: To promote housing options to meet the needs of all current and future populations on the Island.

Strategies & Tactics

- 6.1: Adopt policies to support the recommendations of the Town's Workforce Housing Strategic Plan.
- 6.2: Continually assess development standards and building codes to ensure they encourage the development and redevelopment of needed housing.
- 6.2.1: Evaluate and study regulations to require or provide options for interconnection between developments, which promotes the establishment of neighborhoods, and to provide safe and convenient access to neighborhood level public facilities, particularly schools and parks.
- 6.3: Evaluate proposed changes to residential density to ensure they are appropriate for the character of the area and the neighboring properties.

**Conclusions of Law:**

- The application complies with the Comprehensive Plan because it implements Our Plan housing goals and Core Values.
- The amendment meets Criterion 1 because it supports adopted policies for Workforce Housing and integrated land use planning.
- The proposed rezoning is in accordance with the Comprehensive Plan, as described in the Land Use Element, as set forth in LMO Section 16-2-103.C.3.a.i.
- The proposed rezoning will modify the existing permitted land use to promote housing options to meet the needs of current and future populations on the Island and is consistent with the Core Value: Innovative Approach to Create “Right-Sized” Infrastructure.
- The proposed rezoning and LMO amendment will expand opportunities for workforce development and housing on Hilton Head Island and in the region.
- The proposed rezoning will modify the permitted land use of the property in conformance with the Town’s Comprehensive Plan.

**Summary:**

*Criteria 2: Whether and the extent to which the proposed zoning would allow a range of uses that are compatible with the uses allowed on other property in the immediate vicinity (LMO Section 16-2-103.C.3.a.ii):*

**Findings:**

- The applicant proposes to amend the Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan to allow new construction of Workforce Housing and Multifamily residential uses in addition to the existing medical uses currently permitted within the PD-2 Overlay. The proposed development, Nightingale Commons, consists of 114 mixed-income dwelling units in twelve (12) two-story townhome buildings on approximately 12.66 acres adjacent to Hilton Head Hospital.
- Under the current LMO, both Workforce Housing and Multifamily are permitted in the MED District only when specific conditions are met, Sec. 16-4-102.B.1. Prior to the proposed Text Amendment, Multifamily uses in the MED District were limited to commercial-conversion projects that included Workforce Housing per Sec. 16-4-102.B.1.b.ii.
- Per Sec. 16-4-102.B.1.b.ii, Multifamily use in the MED District is permitted only as part of a commercial-conversion project that includes Workforce Housing. Likewise, Workforce Housing is allowed subject to compliance with the Workforce Housing Program outlined in Sec. 16-4-105. The requested amendment would therefore expand the allowable residential uses within the PD-2 Overlay to include new-construction Workforce Housing and Multifamily dwellings, consistent with the intent of the concurrent LMO text amendment under review.
- Adjacent land uses include Hilton Head Hospital and related outpatient medical facilities to the north and east, nursing and health service uses to the south, and residential properties within Hilton Head Plantation (PD-1) to the west. These surrounding uses are compatible in scale and intensity with the proposed Workforce Housing development.

**Conclusions of Law:**

- The proposed amendment meets Criterion 2 because it establishes a compatible mix of medical and residential uses within the PD-2 Overlay, maintaining consistency with adjacent institutional and residential development patterns.
- While Multifamily and Workforce Housing in the MED District are currently limited to commercial-conversion projects, the PD-2 amendment—if approved concurrent with the related LMO text amendment—would provide a coordinated framework for new-

construction Workforce Housing that complements the hospital campus and surrounding uses, in accordance with LMO Section 16-2-103.C.3.a.ii.

**Summary:**

*Criteria 3: Whether and the extent to which the proposed zoning is appropriate for the land (LMO Section 16-2-103.C.3.a.iii):*

**Findings:**

- The subject parcels are within the PD-2 Overlay and designated for medical-related uses under the Palmetto Headlands/Hilton Head Hospital Master Plan.
- The applicant proposes 114 mixed-income units, with 30% reserved for households earning at or below 80% of the Area Median Income (AMI) and 70% serving households between 80% and 150% AMI, with long-term affordability enforced through deed restrictions in accordance with LMO Section 16-4-105.
- The subject area is developed with vacant medical buildings, and is served by existing utilities and stormwater infrastructure.
- The PD-2 Overlay was designed to allow clustering of development on less environmentally sensitive areas and adaptive reuse over time.
- The project proposes no changes to height, density caps, or impervious coverage standards beyond those contemplated in the PD-2 Master Plan.
- The site has direct access to Hilton Head Hospital.

**Conclusions of Law:**

- The application meets Criterion 3 because the proposed use is appropriate given the existing infrastructure and PD-2 adaptive reuse intent.
- Redeveloping the parcels for Workforce Housing is consistent with the PD-2's goal of efficient land utilization.
- The proposed zoning is appropriate for the land in accordance with LMO Section 16-2-103.C.3.a.iii.

**Summary:**

*Criteria 4: Whether and the extent to which the proposed zoning addresses a demonstrated community need (LMO Section 16-2-103.C.3.a.iv):*

**Findings:**

- The Workforce Housing Strategic Plan suggests the Island should set a goal to facilitate the construction of 200 total net new, obtainable housing units yearly.
- The Comprehensive Plan, which was approved by Town Council, on page 112, suggests the Town attracts and maintains a diverse and multi-dimensional residential population, providing a competitive live-work option.
- The Comprehensive Plan on page 112 suggests that the Town continually adapts the Core Values and Comprehensive Plan to meet the needs of the present and the future.
- The Housing Impact Analysis documents more than 14,000 daily commuters to the Island, and over 40% of households are cost-burdened, with healthcare workers among the most impacted sectors.

- Finding Home recommends Workforce Housing near major employers and transit corridors.
- The applicant proposes 114 mixed-income units, with 30% reserved for households earning at or below 80% of the AMI and 70% serving households between 80% and 150% AMI, with long-term affordability enforced through deed restrictions in accordance with LMO Section 16-4-105.
- The proposed rezoning will expand opportunities for workforce development and housing on Hilton Head Island by adding Workforce Housing as an allowable principal use.

**Conclusions of Law:**

- The application meets Criterion 4 because it directly addresses the Town’s documented Workforce Housing shortage.
- The amendment implements adopted policy recommendations from the Workforce Housing Strategic Plan and Housing Impact Analysis.
- The rezoning would fulfill a demonstrated community need in accordance with LMO Section 16-2-103.C.3.a.iv.

**Summary:**

*Criteria 5: Whether and the extent to which the proposed zoning is consistent with the overall zoning program as expressed in future plans for the Town (LMO Section 16-2-103.C.3.a.v):*

**Findings:**

- The MED base District permits Multifamily and Workforce Housing, subject to development standards; the PD-2 amendment would align the Master Plan with the underlying district.
- The Town’s Finding Home Framework calls for zoning amendments to allow Workforce Housing where appropriate.
- The PD-2 Overlay is specifically designed to adapt to changing community needs through Master Plan amendments.

**Conclusions of Law:**

- The proposed zoning is consistent with the overall zoning program as expressed in the draft PD-2 plan.
- The application meets Criterion 5 because it maintains consistency with the Town’s zoning program and supports adopted Workforce Housing initiatives.

**Summary:**

*Criteria 6: Whether and the extent to which the proposed zoning would avoid creating an inappropriately isolated zoning district unrelated to adjacent and surrounding zoning districts (LMO Section 16-2-103.C.3.a.vi):*

**Findings:**

- This application would rezone three parcels, totaling 12.66 acres, for Multifamily and Workforce Housing development.
- The subject parcels are within the PD-2 Master Plan and adjacent to MED and PD-1 districts.
- The amendment does not create a new zoning district; it modifies the allowable uses within an existing PD-2 Master Plan.
- Adjacent uses include medical facilities and multifamily housing, both compatible with the proposed residential use.

- The subject parcels are part of a larger coordinated PD-2 district.
- Surrounding parcels to the north and east are designated for medical uses under the same PD-2 Master Plan; to the west are multifamily residential uses.
- The MED base district, which underlies the subject parcels, permits both medical and residential uses.
- The requested amendment adds residential use but retains medical use.
- The parcels are accessed internally via Bethea Drive and share infrastructure with surrounding PD-2 parcels.
- The PD-2 Overlay was initially designed to prevent isolated zoning districts by allowing flexibility and integration of uses within a coordinated Master Plan.

**Conclusions of Law:**

- The application meets Criterion 6 because it maintains continuity with adjacent zoning and does not create an isolated district.
- The proposed zoning would avoid creating an inappropriately isolated zoning district unrelated to adjacent and surrounding zoning districts in accordance with LMO Section 16-2-103.C.3.a.vi because the existing adjacent zoning is complementary.

**Summary:**

*Criteria 7: Whether and the extent to which the proposed zoning would allow the subject property to be put to a reasonably viable economic use (LMO Section 16-2-103.C.3.a.vii):*

**Findings:**

- The parcels are currently vacant, dilapidated medical buildings, generating no economic value.
- The applicant’s proposal includes deed-restricted workforce units with professional management.

**Conclusions of Law:**

- The proposed zoning would allow the subject property to be put to a reasonably viable economic use in accordance with LMO Section 16-2-103.C.3.a.vii.
- The rezoning would allow the site to be redeveloped with the residential use of Multifamily and Workforce Housing, making the site more compatible with the uses in the vicinity and allowing the property to be put to a reasonably viable economic use.

**Summary:**

*Criteria 8: Whether and the extent to which the proposed zoning would result in development that can be served by available, adequate, and suitable public facilities (e.g., streets, potable water, sewerage, stormwater management) (LMO Section 16-2-103.C.3.a.viii):*

**Findings:**

- The parcels are served by existing water, sewer, and stormwater systems constructed for the hospital campus.
- Per the LMO, a Major Development Plan Review (DPR) application would be required to redevelop the property. As part of the DPR application, any required infrastructure improvements, encroachment permits, or approvals from outside agencies such as PSD, Sparklight, Palmetto Electric, and SCDOT would be required prior to the approval of the DPR.

**Conclusion of Law:**

- The proposed zoning would result in development that can be and is already served by available public facilities in accordance with LMO Section 16-2-103.C.3.a.viii.

**Summary:**

*Criteria 9: Is appropriate due to any changed or changing conditions in the affected area (LMO Section 16-2-103.C.3.a.ix):*

**Findings:**

- The creation of Workforce Housing aligns with the Town's core values described in the Town's Master Plan, Section 3, Chapter 7, "Innovative Approach to Create 'Right-Sized' Infrastructure."
- Since 1988, the Town has adopted the Workforce Housing Strategic Plan (2019) and *Finding Home* Framework (2022), establishing Workforce Housing as a priority.
- The Housing Impact Analysis (2023) documents accelerating housing shortages and cost burden among the Island's workforce.
- Healthcare sector expansion and workforce displacement events (2022) have created changed conditions requiring additional housing near the hospital campus.
- The PD-2 Master Plan was designed to accommodate evolving land use needs over time.
- Shifts in employment and housing to the mainland have impacted the ability to attract the workforce and provide housing that meets the Workforce Housing needs on the Island.
- The availability of affordable, attainable Workforce Housing is limited and changing housing market conditions continue to increase the challenge of ensuring the availability of housing for the Town's workforce.

**Conclusions of Law:**

- The application meets Criterion 9 because it responds to changed and changing conditions and fulfills current policy priorities.
- The proposed rezoning is appropriate due to the changes in the area, including housing market challenges and housing supply, in accordance with LMO Section 16-2-103.C.a.ix.
- The proposed rezoning will allow Multifamily and Workforce Housing in close proximity to health care services.

*As set forth in LMO Section 16-3-106.G.6.(a-h) Planned development Master Plans shall include the following elements:*

**Summary:**

*Criteria a: Arrangement of developed uses on the site considering natural features and natural drainage patterns, views, roadway access, and surrounding land uses.*

**Findings:**

- A conceptual site plan has been provided for review.
- The plan meets the minimum planting requirements for a Type B Buffer – Option 2 but does not propose enhanced screening or visual mitigation for adjacent Planned Development Mixed-Use (PD-1) residential properties within Hilton Head Plantation (HHP).

**Conclusion of Law:**

- The proposed amendment meets Criterion (a) because the intended residential and medical uses are compatible with surrounding development patterns and consistent with the PD-2 Overlay’s purpose of coordinated campus-style planning. The conceptual site plan demonstrates reasonable consideration of drainage and access, supporting the adaptive reuse intent of the PD-2 District.

**Summary:**

*Criteria b: Clustering of development sites, especially buildings, so as to preserve natural or historic features and provide usable common open space*

**Findings:**

- The parcels subject to this request are not designated as open space under the existing PD-2 Master Plan.
- Proposed buildings are clustered together, hugging the parking areas and roadway access.
- The conceptual site plan demonstrates compliance with the average wetland buffer requirements.
- Any development will require separate Development Plan Review (DPR) approval prior to the issuance of construction permits.

**Conclusion of Law:**

- The proposed amendment satisfies Criterion (b) because the site plan clusters residential buildings to preserve natural buffers and maximize usable open space. The integration of residential and medical uses maintains a cohesive development pattern. Although the parcels are not designated open space under the current PD-2 Master Plan, the proposed configuration efficiently uses the site while protecting environmental buffers.

**Summary:**

*Criteria c: An integrated, coordinated circulation system with complete interconnection.*

**Findings:**

- The conceptual site plan provides internal circulation designed to accommodate emergency vehicle access.
- Internal sidewalks and crosswalks connect the townhomes on the west to the community pavilion and pool on the east.
- Lamotte Drive, which connects to Bethea Drive, currently lacks sidewalk and bike path infrastructure for full off-site connectivity.

**Conclusion of Law:**

- The proposed amendment satisfies Criterion (c) because the conceptual plan provides adequate on-site circulation and pedestrian connectivity while allowing for future off-site connections. The layout is consistent with the PD-2 Overlay’s intent for coordinated access and interconnectivity among uses.

**Summary:**

*Criteria d: Maximum integration of other infrastructure—such as sewer, water, and drainage systems—in consideration of environmental factors.*

**Findings:**

- The site is already served by existing utility infrastructure, including water, sewer, and stormwater facilities.
- Any new development will be subject to Development Plan Review (DPR) to ensure compliance with Town stormwater and environmental regulations.
- Through previous public comment on this application, it was discovered that there are potential drainage issues along the common property line with Hilton Head Plantation. Through a condition of approval, these issues can be assessed and addressed through the Development Plan Review process.

**Conclusion of Law:**

- The proposal meets Criterion (d) because existing utility systems can adequately serve the site. The applicant proposes to connect to the hospital’s existing infrastructure network, minimizing new environmental disturbance and aligning with the PD-2 Overlay’s goal of efficient and environmentally responsible infrastructure integration.

**Summary:**

*Criteria e: Design and sizing of street, drainage, and utility systems to accommodate the overall service demand of the planned development.*

**Findings:**

- Drive aisle widths comply with LMO standards—14 feet for one-way access and 24 feet for two-way access.
- The proposed parking spaces meet LMO requirements.
- Fire and service access have been designed to meet minimum safety and operational standards.
- Through previous public comment on this application, it was discovered that there are potential drainage issues along the common property line with Hilton Head Plantation. Through a condition of approval, these issues can be assessed and addressed through the Development Plan Review process.

**Conclusion of Law:**

- The conceptual site plan provides adequate access, parking, and service areas consistent with applicable LMO standards. Drainage and utility systems are designed to accommodate projected service demand. The proposed amendment maintains consistency with the Town’s zoning framework and supports the implementation of the Workforce Housing Framework (2022) and Workforce Housing Strategic Plan (2019).

**Summary:**

*Criteria f: Provision for the ownership and maintenance of common open space through a property owners' association or other mechanisms permitted under Section Sec. 16-5-104.E, Ownership, Management and Maintenance of Common Open Space.*

**Findings:**

- The applicant indicates that common open space, stormwater facilities, and buffers will be owned and maintained by the Coastal Community Development Corporation (CCDC) under recorded covenants.

**Conclusion of Law:**

- The application conditionally meets Criterion (f). The applicant has identified CCDC as the responsible entity for maintaining open space and shared facilities. Final compliance will require submission of legally binding covenants prior to DPR approval. Subject to that condition, the proposal is consistent with PD-2 Master Plan intent and LMO Section 16-5-104.E.

**Summary:**

*Criteria g: Architectural guidelines and standards throughout the planned development.*

**Finding:**

- The application includes proposed architectural and community design guidelines addressing building materials (Hardie Plank, stucco, brick), color palette, roof forms, lighting, height, and fencing.
- The subject parcels are not located within the Corridor Overlay and the Town's Design Review Board would not review this project as part of a Development Plan Review.

**Conclusion of Law:**

- The proposed amendment satisfies Criterion (g) because it includes architectural and design standards consistent with PD-2 intent and requirements. These standards will ensure architectural cohesion and compatibility with surrounding development.

**Summary:**

*Criteria h: Acreage sufficient to accomplish the basic purposes and features as outlined above.*

**Findings:**

- The applicant's survey and conceptual plan demonstrate sufficient acreage (12.66 acres) to meet MED District density and development standards as defined in the concurrent LMO Text Amendment.
- The conceptual plan arranges townhomes and the multifamily building along the perimeter, using the internal road for site circulation.
- Flexibility for future site design modification may be limited due to the compact arrangement of building pads and parking areas.

**Conclusion of Law:**

- The proposal meets Criterion (h) because the 12.66-acre site provides adequate area to support proposed density, infrastructure, and open space requirements consistent with PD-2 standards. The acreage is sufficient to accommodate both current and future uses without creating adverse impacts to surrounding properties.

**Note: If the proposed amendment is approved by Town Council, such action shall be by ordinance to amend the Official PD-2 Zoning Map. If it is denied by Town Council, such action shall be by resolution.**

**PREPARED BY:**

MC  
Michael Connolly  
*Senior Planner*

October 27, 2025  
DATE

**REVIEWED BY:**

TL  
Trey Lowe  
*Development Services Manager*

November 11, 2025  
DATE

**REVIEWED BY:**

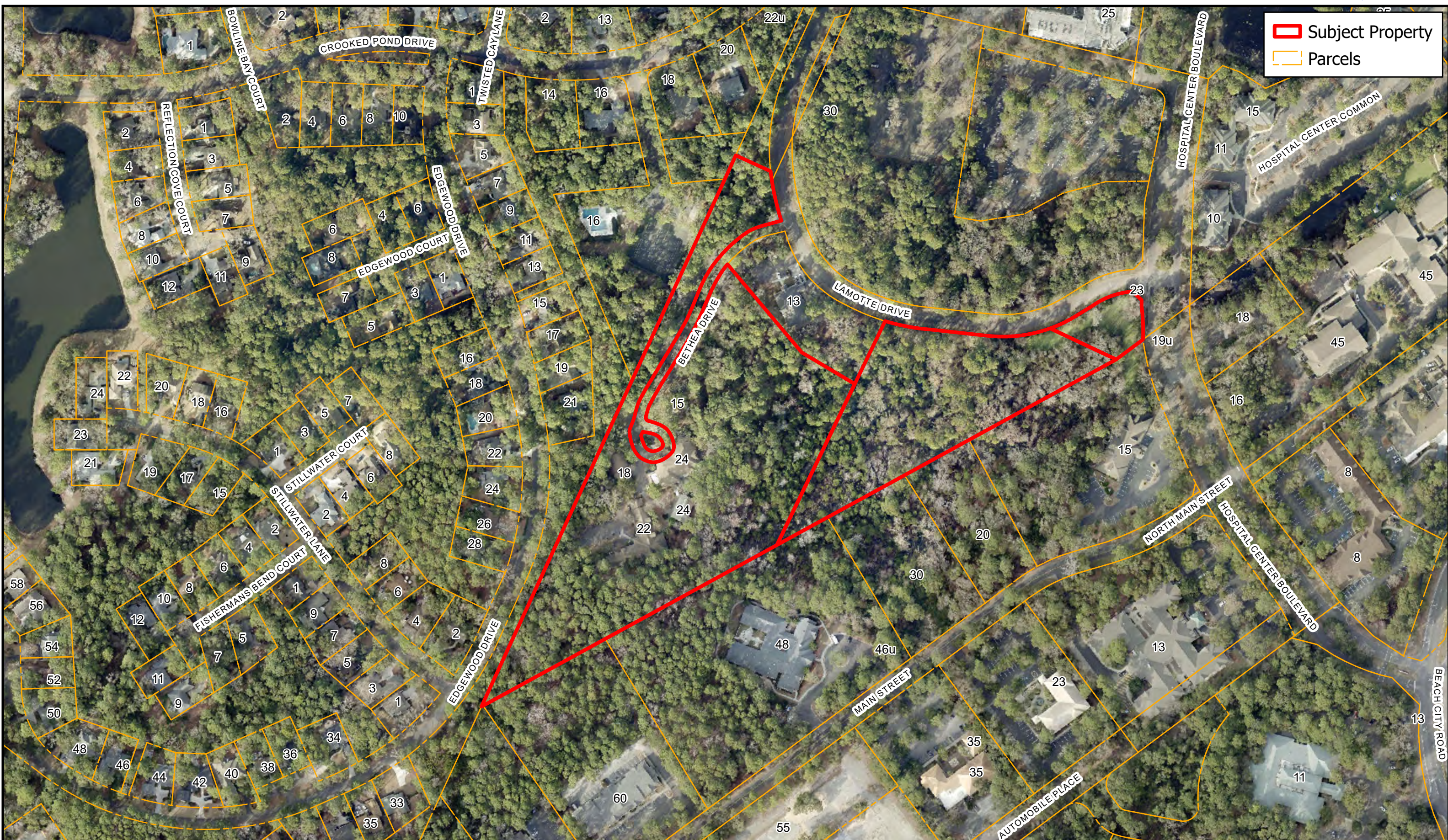
SL  
Shawn Leininger, AICP  
*Assistant Town Manager, Land Management  
Official, and Interim Director of Planning*

November 12, 2025  
DATE

**ATTACHMENTS:**

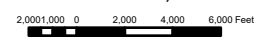
- A) Application Materials
- B) Location Map
- C) PD-2 Master Plan – CUR 3-88
- D) Current Use Map

 Subject Property  
 Parcels

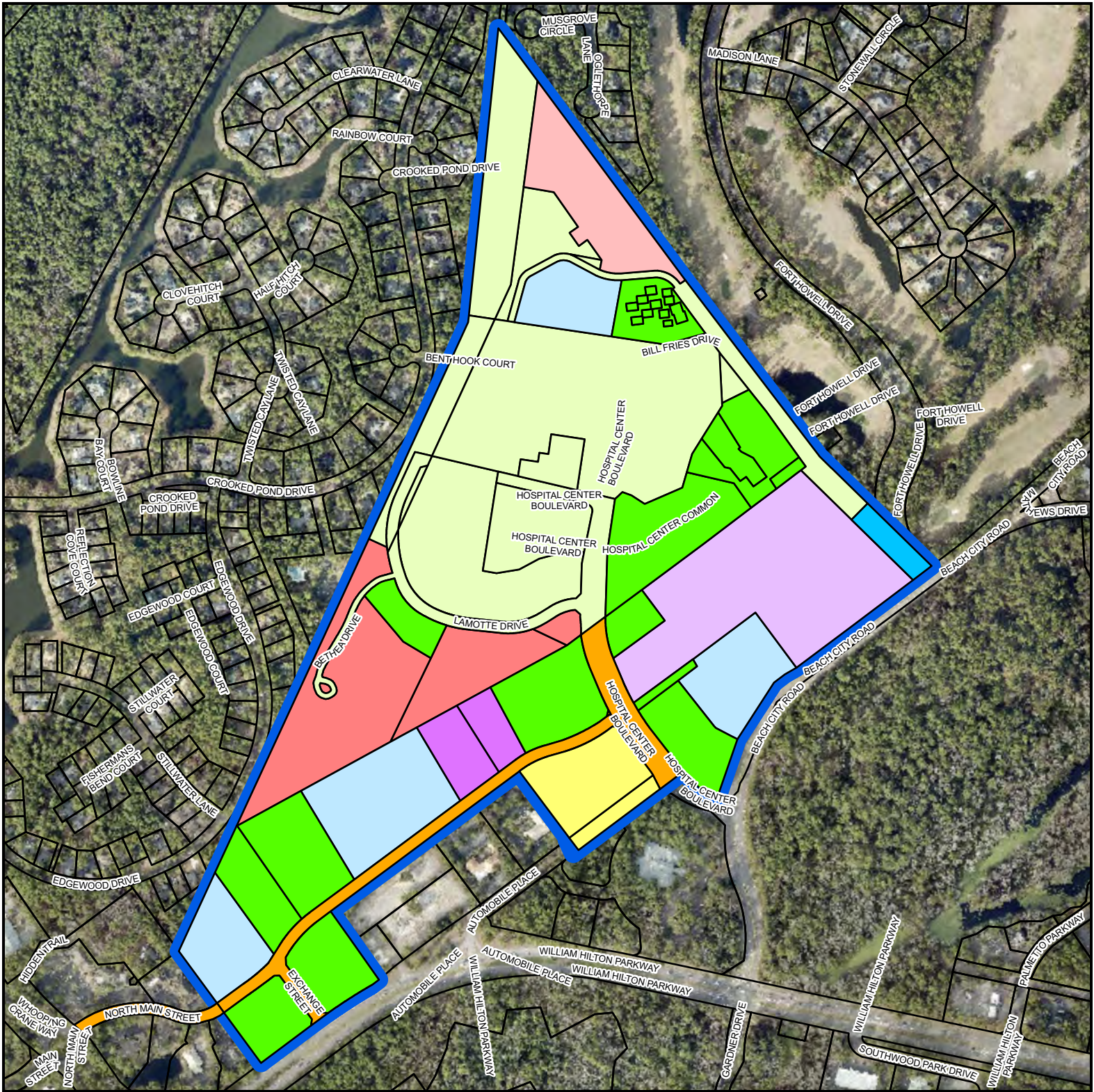


TOWN OF HILTON HEAD ISLAND  
 ONE TOWN CENTER COURT  
 HILTON HEAD ISLAND, S.C. 29928  
 PHONE (843) 341-4600  
 Date Created: Wednesday, July 30, 2025

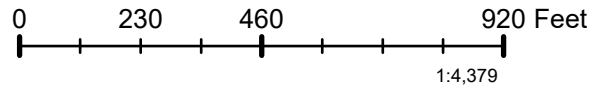
**Town of Hilton Head Island**  
 18 Bethea Dr. (R510 008 000 337A 0000), 30 Lamotte Dr. (R510 008 000 0452 0000), Unaddressed Parcel (R510 008 000 0337 0000)  
 October 17, 2025



The information on this map has been compiled from a variety of sources and is intended to be used only as a guide. It is provided without any warranty or representation as to the accuracy or completeness of the data shown. The Town of Hilton Head Island assumes no liability for its accuracy or state of completion or for any losses arising from the use of the map.



# Palmetto Headlands and Hilton Head Hospital PD-2 Master Plan - Current Use Map



- |   |   |
|---|---|
| <span style="display:inline-block; width:15px; height:15px; background-color:lightcoral; border:1px solid black;"></span> Proposed Novant Multifamily Housing | <span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span> Nursing Homes  |
| <span style="display:inline-block; width:15px; height:15px; background-color:pink; border:1px solid black;"></span> Multifamily                               | <span style="display:inline-block; width:15px; height:15px; background-color:limegreen; border:1px solid black;"></span> Mix of Other Health Services/Office Uses/Commercial Services |
| <span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span> Workforce Housing                       | <span style="display:inline-block; width:15px; height:15px; background-color:purple; border:1px solid black;"></span> Vacant Medical District Parcels                                 |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightpurple; border:1px solid black;"></span> Religious Institution              | <span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span> Town Owned Right of Way   |
| <span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span> Hospital                            | <span style="display:inline-block; width:15px; height:15px; background-color:blue; border:1px solid black;"></span> Palmetto Hall PUD Right of Way                                    |



**Note:** The Town of Hilton Head Island disclaims accountability for this product and makes no warranty express or implied concerning the accuracy thereof. Responsibility for interpretation and application of this product lies with the user. This map is not a legal document.



# TOWN OF HILTON HEAD ISLAND

## *Town Council*

**TO:** Mayor Alan R. Perry & Town Council Members  
**FROM:** Ben Brown, Director of Strategic Initiatives  
**CC:** Marc Orlando, ICMA-CM, Town Manager  
Shawn Leiningner, Deputy Town Manager  
Curtis Coltrane, Town Attorney  
**DATE:** February 10, 2026  
**SUBJECT:** Consideration of a Resolution of the Town of Hilton Head Island Town Council Approving a Sponsorship Agreement with the Heritage Classic Foundation to Support the 2026 RBC Heritage Golf Tournament

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### **RECOMMENDATION:**

Consideration of a Resolution of the Town of Hilton Head Island Town Council approving a Sponsorship Agreement with the Heritage Classic Foundation to support the 2026 RBC Heritage Golf Tournament.

The Finance & Administrative Committee recommended approval of the enclosed Resolution and the 2026 RBC Heritage Sponsorship Agreement on January 12, 2026, by a vote of 3–0.

### **BACKGROUND:**

The Town has historically served as a sponsor of the RBC Heritage Golf Tournament.

The proposed 2026 Sponsorship Agreement, included as Attachment 1, requests that the Town maintain its financial sponsorship at \$400,000, consistent with the Town's contribution in 2025. In exchange, the Town will continue to receive recognition as a sponsor across a variety of the tournament's promotional materials.

The 2025 RBC Heritage Golf Tournament attracted an estimated 120,000 attendees to Hilton Head Island during tournament week. The event is estimated to generate approximately \$135 million in annual economic impact for the State of South Carolina.

### **ATTACHMENTS:**

1. Resolution to Approve the 2026 RBC Heritage Sponsorship Agreement
2. 2026 RBC Heritage Presented by Boeing Sponsorship Agreement

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF  
HILTON HEAD ISLAND, SOUTH CAROLINA, AUTHORIZING THE  
EXECUTION AND DELIVERY OF A SPONSORSHIP AGREEMENT FOR THE  
2026 “RBC HERITAGE PRESENTED BY BOEING,” AND THE COMPLETION  
OF THE OBLIGATIONS OF THE TOWN DESCRIBED IN THE  
SPONSORSHIP AGREEMENT**

WHEREAS, the 2026 “RBC Heritage Presented by Boeing” is a major PGA Tour event that will take place on the Harbour Town Golf Links, in Sea Pines Resort, in the Town of Hilton Head Island on April 13 – 19, 2026; and,

WHEREAS, the “RBC Heritage Presented by Boeing” draws many thousands of visitors from across the United States and the world to the Town of Hilton Head Island, South Carolina; and,

WHEREAS, the “RBC Heritage Presented by Boeing” has an economic impact on the Town of Hilton Head Island, South Carolina, in the tens of millions of dollars; and,

WHEREAS, the “RBC Heritage Presented by Boeing” provides an unparalleled opportunity for the Town of Hilton Head Island, South Carolina, to showcase the Town as a desirable destination for vacationers and permanent residents to a wide audience; and,

WHEREAS, the Town of Hilton Head Island, South Carolina, has purchased sponsorships of the “RBC Heritage Presented by Boeing” in previous years, and has determined that sponsorships have been beneficial to the Town and its citizens and residents; and,

WHEREAS, the Town of Hilton Head Island, South Carolina, has determined that same benefits will accrue from the purchase of a sponsorship for the 2026 “RBC Heritage Presented by Boeing,” as in the past, and that the participation of the Town of Hilton Head Island, South Carolina, as a sponsor is in the best interests of the Town and its citizens, residents, property owners, and businesses.

**NOW, THEREFORE, BE IT, AND IT HEREBY IS, RESOLVED BY THE TOWN COUNCIL FOR THE TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA:**

- (a) the Town Council hereby approves the purchase of a sponsorship for the 2026 “RBC Heritage Presented by Boeing” for the sum of Four Hundred Thousand and no/100 (\$400,000.00) Dollars, all as is described in the 2026 “Heritage Presented by Boeing” Sponsorship Agreement that is attached hereto as Exhibit “A.”
- (b) The Mayor and Town Manager are authorized to execute and deliver the 2026 “Heritage Presented by Boeing” Sponsorship Agreement, and to take all other and further actions as are necessary to fulfill the Town’s obligations under the terms of the Agreement.

**MOVED, APPROVED, AND ADOPTED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2026.**

**TOWN OF HILTON HEAD ISLAND,  
SOUTH CAROLINA**

**By:** \_\_\_\_\_  
Alan R. Perry, Mayor

**ATTEST:**

\_\_\_\_\_  
Kimberly Gammon, Town Clerk

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Curtis L. Coltrane, Town Attorney

**EXHIBIT "A" TO RESOLUTION APPROVING 2026 RBC HERITAGE PRESENTED BY  
BOEING SPONSORSHIP AGREEMENT**

**TOWN OF HILTON HEAD ISLAND  
BEAUFORT COUNTY, SOUTH  
CAROLINA**

**2026 RBC Heritage Presented by Boeing  
Sponsorship Agreement**



# **TOWN OF HILTON HEAD ISLAND**

*RBC Heritage Presented by Boeing*

*April 13-19, 2026*

THIS AGREEMENT made this \_\_\_\_\_ day of \_\_\_\_\_, 2026, by and among HERITAGE CLASSIC FOUNDATION (hereinafter referred to as “Heritage”), a South Carolina not-for-profit corporation and the TOWN OF HILTON HEAD ISLAND (hereinafter referred to as “TOWN”).

## **W I T N E S E T H**

WHEREAS, Heritage contracts annually with the PGA TOUR, Inc. (hereinafter sometimes referred to as “PGA TOUR”) to conduct a PGA TOUR sanctioned golf tournament known as the RBC Heritage Presented by Boeing (the “Tournament”) on the Harbour Town Golf Links (the “Golf Course”) in Sea Pines Resort, Hilton Head Island, South Carolina, such contracts to be hereinafter referred to as the “PGA TOUR Agreement”;

WHEREAS, the Tournament provides significant economic impact and publicity to the Town of Hilton Head Island and;

WHEREAS, TOWN desires to become a non-named sponsor of the Tournament under the terms and conditions set forth herein.

NOW, THEREFORE for valuable consideration, the receipt and sufficiency whereof are hereby acknowledged, the parties hereto agree as follows:

The above WHEREAS clauses are hereby incorporated into the body of this agreement.

### **1. DURATION**

The Agreement shall begin upon the date of signing of this agreement and concluding December 31st, 2026; provided, however, in the event Heritage enters into an agreement with a title sponsor or with a title and presenting sponsor for more than one year, then the term shall be the same as that in the title/presenting sponsor agreements but not beyond 2026.

### **2. TOURNAMENT NAME AND LOGO**

Any use of the tournament name and logo is prohibited without the written consent of the Heritage. The rights to use the tournament name and logo are reserved for official marketing partners only. Exceptions to this rule could be made for the purposes of client gifting, apparel, client invitations and other branded items used to execute hospitality with written consent.

The Tournament shall be known as the “RBC Heritage Presented by Boeing.” **Promotional materials must be approved by the Heritage Classic Foundation before they are put into use, that includes the OFFICIAL Tournament mention. Such materials must be sent to the Heritage for approval at least 48 hours prior to scheduled production.**

Heritage reserves the right to change the name of the Tournament and the official logo. If a change is made, TOWN agrees to refer to the Tournament by the new name and to use the new name from the date of being notified by Heritage of a change in name or official logo.

### **3. PRIVILEGES**

Heritage accepts and designates TOWN as an Official sponsor of the Tournament for the term of this agreement.

Heritage will provide or cause to be provided to TOWN the following, upon request and without cost, for the use by TOWN personnel and their guests:

- a) TOWN will receive an upper tier logo placement in the Official Pairings Guide, Wednesday through Sunday of Tournament week;
- b) TOWN will receive one (1) full page four (4) color ad in the Official Pairings Guide;
- c) TOWN will receive a listing and link on the official website [www.rbheritage.com](http://www.rbheritage.com);
- d) TOWN will receive a listing on the Tournament's Official video boards, Tuesday through Wednesday of Tournament week;
- e) TOWN will receive an upper tier placement on the year-round Sponsor Board;
- f) TOWN will receive a listing in the Official Media Guide;
- g) TOWN will provide the Official Welcome Message on the Bus DVD's and placement of one (1) thirty (30) second commercial ad within the running time on the video boards located on the Heritage Lawn.
- h) TOWN will receive the ability to connect with spectators onsite in an activation space, size and location that is mutually agreed upon by the parties. Tent, staged flooring, carpet and power will be provided by Heritage. TOWN will be responsible from the activation branding, manpower and activities.

### **4. FEE**

TOWN agrees to pay Four Hundred Thousand Dollars (\$400,000) due no later than April 1, 2026. The sponsorship fee for the Privileges listed in Item #3 above will support the operational needs of the Tournament, including but not limited to transportation and marketing. Further, this contract may be terminated and all the rights and privileges under this Agreement shall be forfeited if payment of the Sponsor fee is not paid within ten (10) days of being given written notice by Heritage that the Sponsor fee has not been paid. In addition to the forfeiture of all privileges, a default under this Agreement which is not timely cured shall also result in the forfeiture of all money paid to date as liquidated damages. Time shall be of the essence regarding the provisions of this section.

## **5. INDEMNIFICATION**

Heritage agrees to hold harmless Town, its subsidiaries, successor and assigns from and against all claims, damages, issues and expenses including reasonable attorney's fees, arising out of or resulting from the Tournament or any of its related activities, provided that any such claims, damages, lost or expense (1) is attributed to bodily injury or property damage, and (2) is cause in whole or in part by any negligent act or omission of Heritage and not proximately cause by Town.

Town agrees that its use of Tournament facilities and the skybox/tent and its related activities shall be under the sole and exclusive control of the Town. Town shall maintain insurance through the South Carolina Insurance Reserve Fund that is consistent with the limits and requirements of the South Carolina Tort Claims Act [S. C. Code Ann. § 15-78-10, et seq. (Supp. 2024)].

## **6. WARRANTIES AND REPRESENTATIONS**

For the term of this Agreement, Heritage warrants and represents to TOWN:

- i. Heritage has the authority to enter into this Agreement and has obtained all permissions and consents necessary to fulfill Heritage's obligations under this Agreement;
- ii. The Tournament will be sanctioned as a scheduled event on the PGA TOUR and televised live by The Golf Channel and CBS;
- iii. Heritage has a valid cosponsor Agreement with the PGA TOUR for the Tournament;
- iv. The Tournament will be held principally to raise proceeds for charity and a substantial majority of Tournament personnel will be volunteers.

## **7. CANCELLATION OF THE TOURNAMENT**

In the event the Tournament or portions of the Tournament are cancelled due to inclement weather or other event (such as acts of God, earthquakes, tornadoes, hurricanes, malicious mischief, flood, insurrections, riots, labor disturbances, public enemy/terrorist activity, war, epidemics, pandemics, explosives, court orders or injunctions beyond the reasonable control of Heritage) during the Tournament or within thirty (30) days prior to the Tournament, Heritage shall have no obligation to refund any portion of the fee paid by TOWN to date.

Should TOWN cancel the Agreement at any time the following cancellation percentage will apply:

- Signing of Agreement to 120 Days of Tournament: 25% of Fee retained by Heritage
- Signing of Agreement to 90 Days of Tournament: 50% of Fee retained by Heritage
- Signing of Agreement to 60 Days of Tournament: 75% of Fee retained by Heritage
- Signing of Agreement to 30- 0 Days of the Tournament: 100% of Fee retained by Heritage

The cancellation percentage will also apply to multiple year Agreements.

## 8. MISCELLANEOUS

- a) No person not a party to this Agreement shall have any equitable or other rights by virtue of this Agreement.
- b) If any term or provision of this Agreement should be determined to be invalid or unenforceable, such term or provision shall, if possible, be changed to the most minor extent necessary to make it valid and enforceable and to carry out the intent of the parties. In such event, all remaining terms and provisions of this Agreement shall remain in full force and effect with such change or without the effected term or provision, as the case may be.
- c) This Agreement constitutes the entire agreement of the parties and supersedes all prior written and all contemporaneous oral agreements, understandings, and negotiations between the parties.
- d) This Agreement may be executed in several counterparts, each of which shall be an original and all of which shall constitute one and the same documents.
- e) This Agreement and any rights herein granted are personal to the parties hereto, and shall not be assigned, sublicensed, encumbered, or otherwise transferred by any party without the prior written consent of the parties. Any attempt at volatile assignment, sublicense, encumbrance, or other transfer, whether voluntary or by operation of law, shall be void and of no force and effect.
- f) Failure of any party to complain of any act or omission on the part of any other party, no matter how long the same may continue, shall not be deemed to be a waiver by any party of its rights under this Agreement.
- g) This Agreement shall be binding on the parties hereto, their successors, assigns and legal representatives.
- h) Notice by any party is deemed given when personally delivered or mailed, postage prepaid, addressed to the other parties at the address appearing below.
- i) In the event either party must resort to litigation to protect or enforce its rights hereunder, the prevailing party is entitled to recover its reasonable attorney's fees and costs.

**HERITAGE  
CLASSIC  
FOUNDATION**

Simon Fraser, Chairman  
Heritage Classic Foundation  
Post Office Box 3244  
Hilton Head Island, SC 29928

**TOWN OF HILTON HEAD ISLAND**

(name) \_\_\_\_\_

(company) \_\_\_\_\_

(address) \_\_\_\_\_

(city, state, zip) \_\_\_\_\_

WITNESSETH WHEREOF, the parties hereto have caused this Agreement to be executed as of the day and year first above written.

***HERITAGE CLASSIC FOUNDATION***

By: \_\_\_\_\_

Its: \_\_\_\_\_

Date: \_\_\_\_\_

***TOWN OF HILTON HEAD ISLAND***

By: \_\_\_\_\_

Its: \_\_\_\_\_

Date: \_\_\_\_\_



# TOWN OF HILTON HEAD ISLAND

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## TOWN COUNCIL

**TO:** Town Council  
**FROM:** Angie Stone, Assistant Town Manager  
**CC:** Marc Orlando, ICMA-CM, Town Manager  
**DATE:** February 10, 2026  
**SUBJECT:** Consideration of an Ordinance to Amend the Town of Hilton Head Island Municipal Code Title 2, Chapter 11, Section 2-11-40 to Modify the Practice Location Requirement for the Town Attorney

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### **RECOMMENDATION:**

Consider approval of an Ordinance to Amend the Town of Hilton Head Island Municipal Code Title 2, Chapter 11, Section 2-11-40 to Modify the Practice Location Requirement for the Town Attorney (Attachment 1).

### **BACKGROUND:**

Town of Hilton Head Island Municipal Code Title 2, Chapter 11, Section 2-11-40 currently requires that the Town Attorney have a practice established in the town. That requirement significantly limits the number of attorneys eligible to serve in this capacity.

### **SUMMARY:**

The proposed revision broadens the field to include attorneys with a practice established within Beaufort County. The change continues to focus on attorneys familiar with the complexities and nuances of our area while removing the overly restrictive requirement that their practice be located on the Island.

### **ATTACHMENTS:**

1. Title 2, Chapter 11, Sec 2-11-40 Revision.

AN ORDINANCE OF THE TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA, AMENDING § 2-11-40, MUNICIPAL CODE OF THE TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA (1983), AND PROVIDING FOR SEVERABILITY AND AN EFFECTIVE DATE.

BE IT ORDERED AND ORDAINED BY THE TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA, AND IT IS ORDAINED BY THE AUTHORITY OF THE TOWN COUNCIL AS FOLLOWS.

**Section 1. Findings and Conclusions.** The Town Council finds:

- a. § 2-11-40, *Municipal Code of the Town of Hilton Head Island, South Carolina (1983)*, includes a restriction requiring that individual appointed to serve as the Town Attorney must maintain on office in the municipal limits of the Town.
- b. § 2-11-40, *Municipal Code of the Town of Hilton Head Island, South Carolina (1983)*, includes text that requires grammatical revisions and revisions to conform to the practice by the Town.
- c. The Town Council finds and concludes that amendments to § 2-11-40, *Municipal Code of the Town of Hilton Head Island, South Carolina (1983)*, to expand the geographical area from which the Town Attorney may be appointed, and to make grammatical changes and conform the text to existing practice are in the best interest of the Town.

**Section 2. Amendment.** Section 2-11-40 of the Municipal Code of the Town of Hilton Head Island related to the office of the Town Attorney is amended to expand the geographical area from which the town attorney may be selected, and to make grammatical changes and to conform the text to current practice. Newly added language is illustrated with underline and deleted language is illustrated with ~~strikethrough~~.

**§ 2-11-40. - Town attorney.**

- (a) Town Council shall appoint an attorney whose designation shall be the town attorney. The town attorney shall serve under the terms of a contract negotiated by and between town council and the town attorney on such terms and conditions as each deems advisable and prudent; provided, however, that any such contract shall expire on June 30 of the final year of the term of the contract.

(b) The town attorney must be a reputable member of the South Carolina Bar and be admitted to practice law in South Carolina with a practice established within ~~the town~~ Beaufort County, South Carolina.

(c) It shall be the duty of the town attorney whenever called upon by council, or the necessity arises, to give ~~his~~ advice to the council, or any member thereof, or to the Town Manager, municipal clerk and other town employees on any and all legal questions which may arise in the course of the administration of the town government, or in the discharge of the duties of their respective offices; and whenever required to do so by the town council, ~~he~~ the town attorney shall give ~~his~~ the town attorney's legal opinion in writing. ~~He~~ The town attorney shall draw or supervise the drawing or drafting of all ordinances, and other instruments of writing ~~relative~~ related to the business of the town when required to do so by the mayor or council. The town attorney shall approve all ordinances and resolutions as to their form prior to or concurrent with final passage of the ordinance or resolution. ~~He~~ The town attorney shall attend all of the regular meetings, and executive sessions of the council when directed by the mayor. ~~He~~ The town attorney shall perform such other duties as required by the council. The town attorney shall receive such compensation for the discharge of the town attorney's duties as fixed by resolution of the town council.

**Section 2. Severability.** If any section, phrase, sentence or portion of this Ordinance is for any reason held invalid or unconstitutional by a court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions thereof.

**Section 3. Effective Date.** This Ordinance shall become effective upon its adoption by the Town Council.

**PASSED, APPROVED, AND ADOPTED BY THE COUNCIL FOR THE TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA, ON THIS \_\_\_\_\_ DAY OF MARCH, 2026.**

THE TOWN OF HILTON HEAD ISLAND,  
SOUTH CAROLINA

\_\_\_\_\_  
Alan R. Perry, Mayor

ATTEST:

\_\_\_\_\_  
Kimberly Gammon, Town Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Curtis L. Coltrane

First Reading: February 10, 2026.

Second Reading: \_\_\_\_\_