



Town of Hilton Head Island

Design Review Board Meeting

Wednesday, January 28, 2026, 2:30 PM

**1 Town Center Court, Hilton Head Island, SC
Benjamin M. Racusin Council Chambers**

The Design Review Board meeting will be held in person at Town Hall in the Benjamin M. Racusin Council Chambers.

- 1. Call to Order**
- 2. Adoption of the Agenda**
- 3. Approval of the Minutes**
 - a. Regular Meeting Minutes of January 14, 2026
- 4. Unfinished Business**
 - a. DRB-000045-2026 - Shelter Cove Expansion Phase 2 - Final
- 5. New Business**
 - a. DRB-001208-2025 - 840 William Hilton Parkway - The Atrium Building - Conceptual
- 6. Public Comment - Non Agenda Items**
- 7. Board Business**
- 8. Staff Reports**
- 9. Adjournment**

FOIA Compliance: Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Hilton Head Island will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. Auditory accommodations are available. Any person requiring further

accommodation should contact the Town of Hilton Head Island ADA Coordinator as soon as possible but no later than 48 hours before the scheduled event.

Municipal Association of South Carolina (MASC) Civility Pledge:

“I pledge to build a stronger and more prosperous community by advocating for civil engagement, respecting others and their viewpoints, and finding solutions for the betterment of my city or town.”



Town of Hilton Head Island DESIGN REVIEW BOARD MEETING Wednesday, January 14, 2026, 2:30 PM Minutes

1. Call to Order

Chair Carstens called the meeting to order at 2:30 p.m.

In attendance: Judd Carstens, Annette Lippert, Todd Theodore, Megan Fitzpatrick, Patricia Pastor, and Cathy Foss.

2. Adoption of the Agenda

Mr. Theodore made a motion to adopt the agenda. Ms. Foss seconded. The motion passed unanimously.

3. Approval of the Minutes

- a. Regular Meeting Minutes of December 23, 2025.

Ms. Pastor made a motion to approve the minutes of December 23, 2025. Ms. Foss seconded. The motion passed unanimously.

4. Unfinished Business

5. New Business

6. Public Comment - Non Agenda Items

7. Board Business

- a. Design Guide Update Discussion

Principle Planner Melissa Paul-Leto presented the existing Design Guide with the board's comments and assigned the board with reviewing each comment and selecting whether they agree, need further discussion, or do not agree. The board will provide their selections and additional comments at the January 28, 2026, meeting to staff. At that meeting, the staff will provide the board with new photos taken from their suggestions.

8. Staff Reports

9. Adjournment

The meeting was adjourned at 3:10 p.m.

**Shelter Cove Park expansion
Phase 2
Final
January 28, 2026
DRB-000045-2026**



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

DRB-0045-26

| | |
|-----------------------|---------|
| FOR OFFICIAL USE ONLY | |
| Date Received: | 1/15/26 |
| Accepted by: | |
| DRB #: | |
| Meeting Date: | |

Applicant/Agent Name: Stephen Barnes Company: HAI
 Mailing Address: 1 Town Center City: Hilton Head State: SC Zip: 29
 Telephone: 843-384-9018 Fax: _____ E-mail: stephen.B@hiltonheadislandsc.gov
 Project Name: Shelter Cove Park Project Address: 39 Shelter Cove Ln
 Parcel Number [PIN]: R 520 012 000 000 2 000 0
 Zoning District: _____ Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:

- Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
- Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development

- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- _____ A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- _____ Context photographs of neighboring uses and architectural styles.
- _____ Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- _____ Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

_____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.

_____ Final site development plan meeting the requirements of Appendix D: D-6.F.

_____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.

_____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

_____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

_____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

_____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.

_____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

_____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

_____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

_____ Proposed landscaping plan.

For wall signs:

_____ Photograph or drawing of the building depicting the proposed location of the sign.


_____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.
A representative for each agenda item is strongly encouraged to attend the meeting.

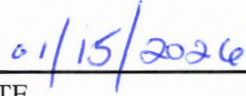
Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



 SIGNATURE



 DATE



PUBLIC PROJECT REVIEW NARRATIVE

Shelter Cove Community Park Parcel Number: R510 008 000 008D 0000

The Town of Hilton Head Island is proposing the development of Phase 2 at Shelter Cove Community Park, located at 35 Shelter Cove Lane. This expansion will replace the current playground with a larger, inclusive play area within a secure, fenced perimeter. A new waterfront promenade will be installed to match the design from Phase 1.

The project also includes 50 additional parking spaces, which have been carefully positioned to preserve several large live oaks. A new walking path will meander through the site's mature oak canopy, featuring benches, picnic tables, trellis swings, and an observation platform where visitors can enjoy the scenic views and shade.



SHELTER COVE

January 12, 2026

Stephen Barnes
Town of Hilton Head Island
1 Town Center Ct.
Hilton Head Island, SC 29928

Delivered via Email

RE: Phase Two – Shelter Cove Community Park

Dear Stephen,

The Shelter Cove Company's ARB received your proposal package for the planned Phase Two addition to the Shelter Cove Community Park, as submitted and presented on December 16, 2025.

The ARB has reviewed and approved the Phase Two expansion as submitted in the requested package, with the following exceptions.

- Continued coordination with Shelter Cove Company regarding timelines, construction start dates, expected completion dates to ensure continuity of community messaging.
- Obtain any required permits, if applicable, by the TOHHI.
- Receipt of \$10,000.00 New Construction Compliance Deposit payable to the Shelter Cove Company prior to construction initiation.

If you have any questions, do not hesitate to contact the SCC office at (843) 310-0431 or by email at manager@sheltercovehc.org

With Kindest Regards,

Kimberly Cheatle

Kimberly Cheatle
Managing Director

From: [Brian Witmer](#)
To: [Melissa Paul-Leto](#); [Erin Duckwall](#); [Stephen Barnes](#)
Subject: Shelter Cove DRB submission
Date: Tuesday, January 13, 2026 4:31:31 PM

Melissa,
Attached is our submission for final DRB review.
Please note we have addressed the four comments below.

1. We have provided photometrics for the up and down lights. The bollard light manufacturer does not have photometrics but it's the same bollard from phase one and we are using the sustame spacing.
2. We have adjusted the fence and provided room for the landscape to meander / curve.
3. All materials are specified in the CD set. If you would like us to bring specific materials / color to the DRB meeting let us know.
4. We attached the illustrative for the observation deck in the CD set.

Thank you for your help.

Sincerely,

--

Brian Witmer, RLA

Principal

Witmer Jones Keefer, Ltd.

Landscape Architecture · Land Planning

M 843.290.9099

O 843.757.7411

23 Promenade Street, Suite 201, Bluffton, SC 29910

www.wjkltd.com

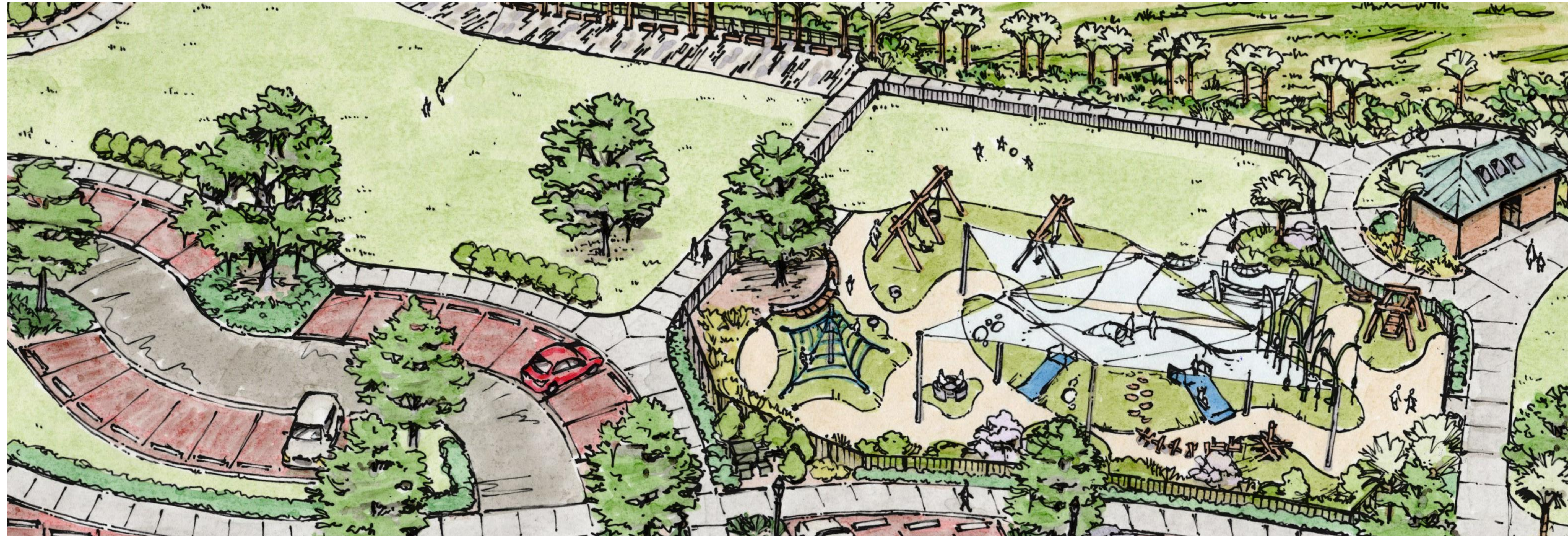


[Shelter-Cove_Phase-2_LS_.pdf](#)

**Shelter Park Park Expansion
Phase 2
Plan Set
January 28, 2026
DRB-000045-2026**

SHELTER COVE PARK - PHASE 2

HILTON HEAD ISLAND



CONSULTANT INFO

ALL TOPOGRAPHY, EXISTING TREES, SITE BOUNDARY, SITE SURVEY DATA, ETC. WERE TAKEN FROM DIGITAL FILES PROVIDED BY:

ATLAS SURVEYING INC.
RIDGELAND, SC.
(843) 645.9277

ALL CIVIL ENGINEERING INFORMATION WAS TAKEN FROM DIGITAL FILES PROVIDED BY:

THOMAS AND HUTTON ENGINEERING
SAVANNAH, GA.
(912) 234.5300

ISSUED: DECEMBER 12, 2025

CONTACT

WITMER JONES KEEFER
23 PROMENADE ST., SUITE 201
BLUFFTON, SC. 29910
(843) 757.7411
WWW.WJKLTD.COM

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THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS FOR SHELTER COVE - PHASE 2

39 SHELTER COVE LANE
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
PROJECT NO.: 22062.15
DRAWN BY: CK, ED
CHECKED BY: BW

DRB SUBMITTAL SET

REVISIONS:

DRAWING TITLE
COVER SHEET

DRAWING NUMBER

CS

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 IN ANY FORM WITHOUT PRIOR WRITTEN
 CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS
 FOR
SHELTER COVE - PHASE 2
 39 SHELTER COVE LANE
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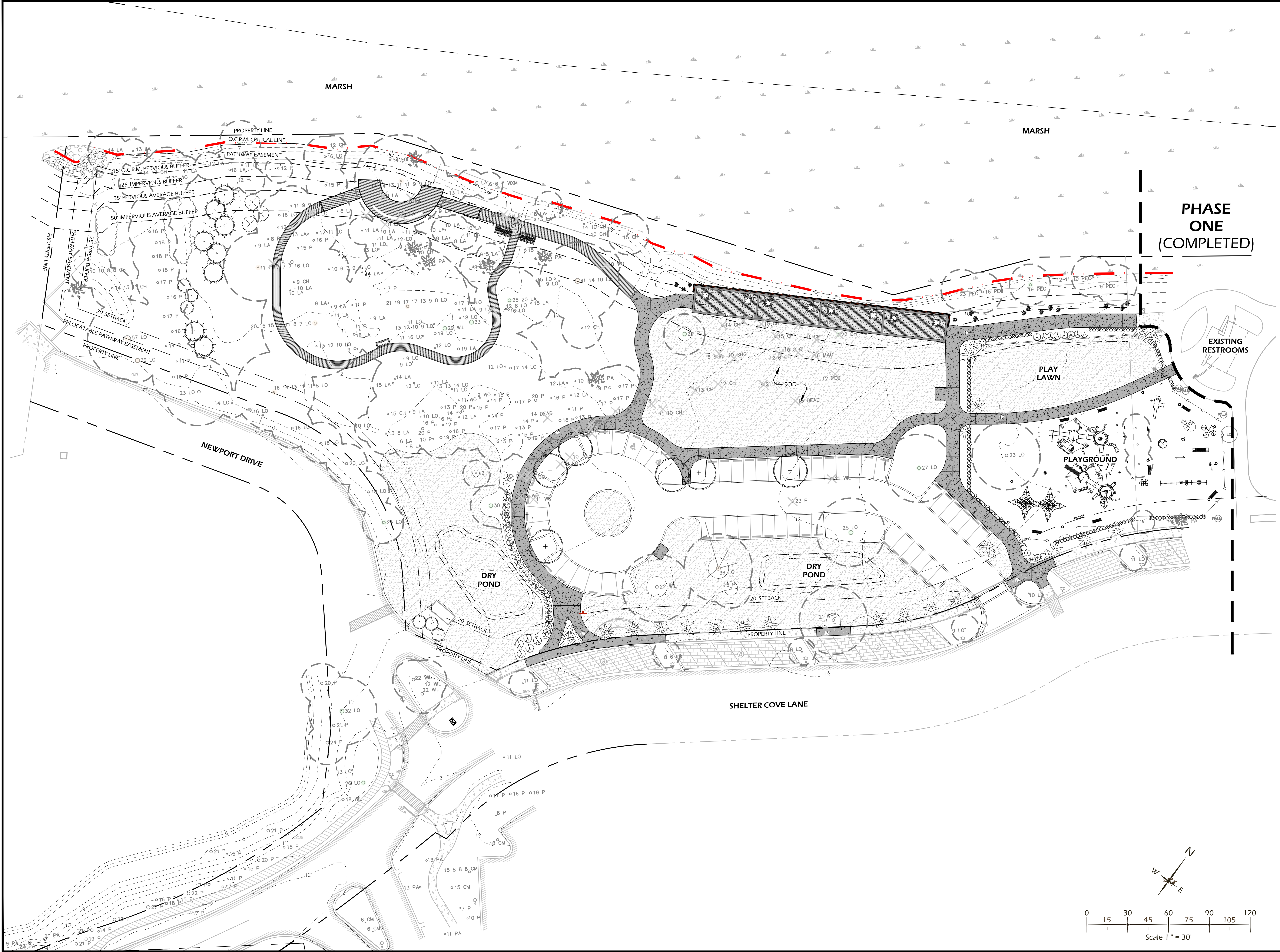
DRB SUBMITTAL SET

REVISIONS:

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DRAWING TITLE
**REFERENCE PLAN
 PROPOSED CONDITIONS**

DRAWING NUMBER
L11



GENERAL NOTES:

- 1. ALL CONSTRUCTION DETAILS, LAYOUT, GRADING, UTILITIES, PROPERTY LINES, ETC. MUST BE FIELD VERIFIED WITH ANY DISCREPANCIES REPORTED TO THE OWNERS OR OWNERS REPRESENTATIVE. ALL CONSTRUCTION MUST ADHERE TO OR EXCEED REGULATIONS AND CODES OF THE AMERICANS WITH DISABILITIES ACT, ALL NATIONAL, STATE, LOCAL AND OTHER REGULATIONS. THE PLANNING MATERIAL IS NOT TO BE CONSIDERED AS A SUBSTITUTE FOR ANY WRONGLY CONSTRUCTION PRACTICES.
- 2. EXISTING SITE INFORMATION TAKEN FROM SURVEY PREPARED BY: SURVEYING CONSULTANTS, DATED 2-4-22, REVISED 2-16-22. THE EXISTENCE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AND CONSTRUCTION INDICATED AS EXISTING ARE NOT GUARANTEED.
- 3. OWNER OR OWNER'S SITEWORK: INVESTIGATE AND VERIFY THE EXISTENCE AND LOCATION OF EXISTING ITEMS, INCLUDING UNDERGROUND UTILITIES AND OTHER CONSTRUCTION AFFECTING THE WORK. NOTIFY W.J.K. LTD. AND THE OWNER OR OWNERS REPRESENTATIVE IN WRITING OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS IN THE FIELD AND THE SURVEY SHOWN ON THE PLANS BEFORE PROCEEDING WITH ANY NEW CONSTRUCTION.
- 4. REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING INFORMATION.
- 5. REFER TO UTILITY PLANS FOR GRADING, DEMO, ROADS, AND UTILITIES INFORMATION.
- 6. FINISH ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY FOR ALL CONSTRUCTION, PROTECTION, MAINTENANCE AND RELATED ITEMS TO COMPLETE WORK INDICATED ON THE DRAWINGS.
- 7. LOCATE AND INSTALL WORK INDICATED ON THE DRAWINGS ACCURATELY, IN CORRECT ALIGNMENT AND ELEVATION, AS SPECIFIED BY THE CONTRACTOR.
- 8. COMPLY WITH MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS FOR INSTALLING PRODUCTS IN APPLICATIONS INDICATED.
- 9. INSTALL SITE IMPROVEMENTS AND PRODUCTS AT THE TIME AND UNDER CONDITIONS THAT WILL ENSURE THE BEST POSSIBLE RESULTS. MAINTAIN CONDITIONS REQUIRED FOR PROTECT PERFORMANCE UNTIL SUBSTANTIAL COMPLETION. PROVIDE FINAL PROTECTION AND MAINTAIN CONDITIONS THAT ENSURE INSTALLED SITE IMPROVEMENTS ARE WITHOUT DAMAGE OR DETERIORATION AT TIME OF SUBSTANTIAL COMPLETION.
- 10. COOPERATE FULLY WITH SEPARATE CONTRACTORS WORKING UNDER SEPARATE CONTRACTS SO WORK ON THOSE CONTRACTS MAY BE CARRIED OUT SMOOTHLY, WITHOUT INTERFERING WITH OR DELAYING WORK UNDER THIS CONTRACT OR OTHER CONTRACTS. COORDINATE THE WORK OF THIS CONTRACT WITH WORK PERFORMED UNDER SEPARATE CONTRACTS.
- 11. COORDINATE CONSTRUCTION OPERATIONS OF DIFFERENT TRADES TO ENSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS, OF DIFFERENT TRADES, THAT DEPEND ON EACH OTHER FOR PROPER INSTALLATION ON THE SAME DAY.
- 12. OBTAIN ALL REQUIRED CONSTRUCTION RELATED PERMITS FROM AUTHORITIES HAVING JURISDICTION, INCLUDING DEMOLITION PERMIT, BEFORE STARTING WORK. RETAIN COPIES OF ALL PERMITS AT THE PROJECT SITE AT ALL TIMES.
- 13. ALL CONSTRUCTION SHALL CONFORM TO OR EXCEED THE PRODUCT MANUFACTURER'S RECOMMENDATIONS AND CODES, REGULATIONS, AND MINIMUM STANDARDS OF AUTHORITIES HAVING JURISDICTION.
- 14. COMPLY WITH LIMITATIONS ON THE USE OF PUBLIC STREETS AND OTHER REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
- 15. NOTIFY AUTHORITY HAVING JURISDICTION INSPECTIONS 24-HOURS IN ADVANCE PRIOR TO BEGINNING EVERY PHASE OF THE CONSTRUCTION PROCESS.
- 16. AT THE DIRECTION OF THE OWNER OR OWNERS REPRESENTATIVE, NOTIFY ELECTRICAL, WATER, SEWER, NATURAL GAS, TELEPHONE, AND CABLE/TV UTILITY PROVIDER AGENCIES 24-HOUSE PRIOR TO THE BEGINNING OF ANY PHASE OF THE CONSTRUCTION PROCESS. LIAISON WITH SAID UTILITY COMPANIES IN THE PROCESS OF LOCATION AND RELOCATION OF AND TIE-IN TO PUBLIC UTILITIES.
- 17. CONTACT UTILITIES PROTECTION CENTER PRIOR TO ANY EXCAVATION.
- 18. MAINTAIN FULL [COLOR] SETS OF THE CONTRACT DOCUMENTS ON-SITE FOR REFERENCE AND FOR REVIEWS BY AUTHORITIES HAVING JURISDICTION FOR INSPECTIONS.
- 19. CLEARLY MARK AND IDENTIFY ALL BUFFERS AND TREE SAVE AREAS BY FLAGGING AND/OR FENCING BEFORE COMMENCEMENT OF ANY LAND DISTURBANCE.
- 20. PROTECT AND INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINE OF ALL TREES, NATURAL AREAS, AND EXISTING VEGETATION TO REMAIN. TREE PROTECTION LOCATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
- 21. ONLY FILL IS ALLOWED INSIDE THE EXISTING TREE CRITICAL ROOT ZONE (CRZ). NO CUT IS PERMITTED. NO TRENCHING THROUGH CRZ. ALL FILL MATERIAL WITHIN DRIP LINES MUST BE TOPSOIL. ACCOMPLISH DEMOLITION AND CONSTRUCTION WITHIN CRZ OF EXISTING SPECIMEN TREES BY UTILIZING HAND LABOR PROCEDURES WITHOUT DAMAGING THE ROOT SYSTEM OF THE TREE. DIG OUT BY HAND AND CLEARLY CUT BACK ANY SIGNIFICANT ROOTS ENCOUNTERED 2" DIAMETER AND LARGER TO PROMOTE ROOT RE-GROWTH AND HELP PREVENT ROOT DIEBACK.
- 22. NO PARKING, STORAGE OR OTHER CONSTRUCTION ACTIVITIES ARE ALLOWED WITHIN THE TREE PROTECTION AREAS.
- 23. PROVIDE NECESSARY EROSION CONTROL MEASURES DURING ALL PHASES OF CONSTRUCTION, INCLUDING THE DEMOLITION PHASE.
- 24. CONTRACTOR ACCESS FOR CONSTRUCTION SHALL AS BE DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.
- 25. PROTECT THE GENERAL PUBLIC FROM CONSTRUCTION AREAS DURING CONSTRUCTION.
- 26. MAINTAIN SAFE, CLEARLY MARKED PEDESTRIAN ACCESS ROUTED TO ALL BUILDING ENTRANCES THROUGHOUT ALL PHASES OF CONSTRUCTION.
- 27. HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC.
- 28. BARRICADES, SUFFICIENT LIGHTS, SIGNS, FLAG MEN, AND OTHER TRAFFIC CONTROL MEASURES AS DEEMED NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION ON PUBLIC ROADS.
- 29. NOTIFY W.J.K. LTD. AND THE OWNER OR OWNERS REPRESENTATIVE OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNERS REPRESENTATIVE WILL MAKE INFIELD MODIFICATIONS, IF NECESSARY.
- 30. REFER ANY DISCREPANCY BETWEEN ANY SHEETS IN THIS SET TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- 31. DO NOT DEVIATE FROM THESE PLANS WITHOUT PRIOR APPROVAL FROM W.J.K. LTD. AND THE OWNER OR OWNERS REPRESENTATIVE.
- 32. ALL WORK PROVIDED, INCLUDING PARTS AND LABOR, SHALL BE GUARANTEED AND REPAIRED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.

DEMOLITION NOTES:

- 1. WORK DONE AHEAD OF SEQUENCE OF PHASING OR FOR TEMPORARY PROVISIONS SHALL HAVE EXISTING DISTURBED SURFACES PATCHED TO MATCH ORIGINAL CONDITIONS UNTIL NEW CONSTRUCTION REPLACES SUCH REPAIRS OR MODIFICATIONS.
- 2. DEMOLISH AND REMOVE OR RELOCATE EXISTING ITEMS THAT CONFLICT WITH NEW CONSTRUCTION UNLESS OTHERWISE NOTED.
- 3. REMOVE ALL FENCING WITHIN LIMITS OF WORK UNLESS OTHERWISE NOTED.
- 4. REMOVE SHRUBS AND TREES AS NOTED, GRUB OUT ROOTS AND STUMPS AND LEGALLY DISPOSE OF DEBRIS.
- 5. REMOVAL OF ANY AND ALL MATERIALS INDICATED INCLUDES ALL MATERIALS ASSOCIATED WITH THAT ITEM INCLUDING SUBSURFACE MATERIAL. IF APPLICABLE, NOT NEEDED OR IN NEED OF REPAIR OR REPLACEMENT.
- 6. COORDINATE WITH OWNER OR OWNERS REPRESENTATIVE THE REMOVAL OF ANY EXISTING LANDSCAPE MATERIALS OR SITE FEATURES WHICH THE OWNER ELECTS TO RETAIN.
- 7. PROPERLY DISPOSE ALL ITEMS REMOVED FROM SITE. DISPOSAL SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL CODES. THERE SHALL BE NO ON-SITE BURIAL OF DEBRIS GENERATED FROM CONSTRUCTION ACTIVITIES.
- 8. DISPOSAL OF ANY HAZARDOUS MATERIALS SHALL BE DONE IN STRICT ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL LAWS.
- 9. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE THAT MAY OCCUR TO ANY ADJACENT STRUCTURES OR PROPERTY, OR ANY EXISTING STRUCTURES WITHIN LIMITS OF CONSTRUCTION THAT ARE DESIGNATED ON THE PLANS TO REMAIN AND SHALL REPAIR OR REPLACE SUCH DAMAGED PROPERTY TO THE PROPERTY OWNER'S SATISFACTION AT NO COST TO THE OWNER.
- 10. UNLESS OTHERWISE NOTED, EXISTING ITEMS WITHIN THE PROJECT LIMITS SHALL BE RETAINED IN PLACE AND PROTECTED FROM DAMAGE DURING THE CONSTRUCTION PERIOD. ANY FACILITIES THAT ARE DAMAGED SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS/HER EXPENSE.
- 11. SAVE & PROTECT ALL BUILDINGS, FOUNDATIONS, CANOPIES, FENCES, PLAY EQUIPMENT, ETC. ON THE PROPERTY, UNLESS OTHERWISE NOTED. DAMAGE SHALL BE REPAIRED/REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- 12. SAVE AND PROTECT ALL EXISTING STORM DRAINAGE STRUCTURES UNLESS OTHERWISE NOTED.
- 13. LIMITS OF CURB AND GUTTER DEMOLITION ARE SUBJECT TO THE NEAREST CONSTRUCTION JOINT.
- 14. REPAIR CURB AND GUTTER AND WALKS TO THE NEAREST CONSTRUCTION JOINT.
- 15. PROVIDE ABRASION SAW CUTS PRIOR TO DEMOLITION ADJACENT TO ALL PAVEMENT AREAS TO BE SAVED FAILURE TO PROVIDE A CLEAN EDGE MAY RESULT IN ADDITIONAL DEMOLITION AND NEW PAVEMENT INSTALLATION PAID FOR AND EXECUTED BY THE CONTRACTOR.
- 16. REPAIR TO EXISTING CONDITIONS ANY PAVING OR SITE FEATURE DEMOLISHED OR DAMAGED DURING INSTALLATION OF NEW RAIN LEADERS, UTILITIES OR OTHER NEW SITE FEATURES.
- 17. RELOCATE OR ADJUST AS NECESSARY ALL EXISTING UTILITY APPURTENANCES (CLEAN OUTF, VALVE/METER BOXES AND/OR COVERS, MANHOLES, ETC.) LOCATED WITHIN THE LIMITS OF CONSTRUCTION TO FINISHED GRADE AT NO ADDITIONAL COST TO THE OWNER.
- 18. COORDINATE THE REMOVAL AND OR RELOCATION OF EXISTING GAS AND WATER METERS, VALVES, LINES, POWER, TELEPHONE AND CABLE LINES THAT SERVICE THE EXISTING BUILDINGS WITH THE APPROPRIATE UTILITY COMPANIES.
- 19. REPAIR IMMEDIATELY ANY DAMAGE TO AN ACTIVE UTILITY.
- 20. REFER TO SITE UTILITY PLANS FOR RELOCATION, REMOVAL, ABANDONMENT, AND/OR MODIFICATION OF ALL EXISTING PLUMBING FEATURES ON SITE.
- 21. THE OWNER SHALL BE NOTIFIED AS TO THE TIMING OF THE WORK SO THAT PROPER SECURITY NOTIFICATIONS CAN BE MADE.
- 22. EROSION CONTROL NOTES (SEE ALSO EROSION CONTROL PLAN):

- a. EROSION CONTROL DEVICES ARE TO BE INSTALLED PRIOR TO ANY CLEARING OR EARTHWORK OPERATIONS AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND UNTIL PERMANENT GROUND COVER IS ESTABLISHED IN ALL DISTURBED AREAS.
- b. PROVIDE DUST CONTROL AND SHALL PROTECT ADJACENT PAVEMENTS FROM SOIL ACCUMULATION DURING CONSTRUCTION.
- c. ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED BY THE LANDSCAPE ARCHITECT OR OTHER INSPECTORS AS DETERMINED BY FIELD CONDITIONS.

GENERAL DISTURBANCE NOTES:

- 1. PROTECT SILT FENCE AND / OR OTHER EROSION CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE REQUIRED TO PREVENT CONSTRUCTION TRACKING. 72 HOUR ET SEED AND SCRIP 100000.
- 2. PROPERLY MAINTAIN ALL EROSION CONTROL DEVICES DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED TO PREVENT CONSTRUCTION TRACKING TO CONTROL EROSION AND / OR OFF-SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- 3. INSPECT ALL SEDIMENT AND EROSION CONTROL DEVICES AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER. IF SITE INSPECTIONS IDENTIFY B.M.P.s. THAT ARE DAMAGED OR ARE NOT OPERATING EFFECTIVELY, PERFORM REPAIR AND / OR MAINTENANCE AS SOON AS PRACTICAL AND BEFORE THE NEXT STORM EVENT IF PRACTICAL. REMOVE ACCUMULATED DEPOSITS OF SILT AND SEDIMENT AND SPREAD OVER SITE. INSTALL ADDITIONAL EROSION CONTROL AND SEDIMENT CONTROL MEASURES IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
- 4. INSTALL ALL PERMEABLE SEDIMENT BARRIERS PRIOR TO ANY GRADING ACTIVITY. INSTALL ALL REMAINING SEDIMENT BARRIERS AT THE EARLIEST OPPORTUNITY PERMITTED BY THE CONSTRUCTION PHASE.
- 5. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
- 6. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AFTER SILT FENCE AND PRIOR TO ALL OTHER CONSTRUCTION ACTIVITIES.
- 7. TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED SURFACES FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL REMOVE MUD / SOIL DAILY FROM PAVED SURFACES, AS REQUIRED.
- 8. TOPSOIL SHALL BE STRIPPED AND STOCKPILED. NO TOPSOIL SHALL BE REMOVED FROM THIS SITE.
- 9. THE CONSTRUCTION PAD SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF MUD ONTO PUBLIC STREETS.
- 10. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL BY LANDSCAPE ARCHITECT AND OWNER OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
- 11. ALL WATERS OF THE STATE (W.O.S.), INCLUDING WETLANDS, SHALL BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL W.O.S. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND THE W.O.S.
- 12. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER SHALL BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.
- 13. CONSTRUCTION SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED EXCEPT AS STATED BELOW:
 - a. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS.
 - b. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- 14. ALL DISTURBED AREAS SHALL BE PERMANENTLY LANDSCAPED AND GRASSED AS QUICKLY AS POSSIBLE AND AS CONSTRUCTION PHASING ALLOWS.
- 15. ALL STORM STRUCTURES SHALL HAVE A TEMPORARY SEDIMENT TRAP AS PER DETAIL, INSTALLED THE DAY OF INSTALLATION AND TO BE MAINTAINED THROUGHOUT CONSTRUCTION.
- 16. PROVIDE TEMPORARY DOWN DRAINS ON FILL SLOPES TO PREVENT EROSION PRIOR TO STABILIZATION.
- 17. TEMPORARY DIVERSION BERMS AND / OR DITCHES SHALL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND / OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTFLETS.
- 18. SILT FENCE SHALL BE TYPE 'S' AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL.
- 19. ALL BUILDING HAZARDOUS SEDIMENT STORAGE STRUCTURES, INCLUDING THE 1/3 FULL VOLUME.
- 20. REMOVE ACCUMULATED SEDIMENT IN SEDIMENT BARRIERS AND TRAPS ONCE 1/3 FULL AND SPREAD/STABILIZE ON SITE.
- 21. ANY ADDITIONAL CONSTRUCTION OTHER THAN SHOWN ON THIS PLAN WILL REQUIRE SEPARATE AND ADDITIONAL TEMPORARY VEGETATION AND/OR HEAVY MULCH SHALL BE USED TO STABILIZE AREAS. IN NO CASE SHALL A SITE BE LEFT BARE FOR MORE THAN FOURTEEN (14) DAYS.
- 22. HYDROSEEDING: ALL LAWN AREAS SHALL BE SEEDED WITH:
 - 1. 80% SANDY LOAM TOPSOIL AS SPECIFIED AND AMENDED PER SOIL REPORT
 - 2. 20% PREPARED ADDITIVES SHALL BE PER SOIL REPORT OR BY VOLUME AS FOLLOWS:
 - 4.2.2.1. 2 PARTS HUMUS AND/OR PEAT
 - 4.2.2.2. 1 PART STERILIZED COMPOSTED COW MANURE
 - 4.2.2.3. 1 PART SHREDDED, COMPOSTED HARDWOOD MULCH
 - 4.3. PLANTING SOIL MIX FOR PERENNIAL BEDS CONSIST OF THE FOLLOWING:
 - 4.3.1. 70% SANDY LOAM TOPSOIL (AS SPECIFIED AND AMENDED PER SOIL REPORT)
 - 4.3.2. PREPARED ADDITIVES SHALL BE PER SOIL REPORT VOLUME AS FOLLOWS:
 - 4.3.2.1. 2 PARTS HUMUS AND/OR PEAT
 - 4.3.2.2. 1 PARTS SHREDDED, COMPOSTED HARDWOOD MULCH
 - 4.3.2.3. 1 PART 150% STERILIZED COMPOSTED COW MANURE AND ANGULAR BUILDERS SAND)
 - 4.3.3. GYPSUM, LIME AND COMMERCIAL FERTILIZER SHALL ONLY BE USED AS PRESCRIBED IN THE SOIL REPORT.
 - 4.3.4. ALLOWANCES SUBJECT TO CHANGE BASED ON SOIL REPORT.
 - 4.4. AFTER ALL DEMOLITION, CLEARING AND DISPOSAL IS COMPLETED, STRIP FROM THE TOP OF THE EXISTING GROUND ALL TOPSOIL IN ALL AREAS TO BE GRADED.
 - 5. PRIOR TO STOCKPIILING OF TOPSOIL, SCREEN TOPSOIL WITH ONE HALF (1/2) INCH SIZE SIEVE. STOCKPILE TOPSOIL IN DESIGNATED OR APPROVED LOCATIONS WITH PROPER DRAINAGE AND WHERE IT WILL NOT INTERFERE WITH THE WORK. PROVIDE QUALITY OF STOCKPILED TOPSOIL, IN CUBIC YARDS, TO THE OWNER OR OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT.
 - 7. IF AMOUNT OF SCREENED TOPSOIL STOCKPILED FROM STRIPING OPERATIONS IS INSUFFICIENT TO PROVIDE THE NECESSARY AMOUNTS (4" MINIMUM DEPTH), CONTRACTOR SHALL OBTAIN (FROM OFF-SITE SOURCE) THE NECESSARY AMOUNT OF SCREENED TOPSOIL TO COMPLETE THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
 - 8. BEFORE SPREADING SCREENED TOPSOIL, LOOSEN SUBGRADE OF LAWN AREAS (SOODED OR SEEDED) TO A MINIMUM DEPTH OF (4) INCHES. PREPARE AREA BY REMOVING STONES OVER ONE (1) INCH IN SIZE, ALL STOCKS, RUBBISH AND OTHER EXTRANEOUS MATTER VIA TWO PERPENDICULAR PASSES WITH A "ROCK-HOUND ATTACHMENT" AND HAND RAKING. REMOVE ALL DEBRIS FROM SITE. PREPARE THE AREA TO BE SOODED BY THOROUGHLY CULTIVATING, DISCING, HAND RAKING, ETC. AS NECESSARY TO PRODUCE A SMOOTH EVEN GRADE.
 - 9. FOR PIT AND TRENCH TYPE BACKFILL, MIX AMENDED PLANTING SOIL BEFORE BACKFILLING, AND STOCKPILE AT SITE.
 - 10. FOR PLANTING BEDS AND LAWNS, MIX AMENDED PLANTING SOIL BEFORE PLANTING OR APPLY AMENDMENTS ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.

LAYOUT NOTES:

- 1. DESIGN DATA PROVIDED IN ELECTRONIC FORMAT IS FOR INFORMATION PURPOSES ONLY AND SHOULD BE USED AT YOUR OWN RISK AND IS PROVIDED WITHOUT REPRESENTATIONS AND WARRANTIES. ANY CONFLICT BETWEEN THE INFORMATION REFLECTED ON THE LATEST REVISION OF THE SEALED PLAN SHEETS AND THAT PROVIDED VIA ELECTRONIC FORMAT SHALL BE STAKE ALL BUILDING CORNERS AND OBTAIN ARCHITECTS' APPROVAL PRIOR TO CONSTRUCTING ANY FOOTINGS.
- 3. REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS.
- 4. BEFORE PROCEEDING TO LAYOUT THE WORK, VERIFY LAYOUT INFORMATION SHOWN ON DRAWINGS, IN RELATION TO THE PROPERTY BOUNDARIES AND EXISTING BENCHMARKS. IF DISCREPANCIES ARE DISCOVERED, NOTIFY OWNER OR OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT PROMPTLY FOR CLARIFICATION AND / OR CORRECTION. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DISCREPANCIES WHICH ARE NOT REPORTED.
- 5. BEFORE CONSTRUCTION BEGINS FIELD LOCATED, STAKE AND USE COLOR CODED SPRAY PAINT FOR ALL ABOVE AND BELOW GROUND EXISTING UTILITIES. CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. REPORT TO OWNER, OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT AND EXISTING UTILITY CONFLICTS WITH SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AS STATED IN THE GENERAL NOTES.
- 6. LOCATE AND LAYOUT SITE IMPROVEMENTS IN FIELD AND CONTACT OWNERS REPRESENTATIVE FOR APPROVAL BEFORE BEGINNING ANY CONSTRUCTION.
- 7. DO NOT SCALE DRAWINGS UNLESS OTHERWISE INDICATED.
- 8. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING AND CENTERLINE OF WALLS AND COLUMNS UNLESS OTHERWISE INDICATED.
- 9. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE INDICATED.
- 10. CURB AND GUTTER (C&G) RADI ARE 5' UNLESS OTHERWISE NOTED.
- 11. INSTALL JOINTS WHERE SHOWN, ALIGN ON WALLS, BUILDINGS, RADII, ETC. EVENLY PACE BETWEEN ELEMENTS AS SHOWN. PROVIDE EXPANSION JOINT BETWEEN CONCRETE PAVEMENT AND VERTICAL ELEMENTS (WALLS, CURBS, ETC.)
- 12. LAYOUT ALL CURVES SMOOTHLY WITH NO ABRUPT CHANGES AT TANGENT POINTS.
- 13. PROVIDE LIGHTING, IRRIGATION AND ANY OTHER UTILITY CONDUIT NEEDED FROM UTILITY SERVICE TO ALL LANDSCAPE AREAS.
- 14. INSTALL ALL PAVEMENT MARKING AND TRAFFIC CONTROL DEVICES PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.

GRADING NOTES:

- 1. ALL GRADES SHOWN ARE FINISHED GRADES.
- 2. ALL SPOT ELEVATIONS IN PARKING AREAS ARE AT THE BASE OF THE FACE OF CURB, UNLESS NOTED OTHERWISE.
- 3. ON SITE TOPOGRAPHY MAY REQUIRE ADJUSTMENTS OF FINAL SPOT ELEVATIONS ON SITE FOR PROPOSED VERTICAL CONSTRUCTION ELEMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVE PROMPTLY UPON THE DISCOVERY OF ANY SUCH DISCREPANCIES DEVELOP BETWEEN THE PROPOSED GRADES AS SHOWN ON THE PLAN AND THE EXISTING GROUND SURFACE. MAKE GRADING FIELD ADJUSTMENTS NECESSARY TO MAINTAIN THE GENERAL INTENT OF THE DESIGN, WITH PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE.
- 5. MAXIMUM CUT OR FILL SLOPE: (2) 1/2" HORIZONTAL TO 1" VERTICAL.
- 6. MAXIMUM CROSS SLOPES ON HARDSCAPE WALKWAYS: 2%
- 7. MAXIMUM RUNNING SLOPE (GRADIENT) ON ACCESSIBLE WALKWAYS / PATHWAYS: 4.9%
- 8. MAXIMUM RUNNING SLOPE (GRADIENT) ON RAMPS: 8.33%
- 9. IF RAMP RISE IS GREATER THAN 6", INSTALL HANDRAILS ON BOTH SIDES OF RAMP WITH 36" MINIMUM BETWEEN HANDRAILS.
- 10. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL ADJACENT PROPERTIES, BUILDINGS, WALLS, WALKS, AND PLANTING BEDS AND TOWARDS EXISTING DRAIN INLETS, SWALES, STORMWATER LAGOONS OR ROADS.
- 11. IF INDICATED ON DRAWINGS, PROVIDE N.D.S. 6" POP UP DRAINAGE EMITTER BLACK IN COLOR.
- 12. ADD LANDSCAPE DRAINS TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS IN LOW / FLAT AREAS THAT DID NOT SHOW UP ON THE ORIGINAL TOPOGRAPHY OR APPROVAL OF ADDED LANDSCAPE DRAINS) FROM OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- 13. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION OF BACKFILL OF ALL UTILITY TRENCHES WITHIN SITE WORK LIMITS. THIS INCLUDES TRENCHES DUG AND BACKFILLED BY LOCAL UTILITIES, SUCH AS, POWER, GAS, TELEPHONE, ETC. PROVIDE ADEQUATE BACKFILL AND COMPACTION AS NECESSARY. IF SETTLEMENT OCCURS.
- 14. EXCESS CUT MATERIAL: IF QUANTITY OF GRADING MATERIAL IS IN EXCESS OF QUANTITIES NECESSARY TO PROVIDE FINISH GRADE ELEVATIONS INDICATED ON DRAWINGS, EXCESS MATERIAL SHALL BE HAULED OFF SITE. HAULING AND DISPOSAL OF EXCESS MATERIAL SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. CONTRACTOR IS RESPONSIBLE FOR ABIDING BY ALL CODES AND REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION IN OBTAINING FILL MATERIAL.
- 15. INSUFFICIENT MATERIAL: IF QUANTITY OF GRADING MATERIAL IS INSUFFICIENT TO PROVIDE FINISHED GRADE ELEVATIONS INDICATED ON DRAWINGS, OBTAIN ADDITIONAL FILL MATERIAL OF SPECIFIED QUALITY FROM AN OFF-SITE SOURCE. OBTAINING, HAULING, PLACEMENT, COMPACTION, AND STABILIZATION OF ADDITIONAL FILL MATERIAL SHALL BE PERFORMED AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CODES AND REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION IN OBTAINING FILL MATERIAL.

LIGHTING NOTES:

- 1. THE INTENT OF THE LIGHTING DESIGN IS TO PROVIDE LOW-LEVEL UNOBRUSIVE SITE LIGHTING OR ARCHITECTURAL ELEMENTS. MAKE EVERY EFFORT TO CREATE THIS EFFECT BY CLOSE COORDINATION WITH THE LANDSCAPE ARCHITECT AND CAREFUL PLACEMENT OF ALL FIXTURES.
- 2. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT ON THE LOCATION AND TYPE OF FIXTURES AS SHOWN ON THE PLAN. PROVIDE PROPERLY SIZED WIRING, TRANSFORMERS, BREAKERS, ACCESSORIES, ETC. AS NECESSARY TO GUARANTEE A COMPLETELY FUNCTIONAL LIGHTING, DISTRIBUTION AND CONTROL SYSTEM.
- 3. PROVIDE ELECTRICAL PLANS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND ENGINEER THE ELECTRICAL SYSTEM BASED ON THE LOCATION AND TYPE OF FIXTURES AS SHOWN ON THE PLAN. PROVIDE PROPERLY SIZED WIRING, TRANSFORMERS, BREAKERS, ACCESSORIES, ETC. AS NECESSARY TO GUARANTEE A COMPLETELY FUNCTIONAL LIGHTING, DISTRIBUTION AND CONTROL SYSTEM.
- 4. INSTALL ALL LIGHTING EQUIPMENT PER MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS, AND IN COMPLIANCE WITH CODES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- 5. STAKE OUT ALL LIGHT FIXTURE AND TRANSFORMER LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT, OWNER, OR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION. COORDINATE WITH, AND OBTAIN APPROVAL OF, OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT FOR EXACT LOCATIONS OF CONTROLLERS, ELECTRICAL PANELS, ETC.
- 6. MAKE FINAL AIMING AND ADJUSTMENT AT NIGHT WITH LANDSCAPE ARCHITECT PRESENT FOR COORDINATION AND FINAL APPROVAL.
- 7. PLACE ALL ELECTRICAL WIRINGS RUNNING UNDER PAVED AREAS IN ELECTRICAL CONDUIT OR P.V.C. SLEEVES.
- 8. INSTALL ALL NECESSARY ELECTRICAL WIRING TO UTILITY PANEL AND TRANSFORMER.
- 9. PROVIDE A MINIMUM OF 36" OF BURIED EXCESS CABLE AT EACH FIXTURE TO ALLOW FOR FIXTURE ADJUSTMENT.
- 10. CONNECT ALL LIGHTING TO AN APPROPRIATE TIMER SET THE TIMING APPROPRIATELY FOR PROPER NIGHT-TIME ILLUMINATION. FOR APPROVAL BY OWNER OR OWNERS REPRESENTATIVE.
- 11. PROVIDE GROUND FAULT CIRCUIT BREAKERS FOR ALL CIRCUITS AS REQUIRED BY NATIONAL, STATE AND LOCAL CODES.
- 12. PROVIDE "AS-BUILT" DRAWINGS IMMEDIATELY AFTER FINAL ACCEPTANCE, ALONG WITH ALL INSTRUCTION MANUALS FOR ALL EQUIPMENT INSTALLED.

CONSTRUCTION NOTES:

- 1. THESE DETAILS / ELEVATIONS DESCRIBE THE DESIGN INTENT ONLY. ALL CONTRACTORS AND ALL TRADES TO PRODUCE SHOW DRAWINGS TO SHOW SIZE, MATERIALS, FOOTINGS, DRAINAGE, CONNECTIONS, STRUCTURAL INTEGRITY, ETC. FOR FINAL APPROVAL BY LANDSCAPE ARCHITECT AND OWNER OR OWNERS REPRESENTATIVE.
- 2. ALL CONTRACTORS AND ALL TRADES ARE RESPONSIBLE FOR OBTAINING THE CORRECT PERMITS AND INSPECTIONS PRIOR TO CONSTRUCTION AS REQUIRED BY LOCAL PLANNING, ZONING, BUILDING CODE AND OTHER TOWN AUTHORITIES.
- 3. PROVIDE SAMPLES OF THE FOLLOWING MATERIALS AND OBTAIN APPROVAL FROM OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION:
 - 3.1. COLOR SAMPLES FOR: BIKE RACKS, BENCHES, CHAIRS, TRASH RECEPTACLES, PICNIC TABLES, PLAYGROUND STRUCTURES AND SIGNAGE.
 - 4. ALL WELDS TO BE CONTINUOUS.

WOOD CONSTRUCTION:

- 5. FOR ALL WOOD MEMBERS, ALL CUTS SHALL BE EVEN AND JOINTS FLUSH. SAND FOUR SIDES AND FILL IMPERFECTIONS, COUNTERSINKS AND NAIL HOLES TO ASSURE EVEN FINISH.
- 6. VERIFY ALL WOOD MEMBERS FOR APPROPRIATE SIZE, SPACING, ATTACHMENTS AND STRUCTURAL STABILITY PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO OWNER, OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- 7. ALL NOTCHES SHALL BE SHOP CUT TO ASSURE TIGHT JOINTS. EACH MEMBER SHALL BE DRIVEN HOME TO ASSURE TIGHT FIT. PILOT HOLES SHALL BE DRILLED FOR EACH CARRIAGE BOLT, PLUG, SEAL AND PRIME.
- 8. SAND ALL WOOD MEMBERS ON ALL SURFACES AFTER ALL CUTS, APPLY SEALANT AND STAIN IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. (SEAL AND STAIN ALL SIDES PRIOR TO ASSEMBLY). CONTRACTOR TO PROVIDE COLOR SAMPLES PRIOR TO CONSTRUCTION.
- 9. PROVIDE SAMPLES OF ALL CUTS WITH TWO COATS OF PRIMER FOR EXTERIOR USE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. (PRIME ALL SIDES PRIOR TO ASSEMBLY). CONTRACTOR TO PROVIDE COLOR SAMPLES PRIOR TO CONSTRUCTION.
- 10. FINISH ALL SIDES AND CAULK ALL JOINTS WITH APPROPRIATE EXTERIOR CAULK PRIOR TO FINISHING.
- 11. ALL COLLECTORS, UNLESS OTHERWISE SPECIFIED, SHALL BE STAINLESS STEEL. BOLTS, THREADED RODS, WASHERS, NUTS AND ALL BUILDING HARDWARE SHALL BE STAINLESS STEEL AND SUITABLE FOR PRESSURE TREATED WOOD. ALL THROUGH BOLTS TO BE SMOOTH SHAFT WITH STAINLESS STEEL NUTS, BOLTS AND WASHERS. ALL NAILS AND FINISH NAILS SHALL BE ANNULAR STAINLESS STEEL.
- 12. ALL DECKING SHALL BE SECURED WITH STAINLESS STEEL SCREWS SIZED FOR DECK APPLICATION. MINIMUM 3" APART.
- 13. WOOD WITH NATURAL FINISH TO RECEIVE TWO COATS OF CLEAR WATER SEALANT.

SOIL AMENDMENT NOTES:

- 1. TOPSOIL SHALL CONSIST OF THE NATURAL LOAM, SANDY LOAM, SILT LOAM OR CLAY LOAM HUMUS BEARING SOILS, ADAPTED TO THE SUSTENANCE OF PLANT LIFE, WITH THE FOLLOWING TEXTURE:
 - 1.1. ORGANIC MATERIAL - TWO (2) TO TWENTY (20) PERCENT BY MASS.
 - 1.2. SAND CONTENT - TWENTY (20) TO SIXTY (60) PERCENT BY MASS.
 - 1.3. CLAY SILT CONTENT - THIRTY-FIVE (35) TO SEVENTY (70) PERCENT BY MASS.
 - 1.4. TOPSOIL PH SHALL BE BETWEEN FIVE (5) AND SEVEN (7).
- 2. TOPSOIL SHALL BE OF UNIFORM QUALITY AND FREE FROM FOREIGN MATERIAL SUCH AS HARD CLODS, SOD, STIFF CLAY, HARD PAN, STONES LARGER THAN ONE (1) INCH DIAMETER, LIME CEMENT, ASPHALT, SLAG, CONCRETE, TAR RESIDUES, TARRIED PAPER, BOARD, CHIPS, STICKS OR OTHER UNDESIRABLE MATERIALS. IT SHALL BE REASONABLY FREE FROM WEEDS AND OBJECTIONABLE PLANT MATERIAL.
- 3. AMENDED PLANTING SOIL:
 - 3.1. CONTRACTOR SHALL PROVIDE AMENDED PLANTING SOIL.
 - 3.2. THE CONTRACTOR SHALL SUPPLY A SOIL REPORT THROUGH THE LOCAL EXTENSION SERVICE OF EXISTING SOILS TO SHOW RECOMMENDED AMENDMENTS.
 - 3.3. THE CONTRACTOR SHALL SUPPLY A SECOND SOIL REPORT OF PROPOSED SOIL MIX WHICH SHALL MEET THE RECOMMENDATIONS IN THE FIRST SOIL REPORT.
 - 3.4. EXISTING AND PROPOSED SOIL REPORTS MUST BE APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO ANY BACKFILLING.
 - 3.5. THE PROPOSED PLANTING SOIL MIX MUST BE APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE PRIOR TO ANY BACKFILLING.
- 4. ALLOWANCES:
 - 4.1. THE PLANTING SOIL MIX FOR ON-GRADE PLANTINGS (TREES, SHRUBS & GROUNDCOVERS) SHALL CONSIST OF THE FOLLOWING:
 - 4.2.1. 80% SANDY LOAM TOPSOIL (AS SPECIFIED AND AMENDED PER SOIL REPORT)
 - 4.2.2. 20% PREPARED ADDITIVES SHALL BE PER SOIL REPORT OR BY VOLUME AS FOLLOWS:
 - 4.2.2.1. 2 PARTS HUMUS AND/OR PEAT
 - 4.2.2.2. 1 PART STERILIZED COMPOSTED COW MANURE
 - 4.2.2.3. 1 PART SHREDDED, COMPOSTED HARDWOOD MULCH
 - 4.3. PLANTING SOIL MIX FOR PERENNIAL BEDS CONSIST OF THE FOLLOWING:
 - 4.3.1. 70% SANDY LOAM TOPSOIL (AS SPECIFIED AND AMENDED PER SOIL REPORT)
 - 4.3.2. PREPARED ADDITIVES SHALL BE PER SOIL REPORT VOLUME AS FOLLOWS:
 - 4.3.2.1. 2 PARTS HUMUS AND/OR PEAT
 - 4.3.2.2. 1 PARTS SHREDDED, COMPOSTED HARDWOOD MULCH
 - 4.3.2.3. 1 PART 150% STERILIZED COMPOSTED COW MANURE AND ANGULAR BUILDERS SAND)
 - 4.3.3. GYPSUM, LIME AND COMMERCIAL FERTILIZER SHALL ONLY BE USED AS PRESCRIBED IN THE SOIL REPORT.
 - 4.3.4. ALLOWANCES SUBJECT TO CHANGE BASED ON SOIL REPORT.
 - 4.4. AFTER ALL DEMOLITION, CLEARING AND DISPOSAL IS COMPLETED, STRIP FROM THE TOP OF THE EXISTING GROUND ALL TOPSOIL IN ALL AREAS TO BE GRADED.
 - 5. PRIOR TO STOCKPIILING OF TOPSOIL, SCREEN TOPSOIL WITH ONE HALF (1/2) INCH SIZE SIEVE. STOCKPILE TOPSOIL IN DESIGNATED OR APPROVED LOCATIONS WITH PROPER DRAINAGE AND WHERE IT WILL NOT INTERFERE WITH THE WORK. PROVIDE QUALITY OF STOCKPILED TOPSOIL, IN CUBIC YARDS, TO THE OWNER OR OWNERS REPRESENTATIVE OR LANDSCAPE ARCHITECT.
 - 7. IF AMOUNT OF SCREENED TOPSOIL STOCKPILED FROM STRIPING OPERATIONS IS INSUFFICIENT TO PROVIDE THE NECESSARY AMOUNTS (4" MINIMUM DEPTH), CONTRACTOR SHALL OBTAIN (FROM OFF-SITE SOURCE) THE NECESSARY AMOUNT OF SCREENED TOPSOIL TO COMPLETE THE PROJECT AT NO ADDITIONAL COST TO THE OWNER.
 - 8. BEFORE SPREADING SCREENED TOPSOIL, LOOSEN SUBGRADE OF LAWN AREAS (SOODED OR SEEDED) TO A MINIMUM DEPTH OF (4) INCHES. PREPARE AREA BY REMOVING STONES OVER ONE (1) INCH IN SIZE, ALL STOCKS, RUBBISH AND OTHER EXTRANEOUS MATTER VIA TWO PERPENDICULAR PASSES WITH A "ROCK-HOUND ATTACHMENT" AND HAND RAKING. REMOVE ALL DEBRIS FROM SITE. PREPARE THE AREA TO BE SOODED BY THOROUGHLY CULTIVATING, DISCING, HAND RAKING, ETC. AS NECESSARY TO PRODUCE A SMOOTH EVEN GRADE.
 - 9. FOR PIT AND TRENCH TYPE BACKFILL, MIX AMENDED PLANTING SOIL BEFORE BACKFILLING, AND STOCKPILE AT SITE.
 - 10. FOR PLANTING BEDS AND LAWNS, MIX AMENDED PLANTING SOIL BEFORE PLANTING OR APPLY AMENDMENTS ON SURFACE OF TOPSOIL AND MIX THOROUGHLY BEFORE PLANTING.

PLANTING NOTES:

- 1. ROOT PRUNE ROOTS THAT WILL CAUSE POTENTIAL CONFLICT WITH NEW DRIVE AISLES AND PERVIOUS PARKING SPACES. CONTRACTOR TO COORDINATE WITH OWNER ON LANDSCAPE ARCHITECT PRIOR TO PRUNING.
- 2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL MATERIAL QUANTITIES SHOWN ON THESE DRAWINGS BEFORE PRICING THE WORK AND FOR NOTIFYING THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. THE PLANT SCHEDULE IS PROVIDED FOR CONTRACTORS CONVENIENCE ONLY. REPORT TO LANDSCAPE ARCHITECT PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
- 3. WHEN BID / PROPOSAL IS SUBMITTED, PROVIDE VERIFICATION THAT SPECIFIED PLANT MATERIAL IS AVAILABLE.
- 4. PLANT MATERIAL SHALL BE OF THE QUALITY, SPECIES, GENUS, SPECIES AND VARIETY INDICATED ON DRAWINGS AND COMPLYING WITH RECOMMENDATIONS OF AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERY MEN.
- 5. PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURE PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUNSCALD, INJURIES, ABRASIONS OR DEFECTIVE MATERIAL AT ANY TIMES DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- 6. SHIP LANDSCAPE MATERIALS WITH CERTIFICATES OF INSPECTION REQUIRED BY AUTHORITIES HAVING JURISDICTION. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS.
- 7. PACKAGE STANDARD PRODUCTS WITH MANUFACTURERS CERTIFIED ANALYSIS.
- 8. PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER OR OWNERS REPRESENTATIVE BEFORE DURING AND AFTER INSTALLATION.
- 9. OWNER, OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT RETAINS THE RIGHT TO OBSERVE PLANT MATERIAL FOR SIZE AND CONDITIONS OF BALLS AND ROOT SYSTEMS, INSECTS, INJURIES AND LATENT DEFECTS, AND TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIMES DURING PROGRESS OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE.
- 10. FREELY SUBSTITUTE ROOT TYPE, IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
- 11. PLANTING PLANS INDICATE DIAGRAMMATIC LOCATIONS ONLY. SITE ADJUSTMENTS OF PLANTING DESIGN AND RELOCATION OF PLANT MATERIAL INSTALLED PRIOR TO LANDSCAPE ARCHITECT OR OWNERS REPRESENTATIVE SHALL BE DOWN WITHOUT PENALTY OR ADDITIONAL COST TO OWNER. STAKE PLANT LOCATIONS AT SITE AND OBTAIN OWNERS REPRESENTATIVE'S APPROVAL.
- 12. REFER TO SOIL AMENDMENT NOTES FOR PLANTING SOIL INFORMATION.
- 13. PREPARATION OF PLANTING BEDS:
 - 13.1. LOOSEN SUBGRADE OF PLANTING BED AREAS TO A MINIMUM DEPTH OF SIX (6) INCHES USING A CULTIMULCHER OR CULTIMULCHER EQUIPPED WITH A SOIL TAMPING ATTACHMENT. PLANT MATERIAL ACCORDING TO PLANS. THE PLANT SCHEDULE IS PROVIDED FOR CONTRACTORS CONVENIENCE ONLY. REPORT TO LANDSCAPE ARCHITECT PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
 - 13.2. SPREAD AMENDED PLANTING SOIL TO MINIMUM DEPTH REQUIRED TO MEET LINES, GRADES AND ELEVATIONS SHOWN. AFTER LIGHT ROLLING AND NATURAL SETTLEMENT, PLACE APPROXIMATELY ONE-HALF (1/2) OF TOTAL AMOUNT OF PLANTING SOIL REQUIRED WORK INTO TOP OF LOOSENED SUBGRADE TO CREATE A TRANSITION LAYER, THEN PLACE REMAINDER OF THE PLANTING SOIL.
 - 13.3. PRE-EMERGENT WEED CONTROL: ALL AREAS TO BE PLANTED SHALL BE TREATED WITH SCOTTS PRO GROW ORNAMENTAL HERBICIDE 2 (GRANULAR), OR APPROVED EQUAL, AT THE RATE OD TWO AND A HALF (2 1/2) POUNDS PER THOUSAND (1000) SQUARE FEET.
 - 14. EXCAVATION FOR TREES AND SHRUBS:
 - 14.1. EXCAVATE PITS, BEDS AND TRENCHES WITH VERTICAL SIDES AND WITH BOTTOM OF EXCAVATION SLIGHTLY RAISED AT CENTER TO PROVIDE PROPER DRAINAGE. LOOSEN HARD SUBSOIL IN BOTTOM OF EXCAVATION.
 - 14.2. ALLOW FOUR (4) INCHES SETTING LAYER OF PLANTING SOIL MIXTURE.
 - 14.3. FOR BALLED AND BURLAPPED (B&B TREES AND SHRUBS), MAKE EXCAVATIONS AT LEAST HALF AGAIN AS WIDE AS THE BALL DIAMETER AND EQUAL TO THE BALL DEPTH, PLUS FOLLOWING ALLOWANCE FOR SETTING BALL ON A LAYER OF COMPACTED BACKFILL:
 - 14.4. 100% SQUARE FEET OF B&B STOCK, EXCAVATE AS SPECIFIED FOR BALLED AND BURLAPPED STOCK, ADJUSTED TO SIZE OF CONTAINER WIDTH AND DEPTH.
 - 14.5. DISPOSE OF SUBSOIL REMOVED FROM PLANTING EXCAVATIONS. DO NOT MIX WITH PLANTING SOIL, OR USE AS BACKFILL.
 - 14.6. FILL EXCAVATIONS FOR TREES AND SHRUBS WITH WATER AND ALLOW TO PERCOLATE OUT BEFORE PLANTING.
 - 15. PLANTING TREES AND SHRUBS:
 - 15.1. DO NOT BACKFILL.
 - 15.2. SET PLANTS ON LAYER OF COMPACTED PLANTING SOIL MIXTURE, PLUMB AND IN CENTER OF PIT OR TRENCH WITH TOP OF BALL AT SAME ELEVATION AS ADJACENT FINISHED LANDSCAPE GRADES. REMOVE BURLAP FROM SIDES OF B&B BALLS. RETURN BURLAP TO ORIGINAL POSITION AND FREE OF DEBRIS. PLANTING AND / OR MULCHED AREAS.
 - DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.
 - 15.4. IMMEDIATELY SOAK NEW PLANTINGS WITH WATER.
 - 15.5. MULCH ALL PLANTING BEDS AND TREE RINGS TO A MINIMUM 3" DEPTH WITH MULCH SPECIFIED IN PLANT SCHEDULE.
 - 15.6. GUY AND STAKE TREES IMMEDIATELY AFTER PLANTING AS INDICATED IN PLANTING DETAILS.
 - 15.7. FINE GRADE HAND RAKE SMOOTH AND FREE OF DEBRIS. PLANTING AND / OR MULCHED AREAS.
 - 15.8. PRUNE, THIN OUT AND SHAPE TREES AND SHRUBS IN ACCORDANCE WITH STANDARD HORTICULTURE PRACTICE. PRUNE TREES TO RETAIN REQUIRED HEIGHT AND SPREAD, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT, DO NOT CUT TREE LEADERS AND REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES. IF ANY, PRUNE SHRUBS TO OBTAIN NATURAL CHARACTER. REMOVE AND REPLACE EXCESSIVELY PRUNED OR MIS-FORMED STOCK RESULTING FROM IMPROPER PRUNING.
 - 16. PLANTING GROUND COVER:
 - 16.1. SPACE PLANTS AS SHOWN OR SCHEDULED.
 - 16.2. DIG HOLES LARGE ENOUGH TO ALLOW FOR SPREADING OF ROOTS AND BACKFILL WITH PLANTING SOIL. WORK SOIL AROUND ROOTS TO ELIMINATE AIR POCKETS AND LEAVE A SLIGHT SAUCER INDENTATION AROUND PLANTS TO HOLD



| PAVING SCHEDULE | | | |
|-----------------|----------|----------------------------------|--------|
| CALL-OUT | SYMB. | DESCRIPTION | DETAIL |
| 2.1 | [Symbol] | TABBY WALK | 1/L600 |
| 2.2 | [Symbol] | BRICK PAVERS | 2/L600 |
| 2.3 | [Symbol] | CONCRETE WALK | 3/L600 |
| 2.4 | [Symbol] | OBSERVATION PLATFORM | 1/L608 |
| NA | [Symbol] | BORDERS (REFER TO DETAIL 2/L600) | 2/L600 |
| 3.1 | [Symbol] | CONTROL JOINT | 6/L600 |
| 3.2 | [Symbol] | EXPANSION JOINT | 7/L600 |

NOTE: MATERIAL SYMBOLS / HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS AND LAYOUT PLANS FOR SIZES AND DIMENSIONS.

| SIGNAGE SCHEDULE | | | | |
|------------------|----------|------|-----------------------------|--------|
| CALL-OUT | SYMB. | QTY. | DESCRIPTION | DETAIL |
| 8.1 | [Symbol] | 1 | WAYFINDING/INFORMATION SIGN | 1/L601 |

NOTE: SIGNAGE SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

| LIGHTING SCHEDULE | | | | |
|-------------------|----------|------|---------------|--------|
| CALL-OUT | SYMB. | QTY. | DESCRIPTION | DETAIL |
| 10.1 | [Symbol] | 11 | BOLLARD LIGHT | 6/L601 |
| 10.2 | [Symbol] | 16 | DOWN LIGHT | 7/L601 |

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

| UTILITIES SCHEDULE | | | | |
|--------------------|----------|------|---------------|--------|
| CALL-OUT | SYMB. | QTY. | DESCRIPTION | DETAIL |
| 12.1 | [Symbol] | 1 | G.F.I. OUTLET | 1/L602 |

NOTE: UTILITY SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

| SITE FURNISHINGS SCHEDULE | | | | |
|---------------------------|----------|------|-------------------|--------|
| CALL-OUT | SYMB. | QTY. | DESCRIPTION | DETAIL |
| 13.1 | [Symbol] | 2 | TRASH RECEPTACLE | 4/L602 |
| 13.2 | [Symbol] | 2 | TRELLIS SWING | 5/L602 |
| 13.3 | [Symbol] | 1 | CURVED BENCH | 1/L608 |
| 13.4 | [Symbol] | 1 | DOG WASTE STATION | 6/L602 |
| 13.5 | [Symbol] | 1 | BACKLESS BENCH | 7/L602 |
| 13.6 | [Symbol] | 2 | PICNIC TABLE | 1/L603 |
| 13.7 | [Symbol] | 2 | LOG STILTS | 5/L607 |
| 13.8 | [Symbol] | 1 | LOG BALANCE BEAM | 6/L607 |

NOTE: SITE FURNISHING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.



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SITE DEVELOPMENT PLANS FOR
SHELTER COVE - PHASE 2
 39 SHELTER COVE LANE
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
 PROJECT NO.: 22062.15
 DRAWN BY: CK, ED
 CHECKED BY: BW

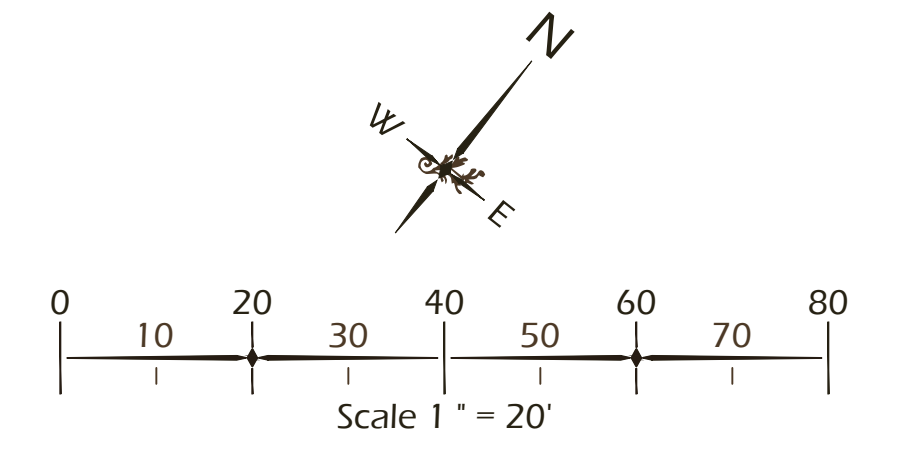
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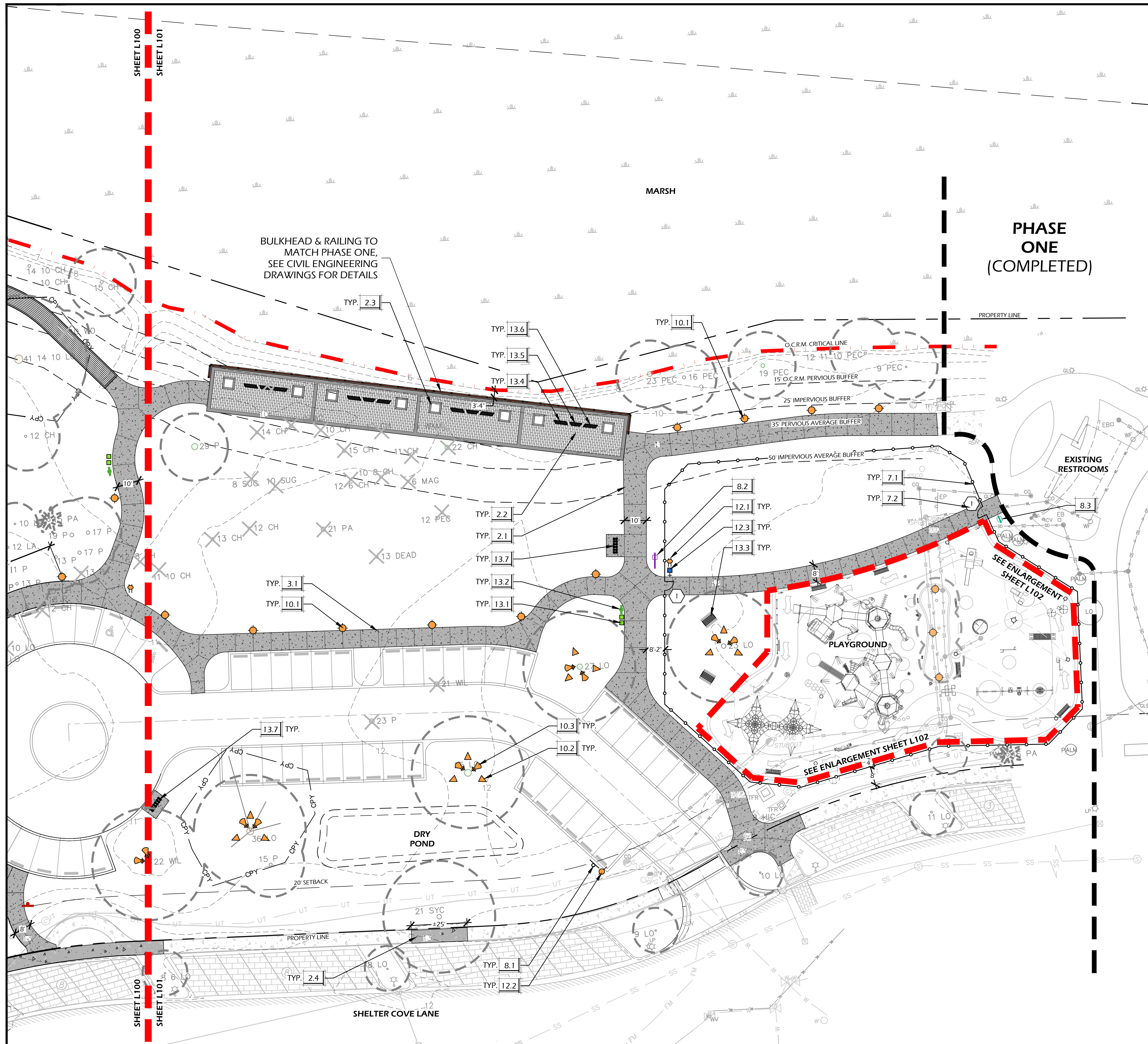
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DRAWING TITLE
 KEY SHEET - 01

DRAWING NUMBER
L100





BULKHEAD & RAILING TO MATCH PHASE ONE, SEE CIVIL ENGINEERING DRAWINGS FOR DETAILS

PHASE ONE (COMPLETED)

| PAVING SCHEDULE | | | |
|-----------------|----------|-----------------------------|--------|
| CALL-OUT | SYMB. | DESCRIPTION | DETAIL |
| 2.1 | [Symbol] | TABBY WALK | 1/L600 |
| 2.2 | [Symbol] | CONCRETE TILES AT PROMENADE | 4/L600 |
| 2.3 | [Symbol] | PROMENADE PLANTER | 5/L600 |
| 2.4 | [Symbol] | CONCRETE WALK | 3/L600 |
| 3.1 | [Symbol] | CONTROL JOINT | 6/L600 |
| 3.2 | [Symbol] | EXPANSION JOINT | 7/L600 |

NOTE: MATERIAL SYMBOLS / HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS AND LAYOUT PLANS FOR SIZES AND DIMENSIONS.

| FENCING, GATES, BARRIERS SCHEDULE | | | |
|-----------------------------------|----------|--|--------|
| CALL-OUT | SYMB. | DESCRIPTION | DETAIL |
| 7.1 | [Symbol] | PLAYGROUND FENCE | 8/L600 |
| 7.2 | [Symbol] | 5' SINGLE GATE ARCHED, JERITH AERO ACCENT GATE, OPENING 5', STYLE #202 | NA |

| SIGNAGE SCHEDULE | | | | |
|------------------|----------|------|---------------------------|--------|
| CALL-OUT | SYMB. | QTY. | DESCRIPTION | DETAIL |
| 8.1 | [Symbol] | 1 | EV CHARGING SIGN | 2/L601 |
| 8.2 | [Symbol] | 1 | PRIMARY PLAYGROUND SIGN | 3/L601 |
| 8.3 | [Symbol] | 1 | SECONDARY PLAYGROUND SIGN | 4/L601 |

NOTE: SIGNAGE SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

| LIGHTING SCHEDULE | | | | |
|-------------------|----------|------|---------------|--------|
| CALL-OUT | SYMB. | QTY. | DESCRIPTION | DETAIL |
| 10.1 | [Symbol] | 10 | BOLLARD LIGHT | 6/L601 |
| 10.2 | [Symbol] | 12 | UP LIGHT | 8/L601 |
| 10.3 | [Symbol] | 8 | DOWN LIGHT | 7/L601 |

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

| UTILITIES SCHEDULE | | | | |
|--------------------|----------|------|---------------------|--------|
| CALL-OUT | SYMB. | QTY. | DESCRIPTION | DETAIL |
| 12.1 | [Symbol] | 1 | G.F.I. OUTLET | 1/L602 |
| 12.2 | [Symbol] | 1 | EV CHARGING STATION | 2/L602 |
| 12.3 | [Symbol] | 1 | HOSE BIB | 3/L602 |

NOTE: UTILITY SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

| SITE FURNISHINGS SCHEDULE | | | | |
|---------------------------|----------|------|-------------------|--------|
| CALL-OUT | SYMB. | QTY. | DESCRIPTION | DETAIL |
| 13.1 | [Symbol] | 2 | TRASH RECEPTACLE | 4/L602 |
| 13.2 | [Symbol] | 1 | DOG WASTE STATION | 7/L602 |
| 13.3 | [Symbol] | 2 | PICNIC TABLE | 1/L603 |
| 13.4 | [Symbol] | 4 | LEFT BENCH | 2/L603 |
| 13.5 | [Symbol] | 4 | RIGHT BENCH | 3/L603 |
| 13.6 | [Symbol] | 4 | WEDGE BENCH | 4/L603 |
| 13.7 | [Symbol] | 2 | BIKE RACK | 5/L603 |

NOTE: SITE FURNISHING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.



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SITE DEVELOPMENT PLANS FOR
SHELTER COVE - PHASE 2
 39 SHELTER COVE LANE
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
 PROJECT NO.: 22062.15
 DRAWN BY: CK, ED
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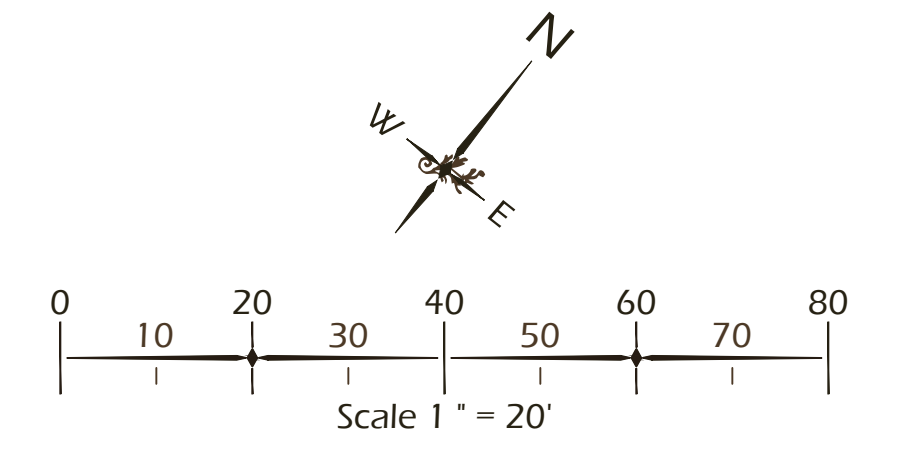
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KEY SHEET - 02

DRAWING NUMBER

L101





| PAVING SCHEDULE | | | |
|-----------------|----------|-----------------------|--------|
| CALL-OUT | SYMB. | DESCRIPTION | DETAIL |
| 2.1 | [Symbol] | PLAY SURFACE | 6/L603 |
| 2.2 | [Symbol] | FLUSH CONCRETE CURB A | 7/L603 |
| 2.3 | [Symbol] | FLUSH CONCRETE CURB B | 8/L603 |

NOTE: MATERIAL SYMBOLS / HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS AND LAYOUT PLANS FOR SIZES AND DIMENSIONS.

| SITE DETAILS LEGEND | | |
|---------------------|----------------------------|--------|
| CALL-OUT | DESCRIPTION | DETAIL |
| 2.4 | STEPPING STONE | 9/L603 |
| 8.1 | RISK MANAGEMENT SIGN | 1/L604 |
| 8.2 | 5-12 WELCOME SIGN | 2/L604 |
| 8.3 | 2-12 WELCOME SIGN | 3/L604 |
| 9.1 | SHADE SAIL | 4/L604 |
| 13.1 | BEST BUDDIES BENCH | 5/L604 |
| 16.1 | COMMUNITY HELPER | 6/L604 |
| 16.2 | GARDEN WALL | 7/L604 |
| 16.3 | MOUND W/ SLIDE & TUNNEL | 1/L605 |
| 16.4 | CURIOSITY THRILLED THE CAT | 2/L605 |
| 16.5 | INCLUSIVE WHIRL | 3/L605 |
| 16.6 | MOMENTUM CORRIDOR | 4/L605 |
| 16.7 | MY CUP OF TEA | 5/L605 |
| 16.8 | SWING | 6/L605 |
| 16.9 | TRANQUILITY CENTER | 7/L605 |
| 16.10 | BARREL RIDE | 8/L605 |
| 16.11 | INCLUSIVE SEESAW | 9/L605 |
| 16.12 | NET CLIMBER | 1/L606 |
| 16.13 | SADDLE SEAT | 2/L606 |
| 16.14 | PLAY STRUCTURE | 3/L606 |
| 16.15 | SENSORY WALL | 4/L606 |
| 16.16 | LARGE BABEL | 5/L606 |
| 16.17 | CADENZA | 6/L606 |
| 16.18 | CATTAILS | 7/L606 |
| 16.19 | CONGAS | 8/L606 |
| 16.20 | SMALL BABEL | 9/L606 |
| 16.21 | FREECHIMES | 1/L607 |
| 16.22 | TEMPLE BLOCK TREE | 2/L607 |

| LIGHTING SCHEDULE | | | | |
|-------------------|----------|------|---------------|--------|
| CALL-OUT | SYMB. | QTY. | DESCRIPTION | DETAIL |
| 10.1 | [Symbol] | 3 | BOLLARD LIGHT | 6/L601 |

NOTE: LIGHTING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

KEY SHEET REFERENCE NOTES:
 ① CONTRACTOR TO FIELD LOCATE BOLLARD WITH LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

Wittmer Jones-Keefe
 landscape architecture
 land planning
 www.wjk Ltd. com
 28 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph 843.797.7411

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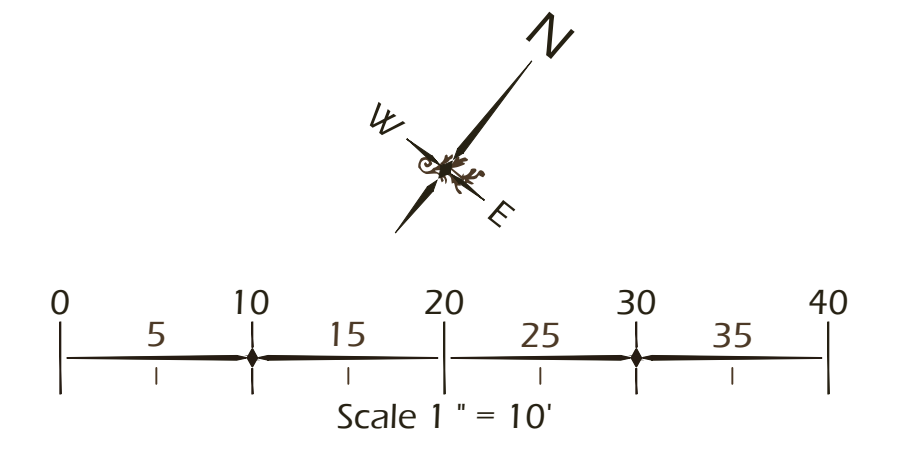
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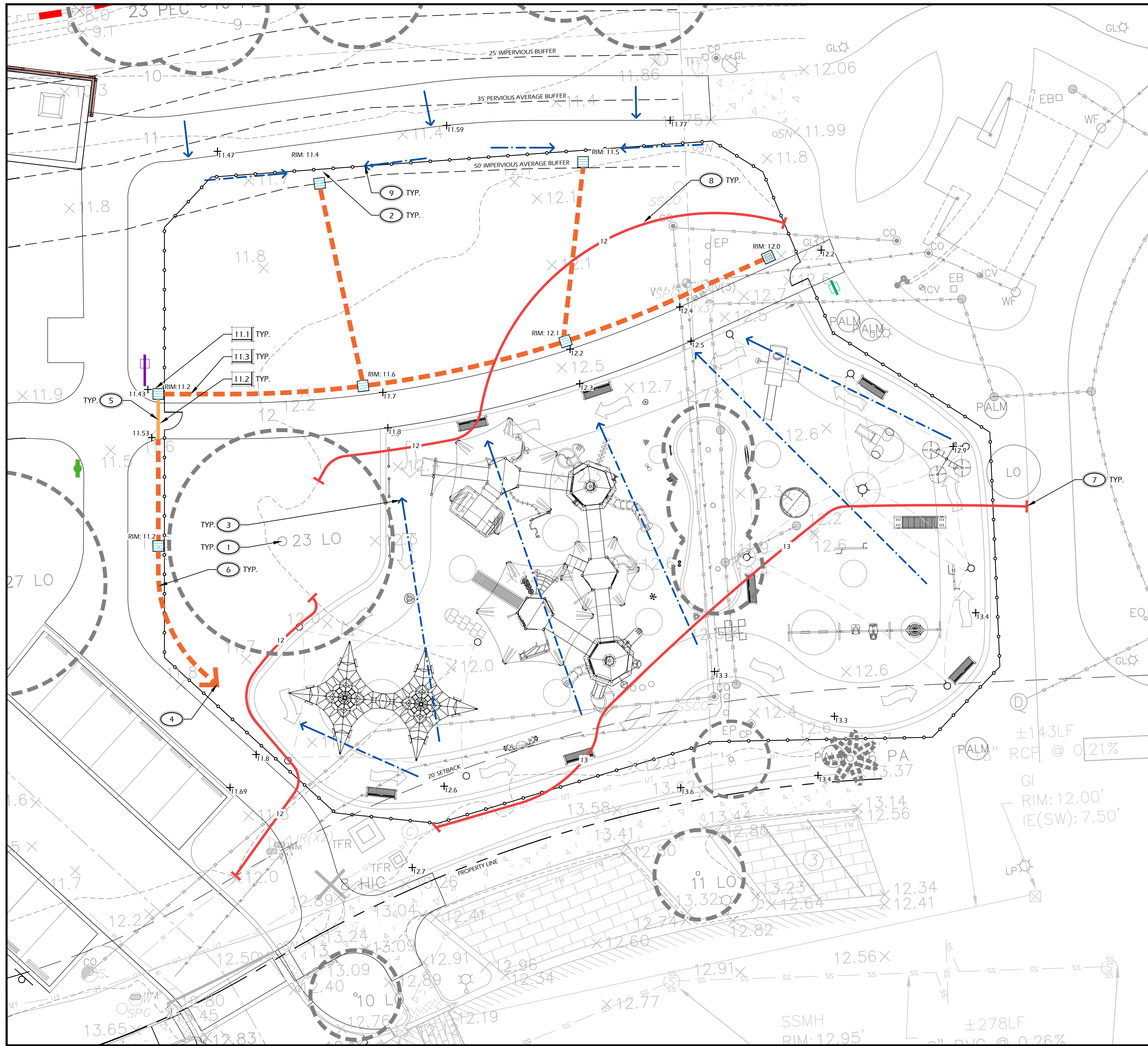
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KEY SHEET - 03

DRAWING NUMBER

L102





| LANDSCAPE DRAINAGE LEGEND | | | |
|---------------------------|----------|-------------------|--------|
| CALL-OUT | SYMB. | DESCRIPTION | DETAIL |
| 11.1 | [Symbol] | 18" AREA DRAIN | 3/L607 |
| 11.2 | [Symbol] | 6" H.D.P.E. SOLID | N/A |
| 11.3 | [Symbol] | 6" FRENCH DRAIN | 4/L607 |

NOTE: DRAINAGE SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

| GRADING LEGEND | |
|----------------|------------------------|
| SYMB. | DESCRIPTION |
| + | SPOT GRADE |
| [Arrow] | DRAINAGE ARROW |
| [Red Line] | PROPOSED CONTOUR MAJOR |
| [Orange Line] | PROPOSED CONTOUR MINOR |
| [Dashed Line] | EXISTING GRADE |

| GRADING ABBREVIATIONS | | | |
|-----------------------|--------------------------|-------|--------------|
| ABBR. | DESCRIPTION | ABBR. | DESCRIPTION |
| BC | BOTTOM OF CURB | HP | HIGH POINT |
| BS | BOTTOM OF STEP | RIM | TOP OF DRAIN |
| BW | BOTTOM OF WALL | TC | TOP OF CURB |
| FFE | FINISHED FLOOR ELEVATION | TS | TOP OF STEP |
| FG | FINISHED GRADE | TW | TOP OF WALL |
| LP | LOW POINT | | |

- GRADING REFERENCE NOTES:**
- MINIMIZE DISTURBANCE AROUND TREES TO REMAIN.
 - PITCH TO DRAIN INLET AT 2% MIN. (LAWN AREAS)
 - PITCH TO DRAIN INLET AT 1% MIN., 2% MAX. (HARDSCAPE AREAS).
 - CONNECT FRENCH DRAINS TO DRAINAGE STRUCTURE, REFER TO CIVIL ENGINEERS PLANS FOR STRUCTURE LOCATION. FIELD ADJUST FRENCH DRAIN LOCATION TO ENSURE PROPER CONNECTION.
 - ALL PIPING UNDER HARDSCAPE SHALL BE SOLID H.D.P.E. PIPES.
 - FIELD LOCATE DRAIN LINE TO AVOID EXISTING TREE ROOTS.
 - TIE INTO EXISTING GRADE. MEET SMOOTHLY AND EVENLY.
 - FEATHER BOTTOM OF SLOPE SMOOTHLY TO MEET EXISTING CONDITIONS.
 - DIRECT STORMWATER TOWARDS STREET OR EXISTING DRAINAGE DITCH, DRAINAGE SHALL NOT BE DIRECTED TOWARDS ADJACENT PROPERTY. **CONTRACTOR SHALL PROVIDE SUPPLEMENTAL AREA DRAINS, FRENCH DRAINS, AND DRY WELLS AS REQUIRED TO PROMOTE PROPER STORMWATER DRAINAGE, REFER TO DETAILS.**



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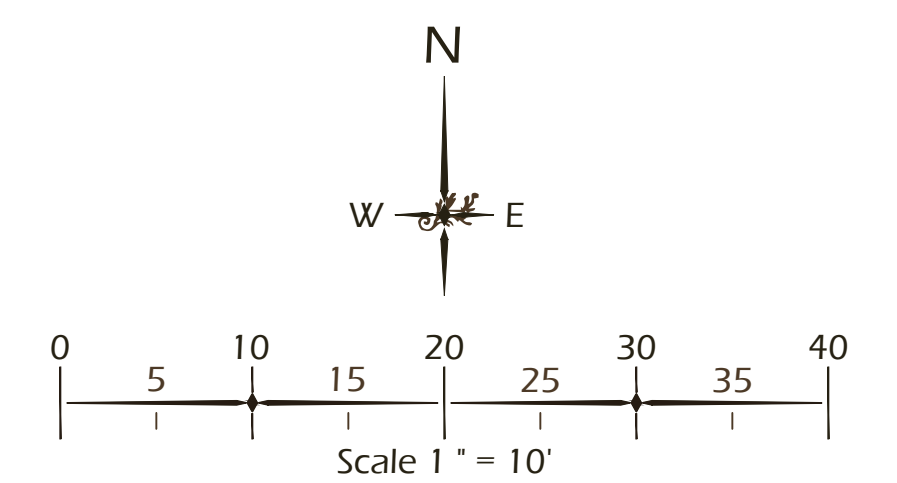
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DRAWING TITLE
GRADING PLAN

DRAWING NUMBER
L300



SITE DEVELOPMENT PLANS FOR
SHELTER COVE - PHASE 2
 39 SHELTER COVE LANE
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
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REVISIONS:

DRAWING TITLE
PLANTING PLAN - 01

DRAWING NUMBER
L500

| PLANTING DETAILS | | |
|------------------|-----------------------|--------|
| CALL-OUT | DESCRIPTION | DETAIL |
| 14.1 | TREE PLANTING | 1/L502 |
| 14.2 | PALM TREE PLANTING | 2/L502 |
| 14.3 | SHRUB PLANTING | 3/L502 |
| 14.4 | GROUND COVER PLANTING | 4/L502 |
| 14.5 | ROOT BARRIER | 6/L502 |

| SOD AND MULCH LEGEND | | |
|----------------------|--|--------|
| SYMB. | DESCRIPTION | DETAIL |
| [Symbol] | SOD | NA |
| [Symbol] | PINE STRAW (SEE TO NOTE 5 BELOW) | NA |
| [Symbol] | EWf PLAYGROUND MULCH (SEE TO NOTE 8 BELOW) | 7/L607 |

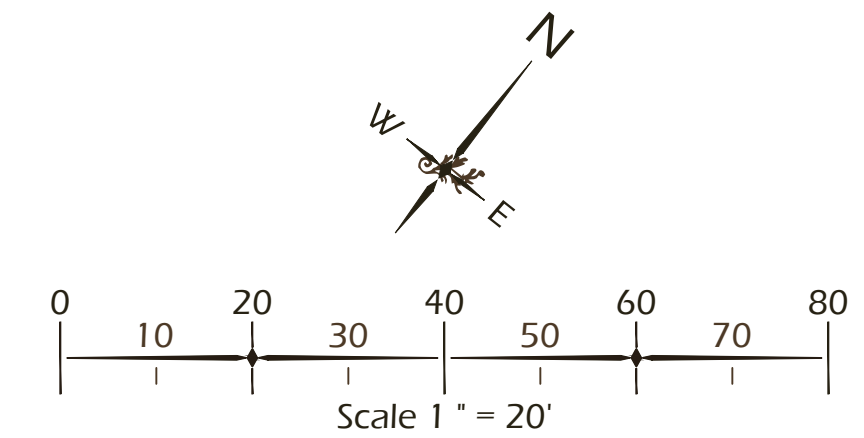
NOTE: REFER TO PLANT SCHEDULE, SHEET L502, FOR AREA/QUANTITIES AND PRODUCT SPECIFICATIONS.

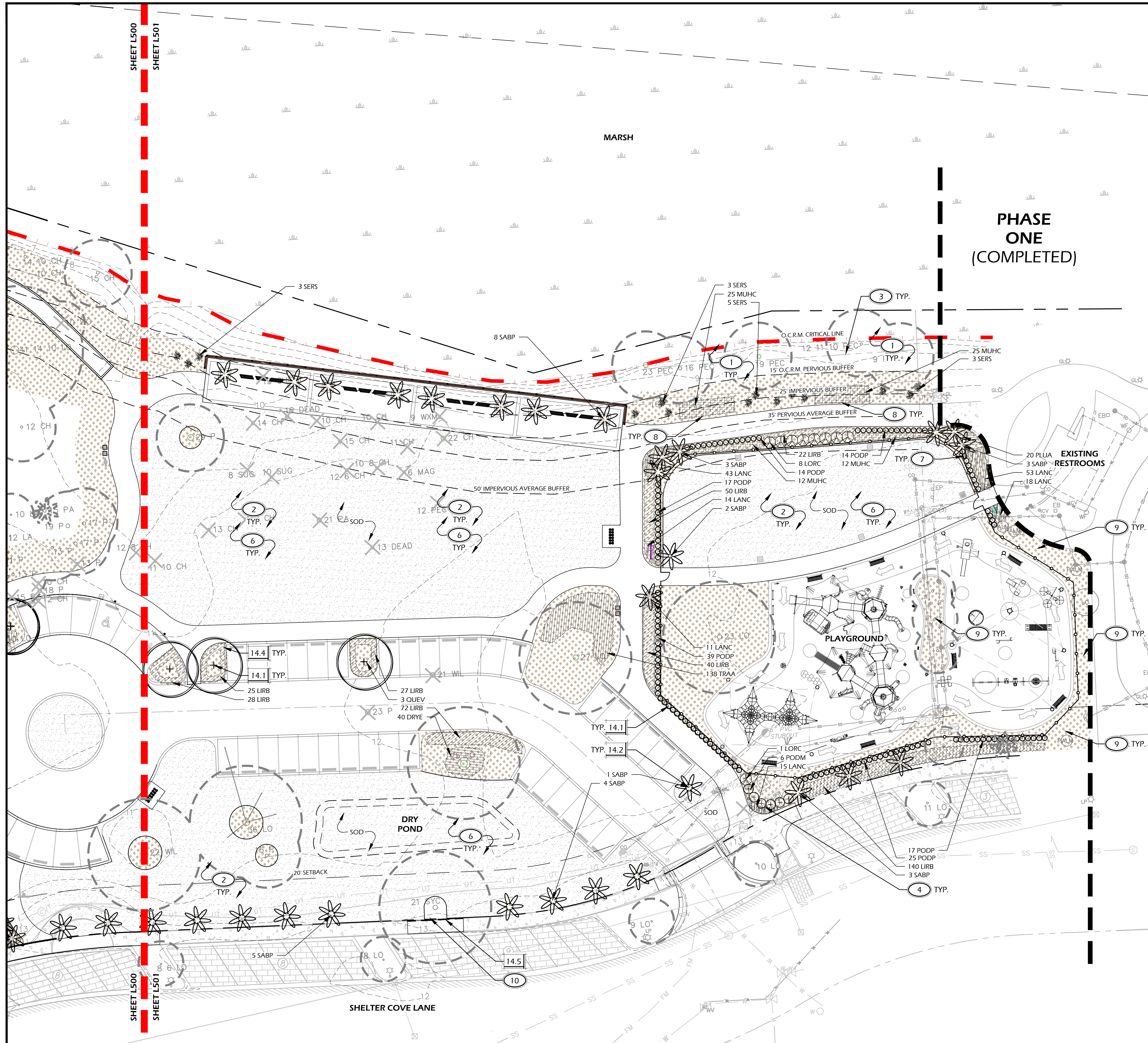
PLANT KEY LEGEND

| Abbrev | Botanical Name | Common Name |
|--|---|----------------------------------|
| TREES | | |
| SABP | Sabal palmetto | Cabbage Palm |
| QUEV | Quercus virginiana | Live Oak |
| UNDERSTORY TREES | | |
| IIEC | Ilex cassine | Dahoon Holly |
| IIEO | Ilex opaca | American Holly |
| IIEV | Ilex vomitoria 'Shadows Female' | Shadows Female Yaupon Holly |
| SHRUBS | | |
| ILLP | Illicium parviflorum | Yellow Anise |
| LORC | Loropetalum chinense 'Kurobjiri' PP #23,176 | Cerise Charm Loropetalum |
| PODM | Podocarpus macrophyllus | Podocarpus |
| PODP | Podocarpus macrophyllus 'Pringles Dwarf' | Dwarf Podocarpus |
| SERS | Serenoa repens 'Silver' | Silver Saw Palmetto |
| VIBS | Viburnum ovatum 'Mrs. Schiller's Delight' | Mrs. Schiller's Delight Viburnum |
| ORNAMENTAL GRASSES & FERNS | | |
| DRYE | Dryopteris erythrosora | Autumn Fern |
| MUHC | Muhlenbergia capillaris | Pink Muhly Grass |
| GROUND COVERS, VINES & PERENNIALS | | |
| LANC | Lantana 'Chapel Hill Yellow' PP19548 | Chapel Hill Yellow Lantana |
| LIRB | Liriope muscari 'Super Blue' | Super Blue Liriope |
| PLUA | Plumbago auriculata | Plumbago |
| TRAA | Trachelospermum asiaticum | Asiatic Jasmine |

PLANTING REFERENCE NOTES:

- EXISTING VEGETATION TO REMAIN OUTSIDE GRADING LIMITS UNLESS NOTED OTHERWISE.
- EXISTING TREES TO REMAIN UNLESS NOTED OTHERWISE; SEE CIVIL ENGINEER'S PLANS FOR **TREE REMOVAL**.
- UNDISTURBED BUFFER.
- REMOVE ALL GROUND PLANE VEGETATION AND DEAD LIMBS UNLESS OTHERWISE NOTED BY LANDSCAPE ARCHITECT.
- SELECTIVELY THIN AND UNDERBRUSH, REMOVE DEAD LIMBS AND PINE STRAW DISTURBED AREAS.
- CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.
- CLEAR, GRADE AND PREP ALL SOD AREAS (SEE SOD AND MULCH LEGEND) PER GENERAL NOTES.
- UNDERBRUSH AND CLEAR ALL GROUND VEGETATION AROUND LOG PLAY STRUCTURES. MULCH WITH EWf PLAYGROUND MULCH TO A DEPTH OF 6".
- FIELD VERIFY LOCATION OF ELECTRICAL TRANSFORMERS AND FIELD LOCATE PLANTINGS WITH LANDSCAPE ARCHITECTS PRIOR TO PLANTING.
- NEWPORT MAINTAINED AREA. REQUIRED BUFFER PLANTINGS TO BE PLANTED OUTSIDE OF OFFICIAL BUFFER.





| PLANTING DETAILS | | |
|------------------|-----------------------|--------|
| CALL-OUT | DESCRIPTION | DETAIL |
| 14.1 | TREE PLANTING | 1/L502 |
| 14.2 | PALM TREE PLANTING | 2/L502 |
| 14.3 | SHRUB PLANTING | 3/L502 |
| 14.4 | GROUND COVER PLANTING | 4/L503 |
| 14.5 | ROOT BARRIER | 6/L502 |

| SOD AND MULCH LEGEND | |
|----------------------|------------------------------------|
| SYMB. | DESCRIPTION |
| [Pattern] | SOD |
| [Pattern] | PINE STRAW (REFER TO NOTE 3 BELOW) |

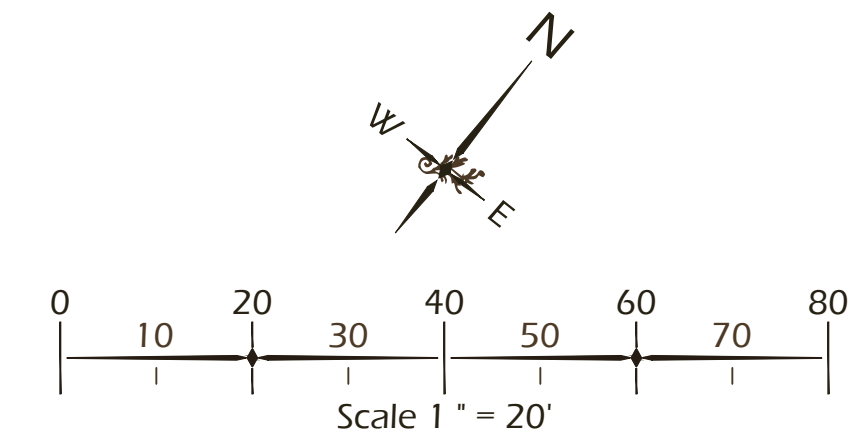
NOTE: REFER TO PLANT SCHEDULE, SHEET L502, FOR AREA/QUANTITIES AND PRODUCT SPECIFICATIONS.

PLANT KEY LEGEND

| Abbrev | Botanical Name | Common Name |
|--|---|----------------------------------|
| TREES | | |
| SABP | Sabal palmetto | Cabbage Palm |
| QUEV | Quercus virginiana | Live Oak |
| UNDERSTORY TREES | | |
| ILEC | Ilex cassine | Dahoon Holly |
| ILEO | Ilex opaca | American Holly |
| ILEV | Ilex vomitoria 'Shadows Female' | Shadows Female Yaupon Holly |
| SHRUBS | | |
| ILLP | Illicium parviflorum | Yellow Anise |
| LORC | Loropetalum chinense 'Kurobijin' PP #23,176 | Cerise Charm Loropetalum |
| PODM | Podocarpus macrophyllus | Podocarpus |
| PODP | Podocarpus macrophyllus 'Pringles Dwarf' | Dwarf Podocarpus |
| SERS | Serenoa repens 'Silver' | Silver Saw Palmetto |
| VIBS | Viburnum obovatum 'Mrs. Schiller's Delight' | Mrs. Schiller's Delight Viburnum |
| ORNAMENTAL GRASSES & FERNS | | |
| DRYE | Dryopteris erythrosora | Autumn Fern |
| MUHC | Muhlenbergia capillaris | Pink Muhly Grass |
| GROUND COVERS, VINES & PERENNIALS | | |
| LANC | Lantana 'Chapel Hill Yellow' PP19548 | Chapel Hill Yellow Lantana |
| LIRB | Liriope muscari 'Super Blue' | Super Blue Liriope |
| PLUA | Plumbago auriculata | Plumbago |
| TRAA | Trachelospermum asiaticum | Asiatic Jasmine |

PLANTING REFERENCE NOTES:

- EXISTING VEGETATION TO REMAIN OUTSIDE GRADING LIMITS UNLESS NOTED OTHERWISE.
- REMOVE ALL VEGETATION FROM AREAS NOTED FOR SOD INSTALLATION (SEE SOD AND MULCH LEGEND).
- SELECTIVELY THIN AND UNDERBRUSH, REMOVE DEAD LIMBS AND PINE STRAW DISTURBED AREAS.
- COORDINATE SHRUB LAYOUT WITH EXISTING UTILITIES. REPORT ANY CONFLICTS TO LANDSCAPE ARCHITECT.
- PROTECT AREA DRAINS FROM CLOGGING DURING INSTALLATION OF PLANTS AND MULCH. MAINTAIN FUNCTIONALITY AND POSITIVE PITCH TO DRAIN.
- CLEAR, GRADE AND PREP ALL SOD AREAS (SEE SOD AND MULCH LEGEND) PER GENERAL NOTES.
- EXTEND MULCH LINE 2' INSIDE FENCE.
- MAINTAIN 5' BETWEEN EDGE OF SIDEWALK AND MUHC PLANTINGS.
- EXISTING LANDSCAPE TO REMAIN.
- ROOT PRUNE ROOTS THAT WILL CAUSE POTENTIAL CONFLICT WITH NEW DRIVE AISLES AND PERVIOUS PARKING SPACES. CONTRACTOR TO COORDINATE WITH OWNER ON LANDSCAPE ARCHITECT PRIOR TO PRUNING.



Winter Jones-Keefe
 landscape architecture
 land planning
 www.wjkltd.com
 28 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph. 843.787.7411

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 THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS
 FOR
SHELTER COVE - PHASE 2
 39 SHELTER COVE LANE
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

| | |
|--------------|--------------|
| DATE: | JAN 14, 2026 |
| PROJECT NO.: | 22062.15 |
| DRAWN BY: | CK, ED |
| CHECKED BY: | BW |

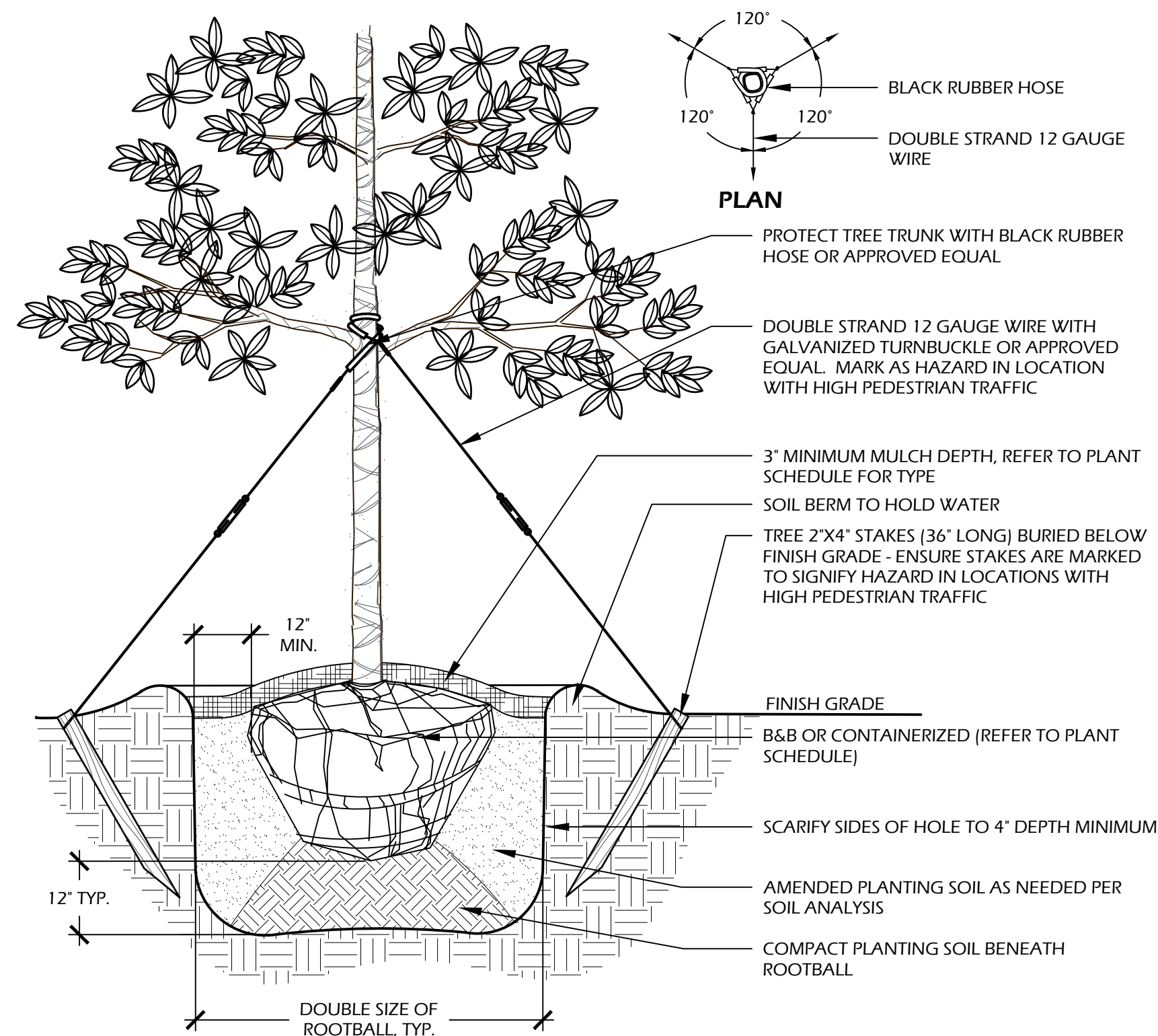
DRB SUBMITTAL SET

REVISIONS:

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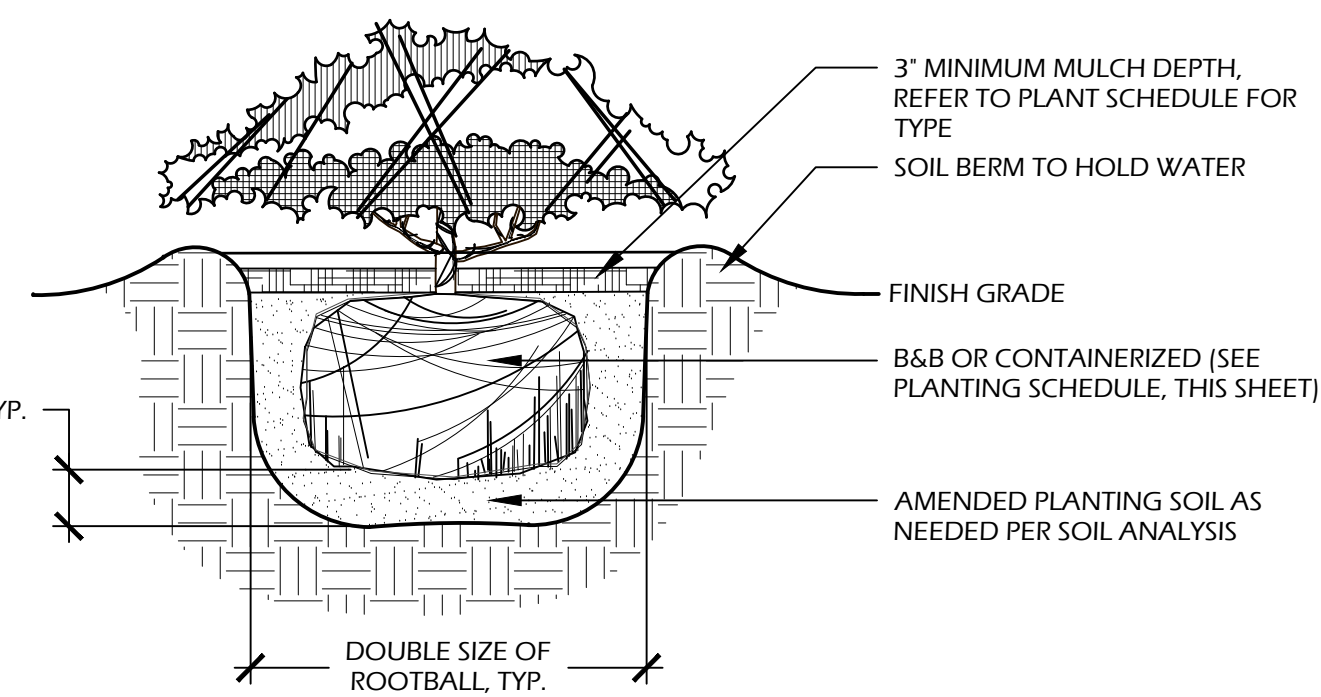
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PLANTING PLAN - 02

DRAWING NUMBER
L501



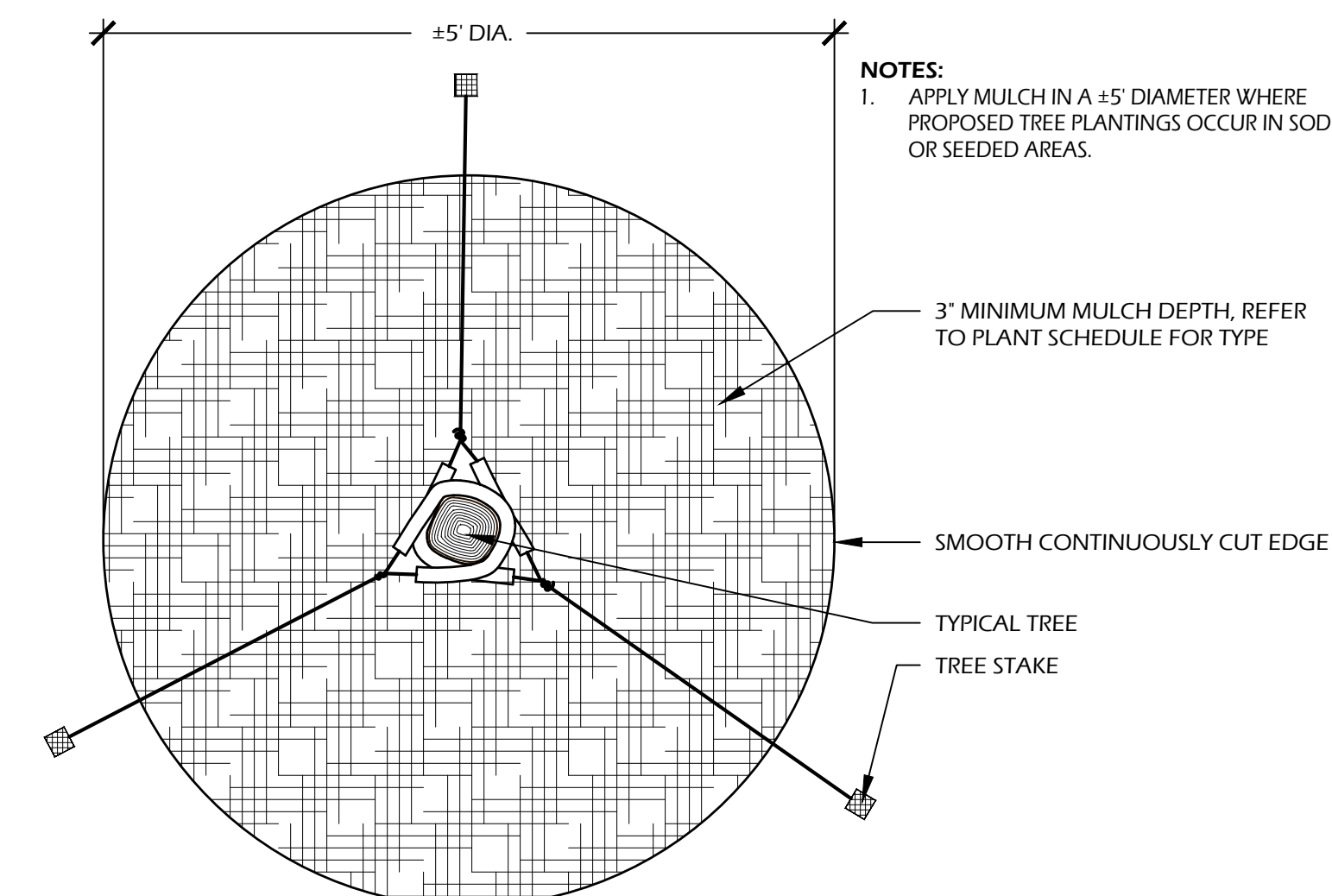
- NOTES:**
- TREE STAKING OPTIONAL. HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L502 TREE PLANTING
SCALE: N.T.S.

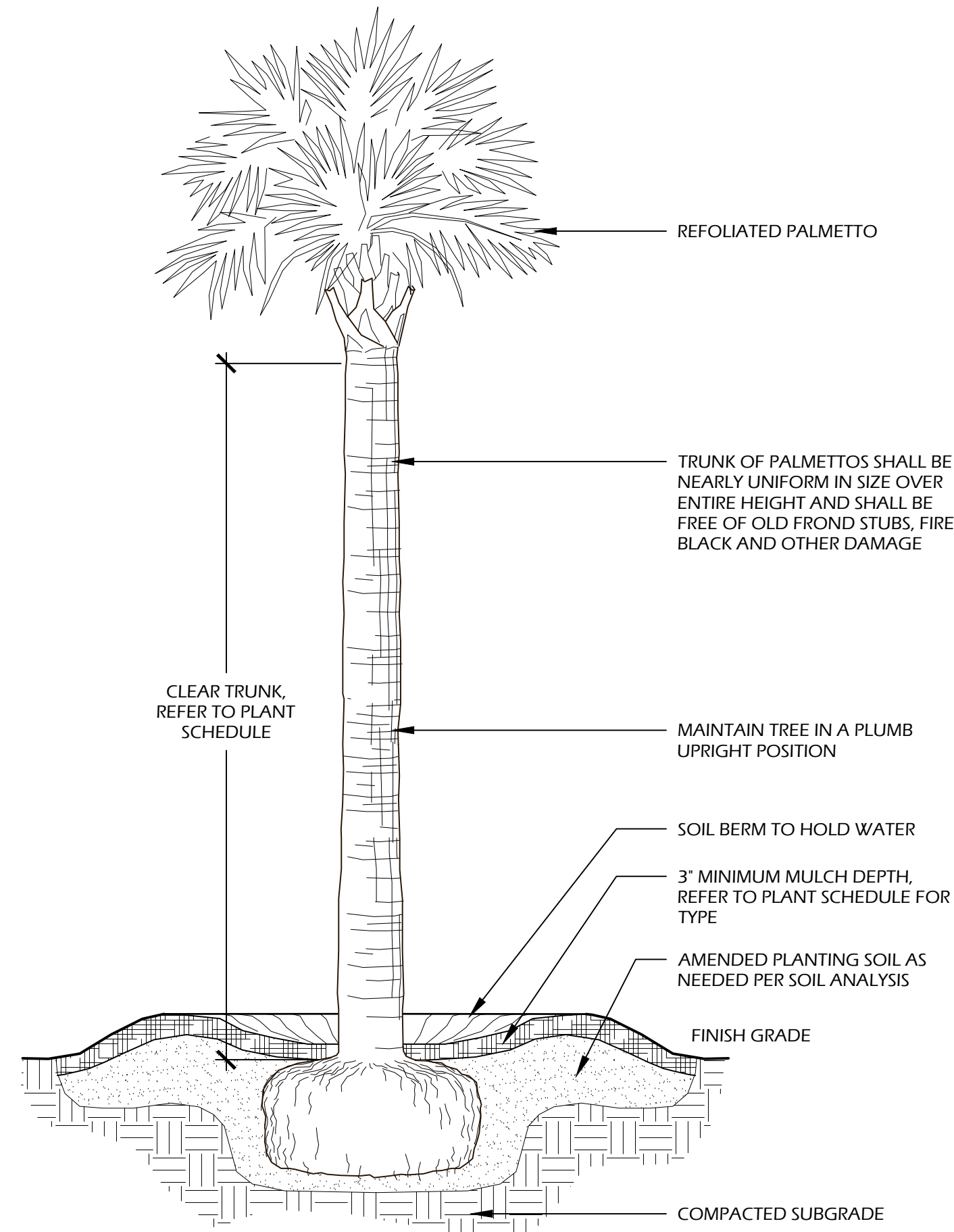


- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IN MASS, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE +2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L502 SHRUB PLANTING
SCALE: N.T.S.

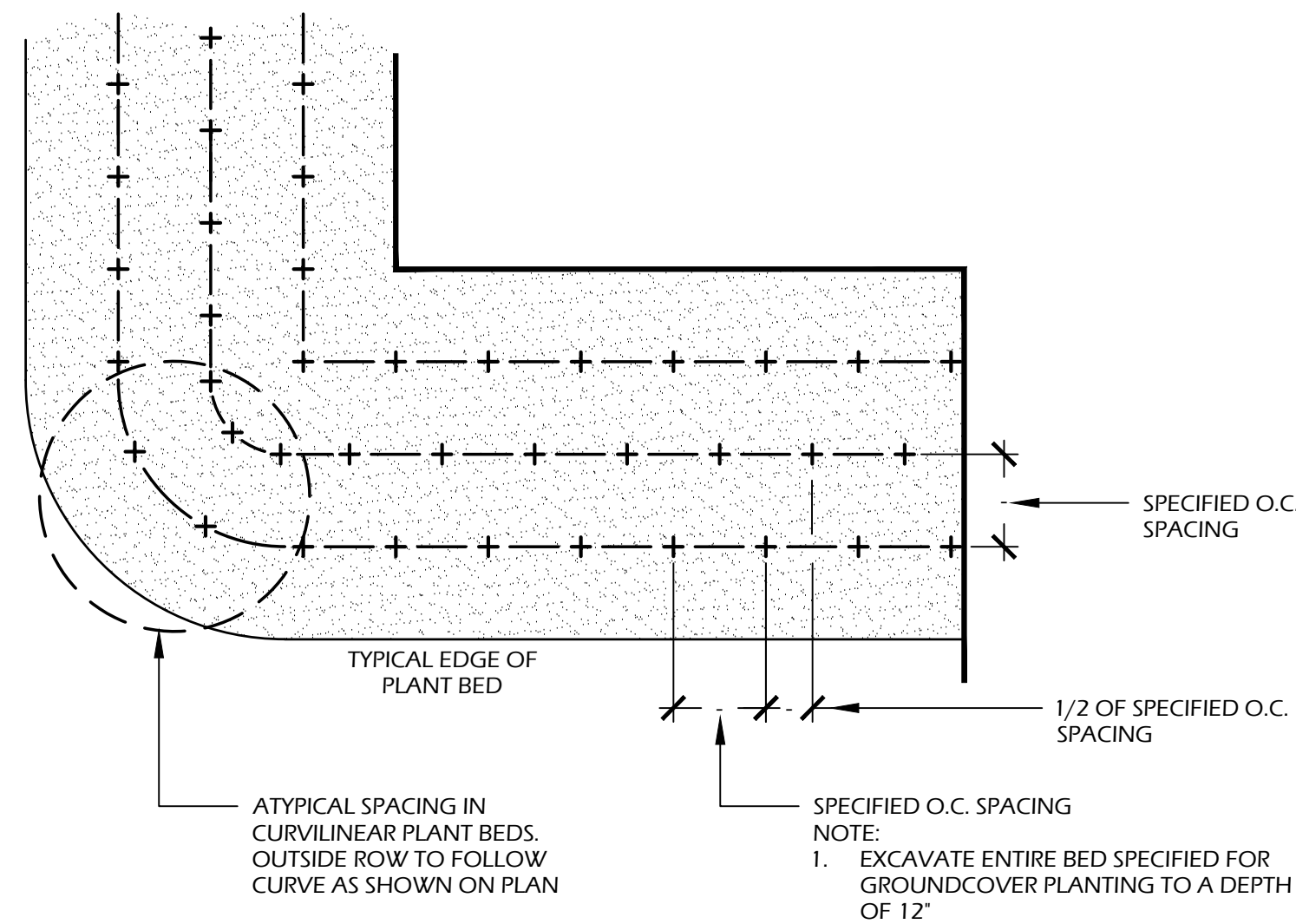


5 // L502 TREE STAKING
SCALE: N.T.S.



- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L502 PALM TREE PLANTING
SCALE: N.T.S.



4 // L502 GROUND COVER PLANTING
SCALE: N.T.S.

PLANT SCHEDULE:

| Quantity | Abbrev | Botanical Name | Common Name | Height | Spread | Container | Cal./Spacing | Notes |
|--|---------|---|-----------------------------------|---------|-------------|-----------|--------------|---|
| TREES | | | | | | | | |
| 34 | SABP | Sabal palmetto | Cabbage Palm | 12'-16' | - | Cont. | - | Refoliated, full clear trunk, refer to plan for heights |
| 6 | QUEV | Quercus virginiana | Live Oak | 14'-16' | 6'-8' | Cont. | 4' | Full |
| UNDERSTORY TREES | | | | | | | | |
| 3 | ILEC | Ilex cassine | Dahoon Holly | 6'-7' | 3'-4' | 15 gal. | 1" | Full |
| 8 | ILEO | Ilex opaca | American Holly | 10'-12' | 4'-5' | - | 2" | Tree form, Multi-stem, Full |
| 6 | ILEV | Ilex vomitoria 'Shadows Female' | Shadows Female Yaupon Holly | 5'-6' | 3'-4' | 15 gal. | 1" | Tree form, Multi-stem, Full |
| SHRUBS | | | | | | | | |
| 5 | ILLP | Illicium parviflorum | Yellow Anise | 30'-36' | 24'-30" | 7 gal. | - | Full |
| 43 | LORC | Loropetalum chinense 'Kurobjin' PP #23,176 | Ceise Charm' Loropetalum | 30'-36' | 24'-30" | 7 gal. | - | Full |
| 6 | PODM | Podocarpus macrophyllus | Podocarpus | 36'-42' | 24'-30" | 15 gal. | - | Full |
| 138 | PODP | Podocarpus macrophyllus 'Pingles Dwarf' | Dwarf Podocarpus | 18'-24' | 16'-20" | 7 gal. | - | Full |
| 14 | SERS | Serenoa repens 'Silver' | Silver Saw Palmetto | 24'-30" | 24'-30" | 15 gal. | - | Full, Silver Foliage |
| 3 | VIBS | Viburnum obovatum 'Mrs. Schiller's Delight' | Mrs. Schiller's Delight' Viburnum | 30'-36' | 24'-30" | 7 gal. | - | Full |
| ORNAMENTAL GRASSES & FERNS | | | | | | | | |
| 40 | DRYE | Dryopteris erythrosora | Autumn Fern | 10'-12" | 8'-12" | 1 gal. | 24" O.C. | Full |
| 74 | MUHC | Muhlenbergia capillaris | Pink Muhly Grass | 14'-16" | 10'-16" | 1 gal. | 30" O.C. | Full |
| GROUND COVERS, VINES & PERENNIALS | | | | | | | | |
| 219 | LANC | Lantana 'Chapel Hill Yellow' PP19548 | Chapel Hill Yellow Lantana | 8'-12" | 8'-12" | 1 gal. | 18" O.C. | Yellow Flowers, Full |
| 408 | LIRB | Liriope muscari 'Super Blue' | Super Blue Liriope | 12'-16" | 8'-12" | 1 gal. | 24" O.C. | Full |
| 20 | FLUA | Plumbago auriculata | Plumbago | 12'-18" | 12'-18" | 1 gal. | 24" O.C. | Blue Flowers, Full |
| 162 | TRAA | Trachelospermum asiaticum | Asiatic Jasmine | 4'-6" | 12" runners | 1 gal. | 24" O.C. | Full |
| SOD & MULCH | | | | | | | | |
| 52,300 | SODSF | - | Empire Zoysia Sod | - | - | - | - | - |
| 50,450 | MULCHSF | Pine Straw - all disturbed areas | Pine Straw | - | - | - | - | - |
| 2,050 | MULCHSF | EWf Playground Mulch | 6" Depth | - | - | - | - | - |

PLANT TABLE:

| Species Abbrev. | Trees Removed | | | | | | | | | |
|--------------------|---------------|----------------|-----------------|-----|-----|-----|-----|-----|-----|-----|
| | LO | LA | M | HIC | SUG | PEC | WLK | WOK | PLM | P |
| Caliper Inches | 16 | 15 | 6 | 8 | 10 | 12 | 21 | 12 | 21 | 23 |
| | 13 | 10 | | | 8 | | | 11 | | 22 |
| | 10 | 10 | | | | | | 10 | | 19 |
| | 10 | 9 | | | | | | | | 18 |
| | | 9 | | | | | | | | 15 |
| | | 9 | | | | | | | | 13 |
| | | 8 | | | | | | | | |
| | | 8 | | | | | | | | |
| Species DBH Totals | 49 | 87 | 6 | 8 | 18 | 12 | 21 | 33 | 21 | 110 |
| Total DBH Inches | CAT. I | CAT. II | CAT. III | | | | | | | |
| | 142 | 92 | 131 | | | | | | | |

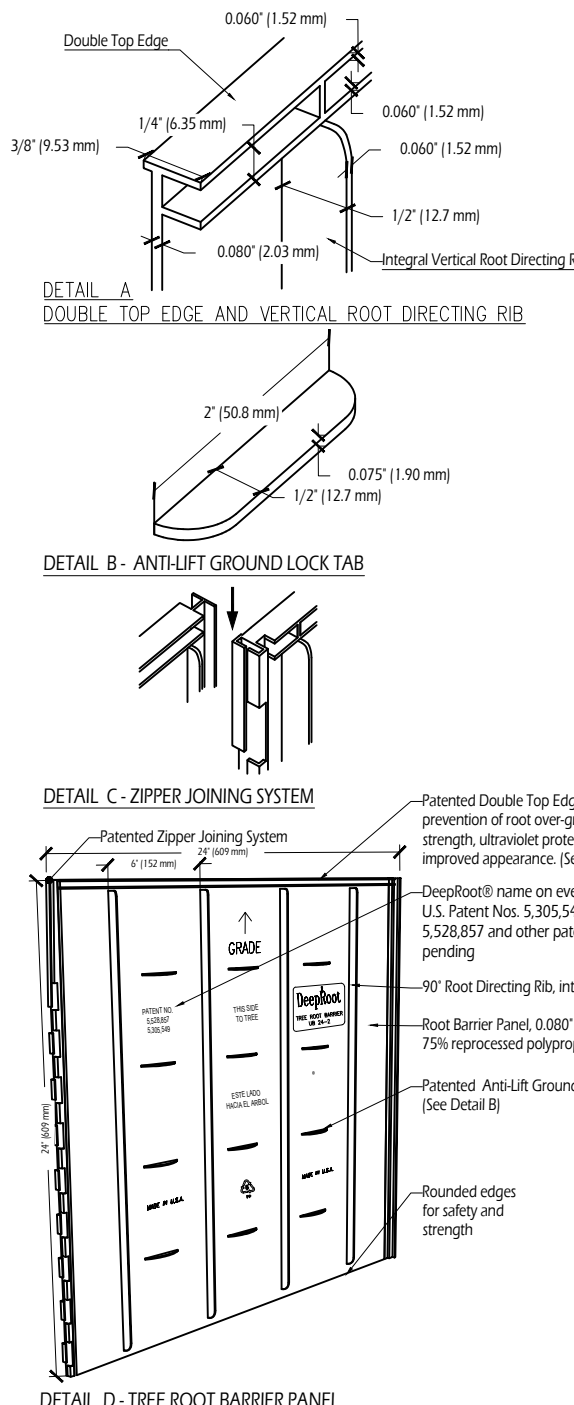
TREE LEGEND: LO-Live Oak, LA-Laurel Oak, M-Magnolia, HIC-Hickory, SYC-Sycamore, SUG-Sugar Berry, PEC-Pecan, WLK-Willow Oak, WOK-Water Oak, PLM-Palmetto, P-Loblolly Pine

Tree Mitigation Calculations

| | CAT. I | CAT. II | CAT. III |
|--------------------------|-----------------|---------------|-----------------|
| # OF TREES TO BE REMOVED | 14 | 8 | 7 |
| TOTAL # OF DBH INCHES | 142 | 92 | 131 |
| CALCULATION | 142 ÷ 10 = 14.2 | 92 ÷ 10 = 9.2 | 131 ÷ 10 = 13.1 |
| # OF NEW TREES REQUIRED | 14 | 9 | 13 |
| # OF NEW TREES PROVIDED | 14 | 9 | 28 |

UB 24-2 Specifications
24' DeepRoot® Tree Root Barrier
(Or approved equal)

1. EXCAVATE ENTIRE BED SPECIFIED FOR GROUND COVER PLANTING TO A DEPTH OF 12"
- NOTES:**
- CONTRACTOR SHALL FURNISH AND INSTALL TREE ROOT BARRIER AS SPECIFIED. THE TREE ROOT BARRIER SHALL BE EITHER PRODUCT #48-24 AS MANUFACTURED BY DEEPROOT GREEN INFRASTRUCTURE, LLC, 230 WASHINGTON STREET, SAN FRANCISCO, CA, WWW.DEEPROOT.COM (RIB 192) OR #48-24 AS MANUFACTURED BY DEEPROOT GREEN INFRASTRUCTURE, LLC, 230 WASHINGTON STREET, SAN FRANCISCO, CA, WWW.DEEPROOT.COM (RIB 24-2).
 - ROOT BARRIER SHALL BE RECYCLABLE, BLACK, RIGID, NON-MOLDED PANELS WITH 80" (2.03 MM) WALL THICKNESS IN MODULES 24" (609 MM) LONG AND 24" (609 MM) DEEP.
 - ROOT BARRIER SHALL BE MANUFACTURED WITH 75% RECYCLED POLYPROPYLENE WITH ADDED ULTRAVIOLET INHIBITORS.
 - ROOT BARRIER SHALL BE COMPOSED OF 24" (609.6 CM) PANELS. EACH PANEL SHALL HAVE TWO (2) INTEGRAL HORIZONTAL RIDGES OF MINIMUM 0.07" (1.90 MM) THICKNESS. THE CHAIRS OF A SEGMENT OF AN O.C. RIB, THE 7" (50.8 MM) CHAIRS OF THE SEGMENT JOINING THE PANEL SHALL BE ABOUT EQUALLY SPACED BETWEEN EACH OF THE VERTICAL ROOT DIRECTING RIBS (SEE DETAIL A).
 - ROOT BARRIER SHALL HAVE A MINIMUM OF THIRTEEN (13) ANTI-LIFT GROUND LOCKS CONSISTING OF INTEGRAL HORIZONTAL RIDGES OF MINIMUM 0.07" (1.90 MM) THICKNESS. THE CHAIRS OF A SEGMENT OF AN O.C. RIB, THE 7" (50.8 MM) CHAIRS OF THE SEGMENT JOINING THE PANEL SHALL BE ABOUT EQUALLY SPACED BETWEEN EACH OF THE VERTICAL ROOT DIRECTING RIBS (FOUR (4) BETWEEN EACH SET OF RIBS, SEE DETAILS B & D).
 - ROOT BARRIER SHALL HAVE AN INTEGRATED ZIPPER JOINING SYSTEM FOR ASSEMBLY BY SLIDING ONE PANEL INTO ANOTHER (SEE DETAIL C).
- U.S. PATENTS: 5,385,849 AND 5,528,875. OTHER PATENTS PENDING.



Surround Style Planting with DeepRoot Universal Barriers

When selecting the Surround style planting application you will have the greatest success by following these simple steps as illustrated below:

- Prepare the initial planting hole as illustrated below. This is based upon the combination of desired barrier diameter and depth. Consider drainage ditches or amendments are needed to correct any adverse soil or planting conditions in the bedfill area.
- Assemble the appropriate number of DeepRoot Universal Barrier panels. The vertical root directing ribs on the panel must face inward, toward the root ball. (This is very important, otherwise the roots will become guided by traveling around the smooth walled surface.)
- Place the barrier in the center of the planting hole, keeping in mind that the double top edge of the barrier should be positioned approximately 1/2" (13mm) above grade. This helps resist potential root overgrowth. Filling to position the top edge above grade can allow root overgrowth which can lead to girdling situations.
- Backfill and compact with soil inside the barrier to the level where the bottom of the root ball will be when positioned correctly with the crown of the root ball approximately 1" (25mm) above grade.
- Remove the tree from its container, or cut away the top portion of burlap and position in the center of the barrier. Complete the backfill of the soil. Distribute evenly to maintain the slope of the barrier and compact the backfill every 4" (100mm) from the Root Ball. Roots will die quickly if left exposed to the elements to keep exposure of the roots to a minimum.

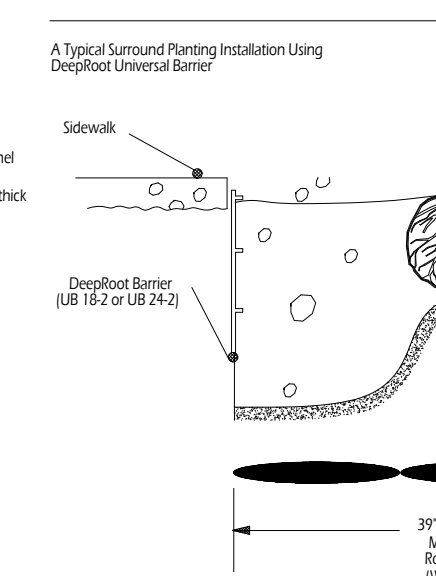
If staking or guying is required we recommend using the soft, safe and economical alternative to traditional wire and chocks. After the tree is secured to the trunk protect them from damage by weed trimmers, lawn mowers and small rodents. (See www.deeproot.com)

If the tree(s) will be subject to maintenance work such as lawn mowing or weed trimming we strongly recommend the installation of ArborCare® Tree Trunk Protectors which are placed around the base of young trees to protect them from damage by weed trimmers, lawn mowers and small rodents. (See www.deeproot.com)

Water and follow proper tree maintenance practices. Trees do require care and nurturing after planting. Consult with your local supplier for proper care procedures for the species you are planting. The planting contractors given here are by no means a comprehensive guide. Rather they are general guidelines to planting with DeepRoot Barriers and a variety of common planting methods. Conditions will vary however, and it is recommended that an Arborist be consulted before planting.

For additional information please visit our website at: www.deeproot.com.

For information regarding distributor please call: 1 800 81V ROOT (H58 7668). For help with drainage or other difficult installation questions please call DeepRoot Technical Support at: 1 800 ROOT TIX (766 8875).



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SITE DEVELOPMENT PLANS FOR
SHELTER COVE - PHASE 2
39 SHELTER COVE LANE
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

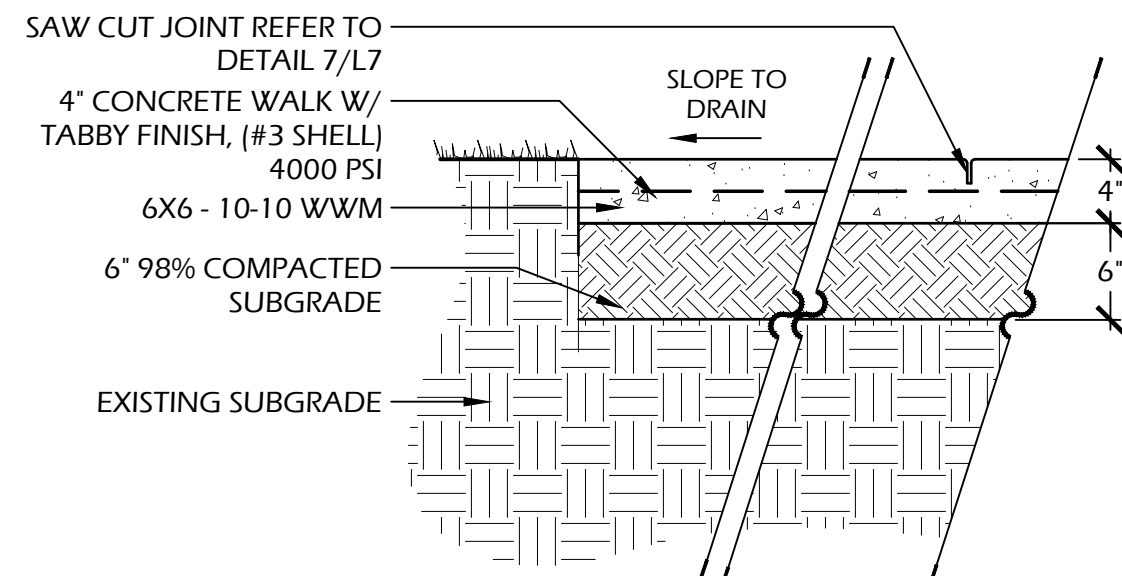
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PROJECT NO.: 22062.15
DRAWN BY: CK, ED
CHECKED BY: BW

DRB SUBMITTAL SET

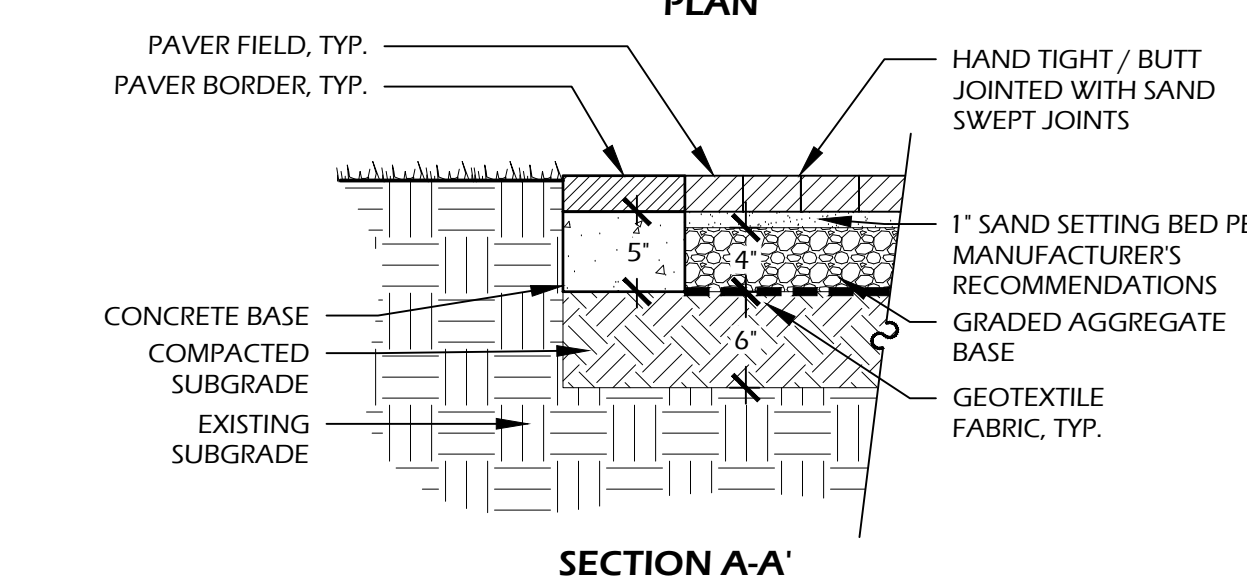
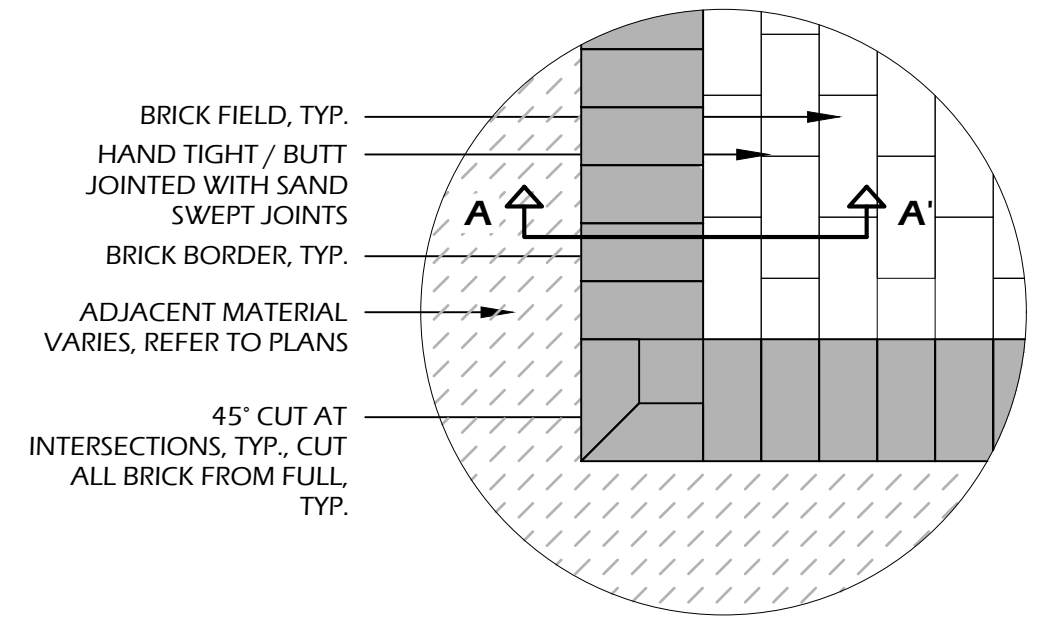
REVISIONS:

DRAWING TITLE
PLANT SCHEDULE AND DETAILS

DRAWING NUMBER
L502



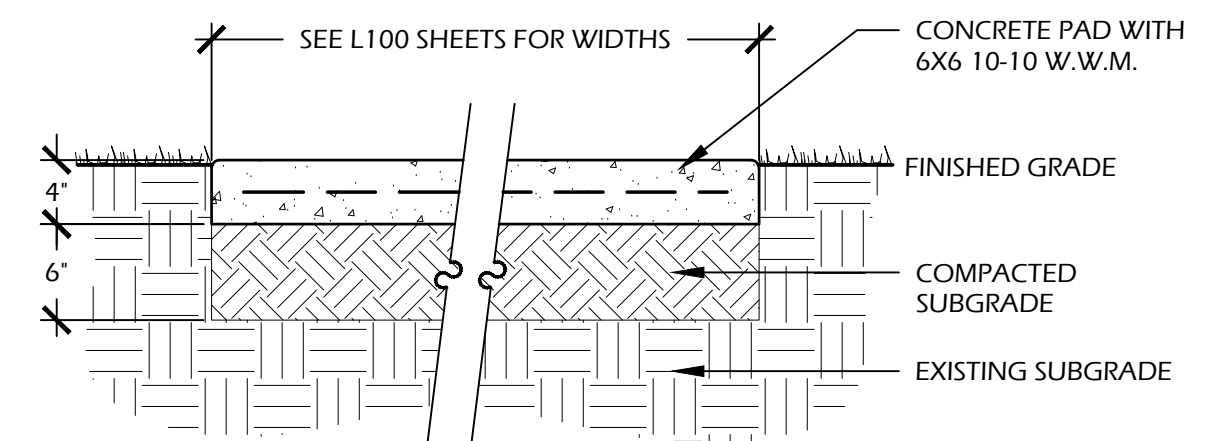
- NOTE:**
- CONTRACTOR SHALL PROVIDE 3' X 3' SAMPLE OF CONCRETE WITH 2 SIZES OF OYSTER SHELL FINISH. INTENT IS TO MATCH EXISTING TABBY WALK IN PARK. SAMPLES SHALL BE APPROVED BY OWNER AND LANDSCAPE ARCHITECT.
 - CONTRACTOR TO CONFIRM CONCRETE AND SUBSURFACE THICKNESS PER SOILS REPORT.
 - PROVIDE MIN. 1% CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 - SEE L100 SHEETS FOR WIDTHS OF WALKWAY AND SPECIAL JOINTS.
 - CONSTRUCT EXPANSION JOINTS WHERE WALKS MEET CURBS, STEPS, WALLS OR FIXED SLABS.



BRICK MANUFACTURER INFORMATION:
MANUFACTURER: PINE HALL BRICK
PAVER: SQUARE EDGE 4"X8"
COLOR: 50% COCOA
 50% FULL RANGE
PATTERN: RUNNING BOND FIELD (REFER TO PLAN, SHEET L100, FOR DIRECTION) WITH SINGLE HEADER COURSE BORDER
JOINTS: HAND TIGHT / BUTT JOINTED, SAND SWEEP

OTHER INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS
GEOTEXTILE FABRIC: TYPAR 3401 OR APPROVED EQUAL
SOIL COMPACTION: 95% STANDARD PROCTOR

- NOTES:**
- PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 - REFER TO PLAN (SHEET L100) FOR WIDTHS OF DRIVE AND LOCATION OF BRICK BORDERS.
 - CONTRACTOR SHALL COORDINATE BORDERS AND PATTERN WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 - UPON REQUEST, CONTRACTOR SHALL PROVIDE 4'X4' PAVING PANELS OF ALTERNATIVE COLORS PRIOR TO CONSTRUCTION FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.



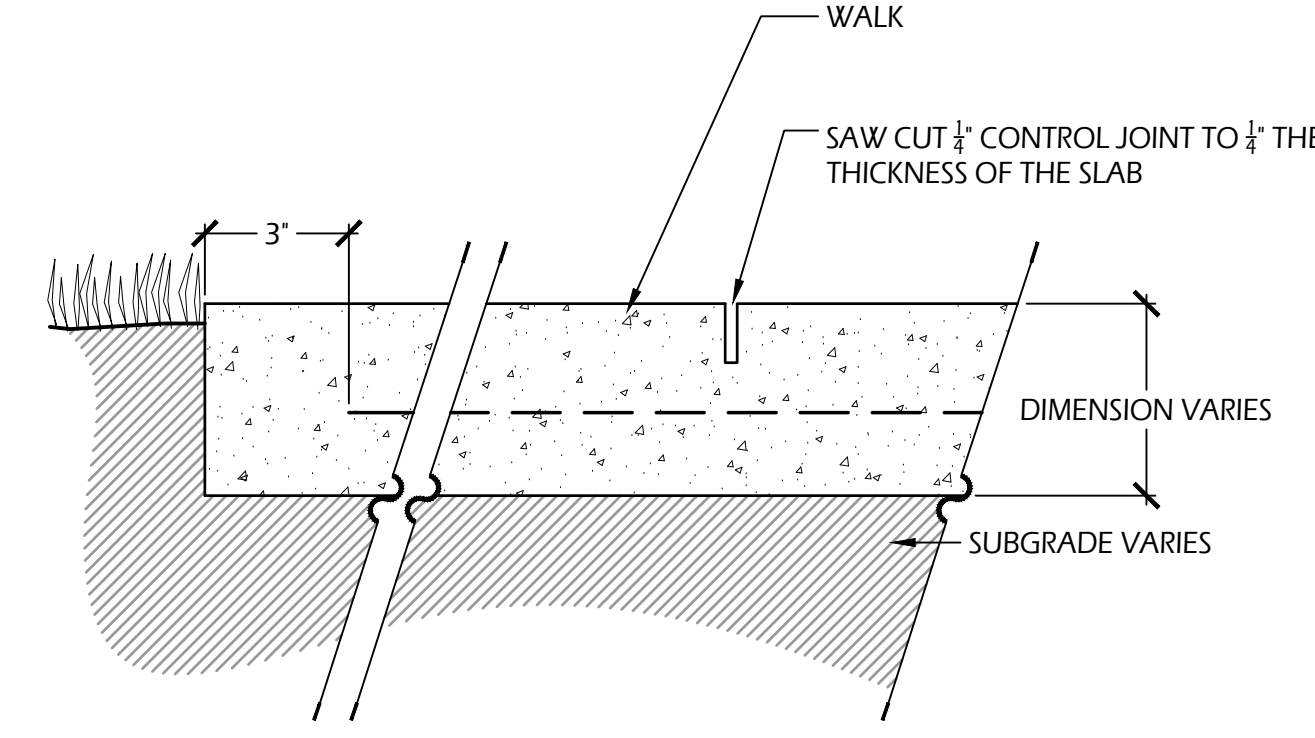
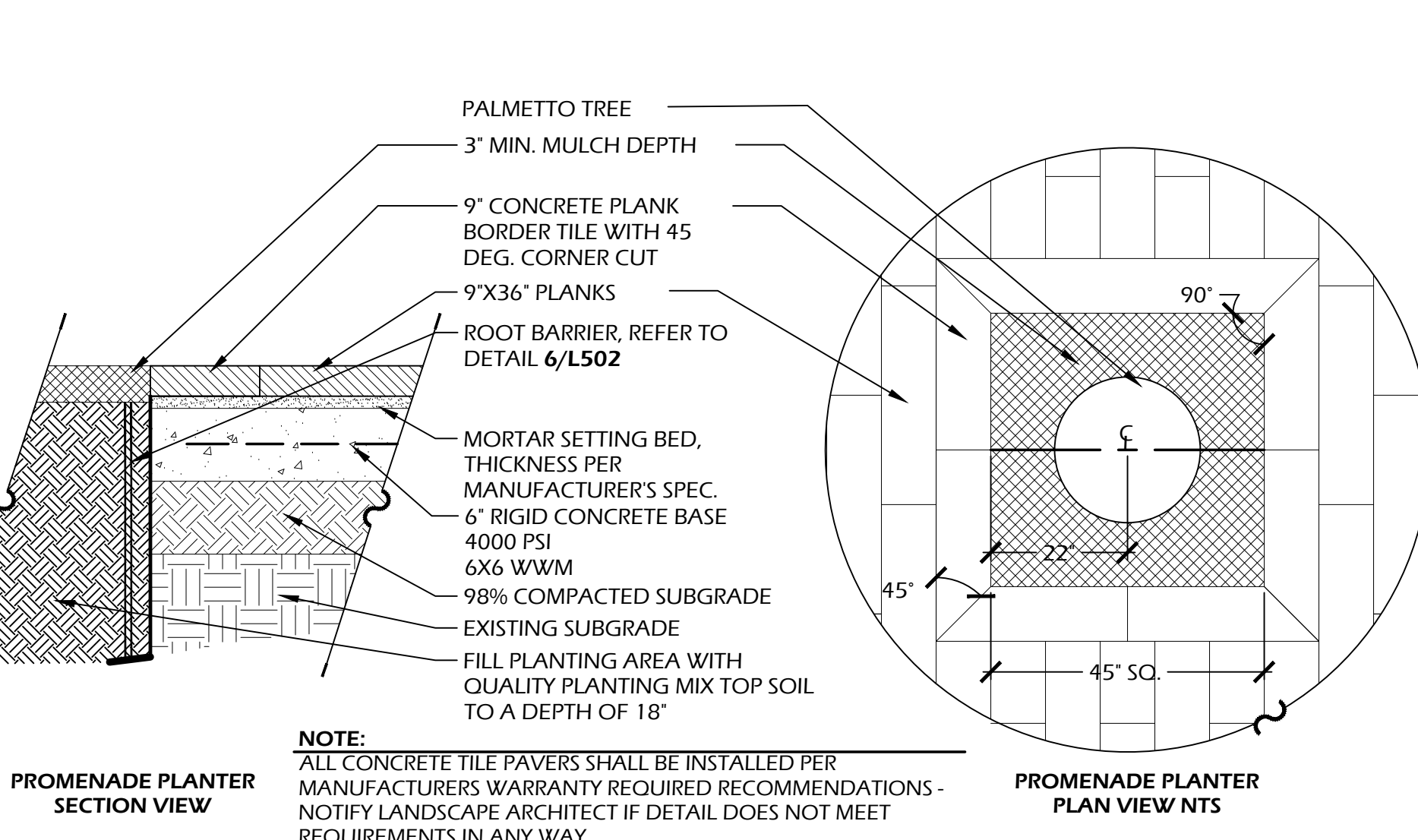
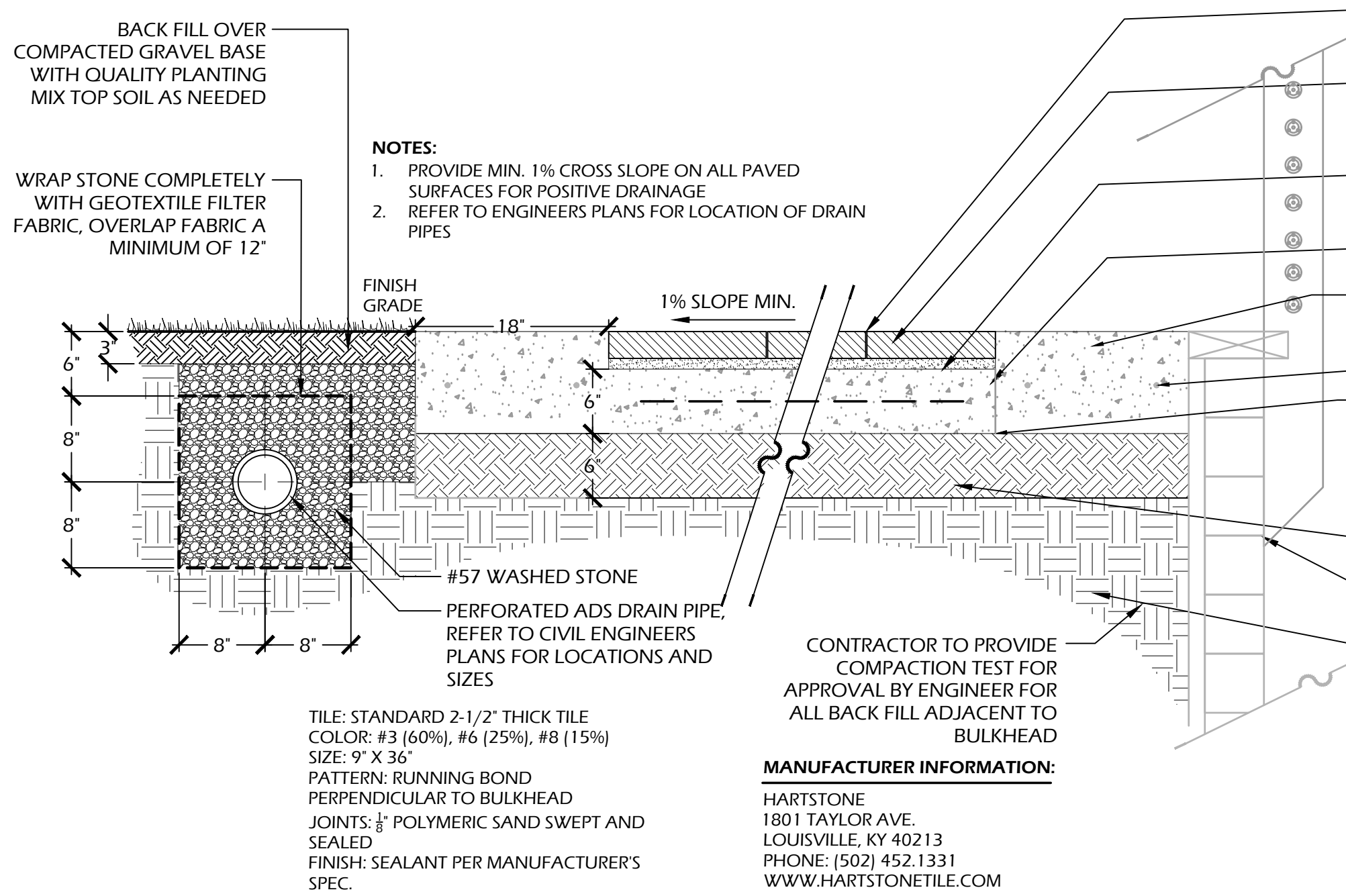
CONCRETE INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS
FINISH: LIGHT BROOM FINISH
SOIL INFORMATION:
COMPACTED SUBGRADE: 95% STANDARD PROCTOR

- NOTES:**
- PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 - CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURBS, STEPS, WALLS OR FIXED SLABS.

1 // L600 TABBY WALK
SCALE: 1" = 1'-0"

2 // L600 BRICK PAVERS
SCALE: 1" = 1'-0"

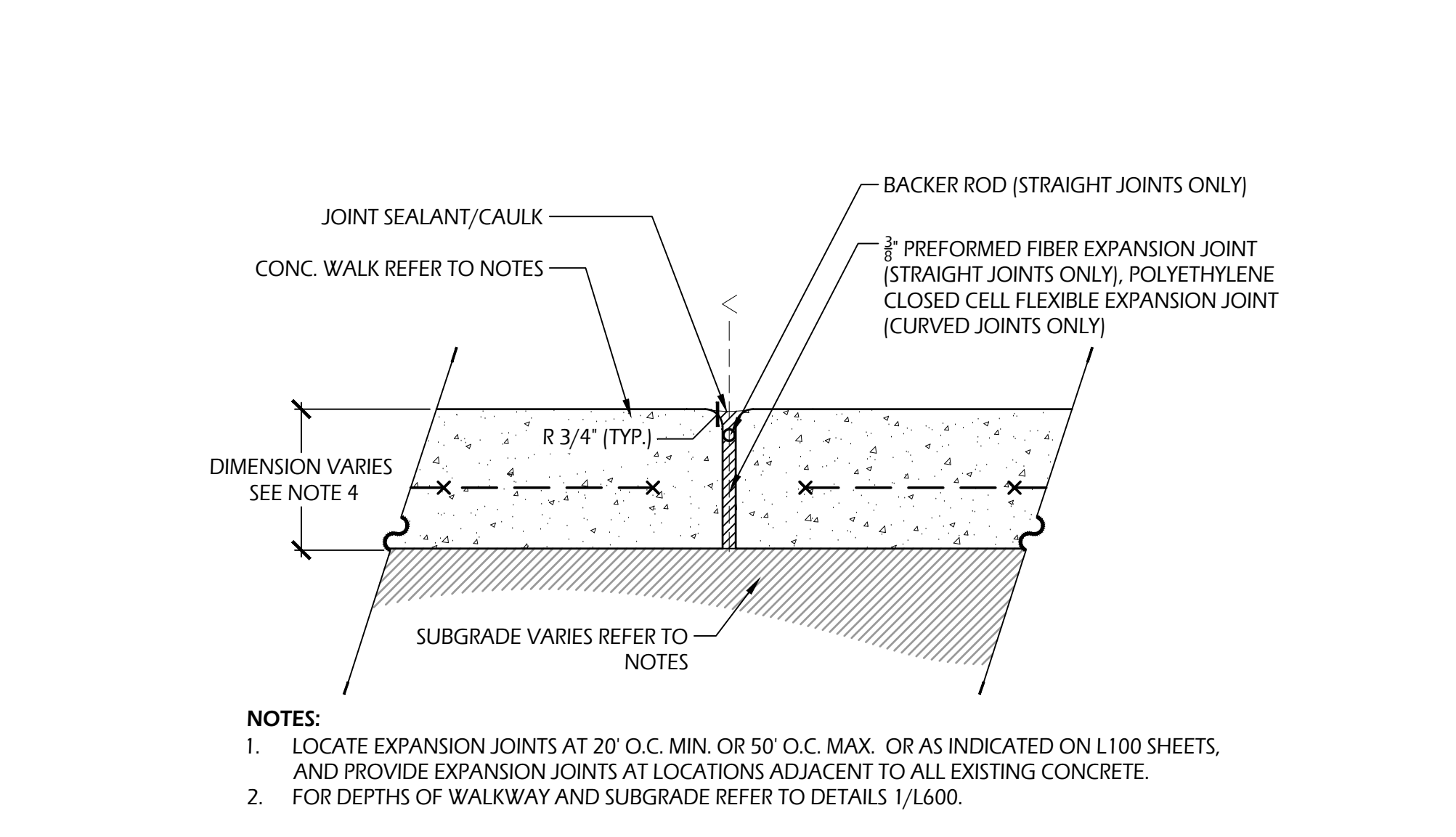
3 // L600 CONCRETE WALK
SCALE: 1" = 1'-0"



4 // L600 CONCRETE TILE AT PROMENADE
SCALE: 1" = 1'-0"

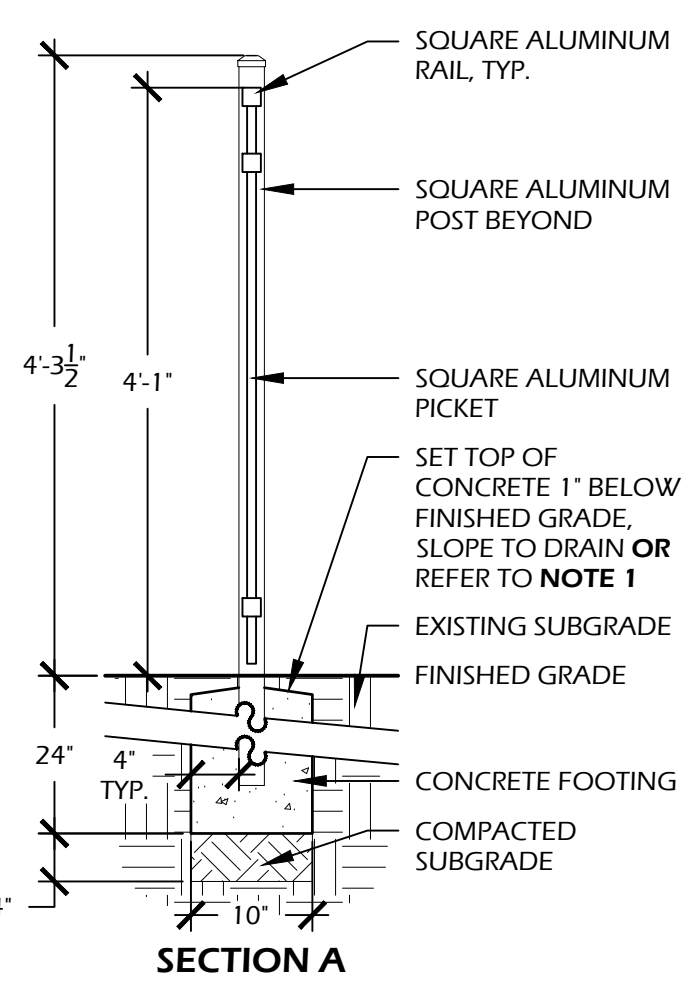
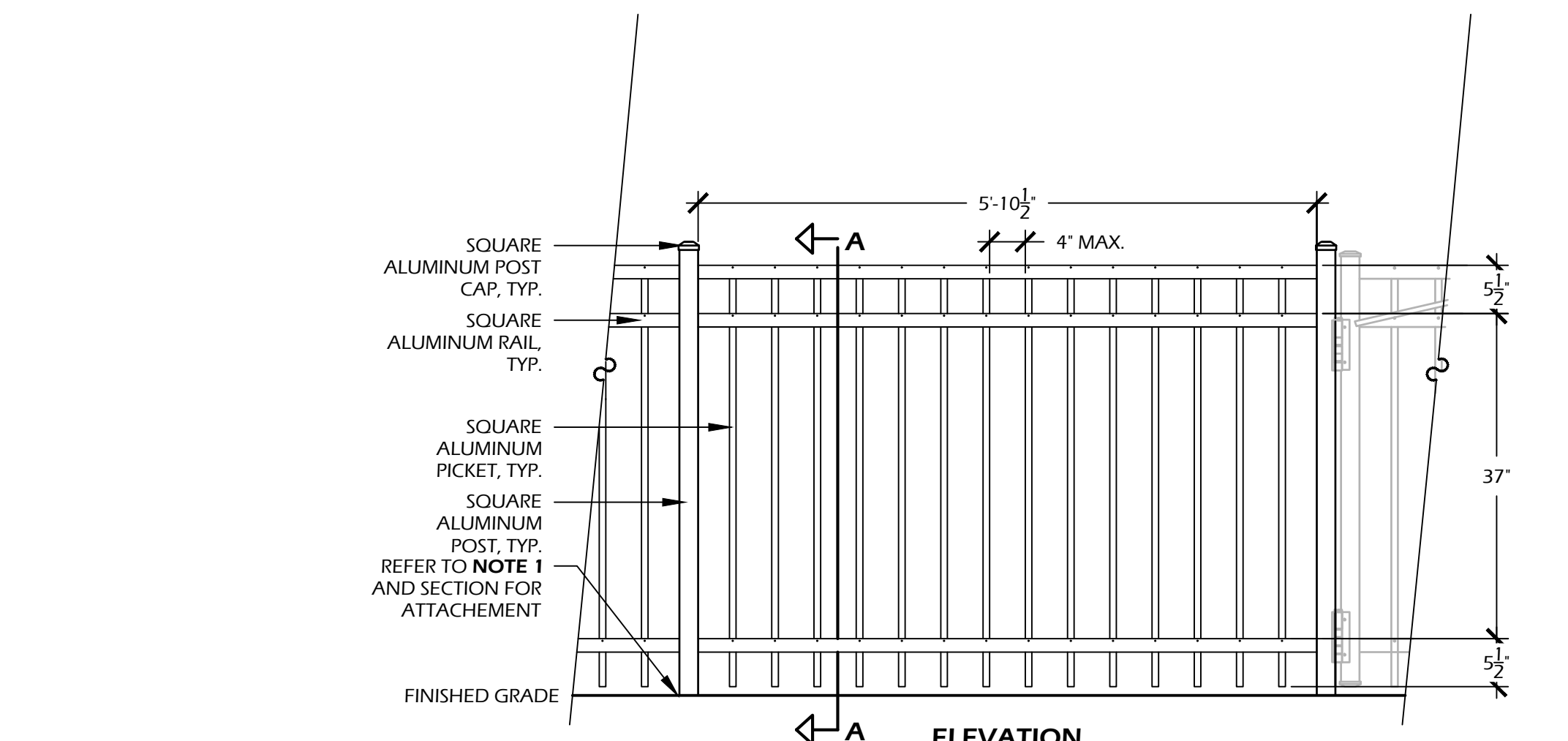
5 // L600 PROMENADE PLANTER
SCALE: 1" = 1'-0"

6 // L600 CONTROL JOINT
SCALE: 3" = 1'-0"



- NOTES:**
- LOCATE EXPANSION JOINTS AT 20' O.C. MIN. OR 50' O.C. MAX. OR AS INDICATED ON L100 SHEETS, AND PROVIDE EXPANSION JOINTS AT LOCATIONS ADJACENT TO ALL EXISTING CONCRETE.
 - FOR DEPTHS OF WALKWAY AND SUBGRADE REFER TO DETAILS 1/L600.

7 // L600 EXPANSION JOINT
SCALE: 3" = 1'-0"



FENCE MANUFACTURER INFORMATION:
MANUFACTURER: JERITH MANUFACTURING LLC
 14400 MCNULTY RD.
 PHILADELPHIA, PA, 19154
PHONE: (800) 344.2242
WEB: WWW.JERITH.COM

FENCE: JERITH AREO FENCE ELBA, 48" HEIGHT
MATERIAL: ALUMINUM
COLOR: POWDER COATED BLACK
STYLE: #202

OTHER INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS
SOIL COMPACTION: 95% STANDARD PROCTOR

- NOTES:**
- IF FENCE POST(S) LAND ON CONCRETE WALK, POST(S) SHALL BE SURFACE MOUNTED PER MANUFACTURERS SPEC. REFER TO PLAN SHEETS L100, L101, & L102 FOR LOCATIONS.
 - INSTALLATION TO BE COMPLETED PER MANUFACTURERS SPECIFICATIONS.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.

8 // L600 PLAYGROUND FENCE
SCALE: 3/4" = 1'-0"

© 2024 WJK LTD.
 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS
 FOR
SHELTER COVE - PHASE 2
 39 SHELTER COVE LANE
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
 PROJECT NO.: 22062.15
 DRAWN BY: CK, ED
 CHECKED BY: BW

DRB SUBMITTAL SET

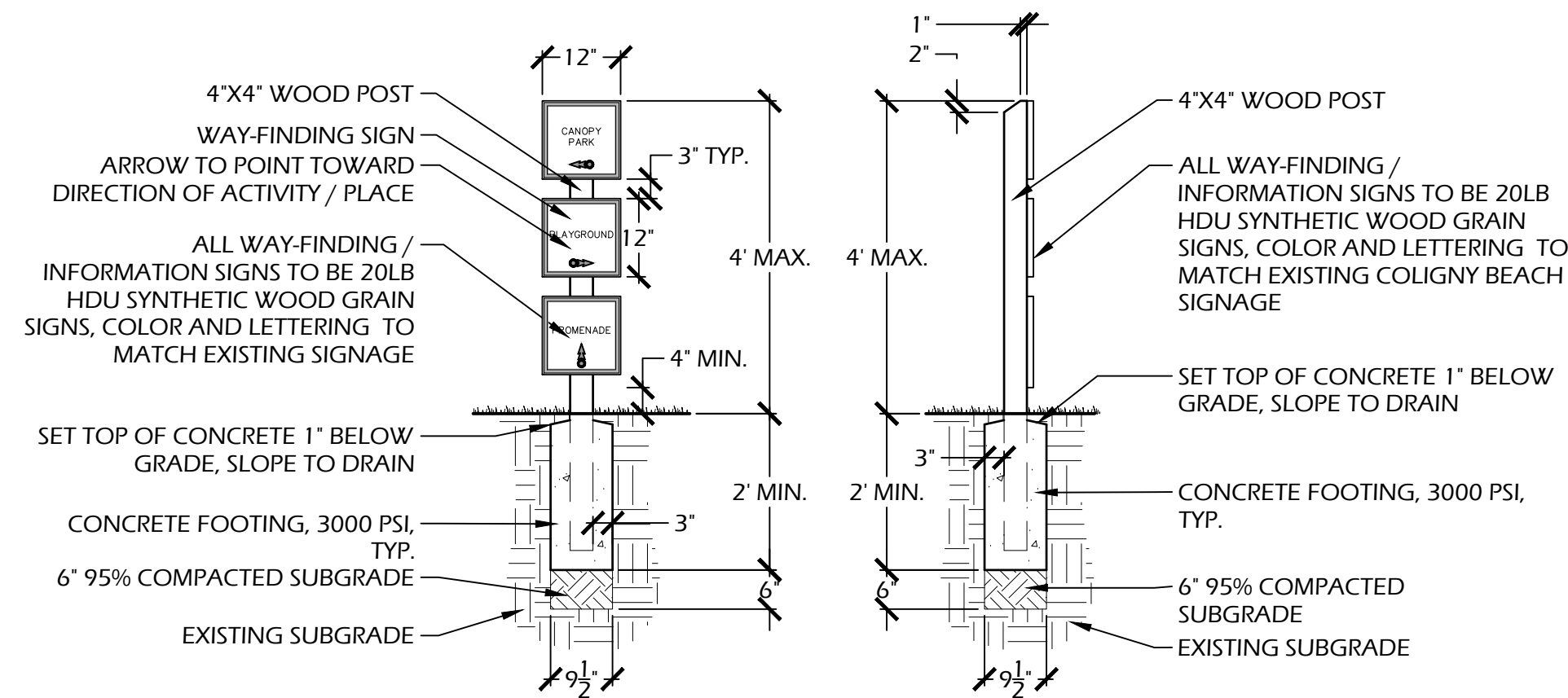
REVISIONS:

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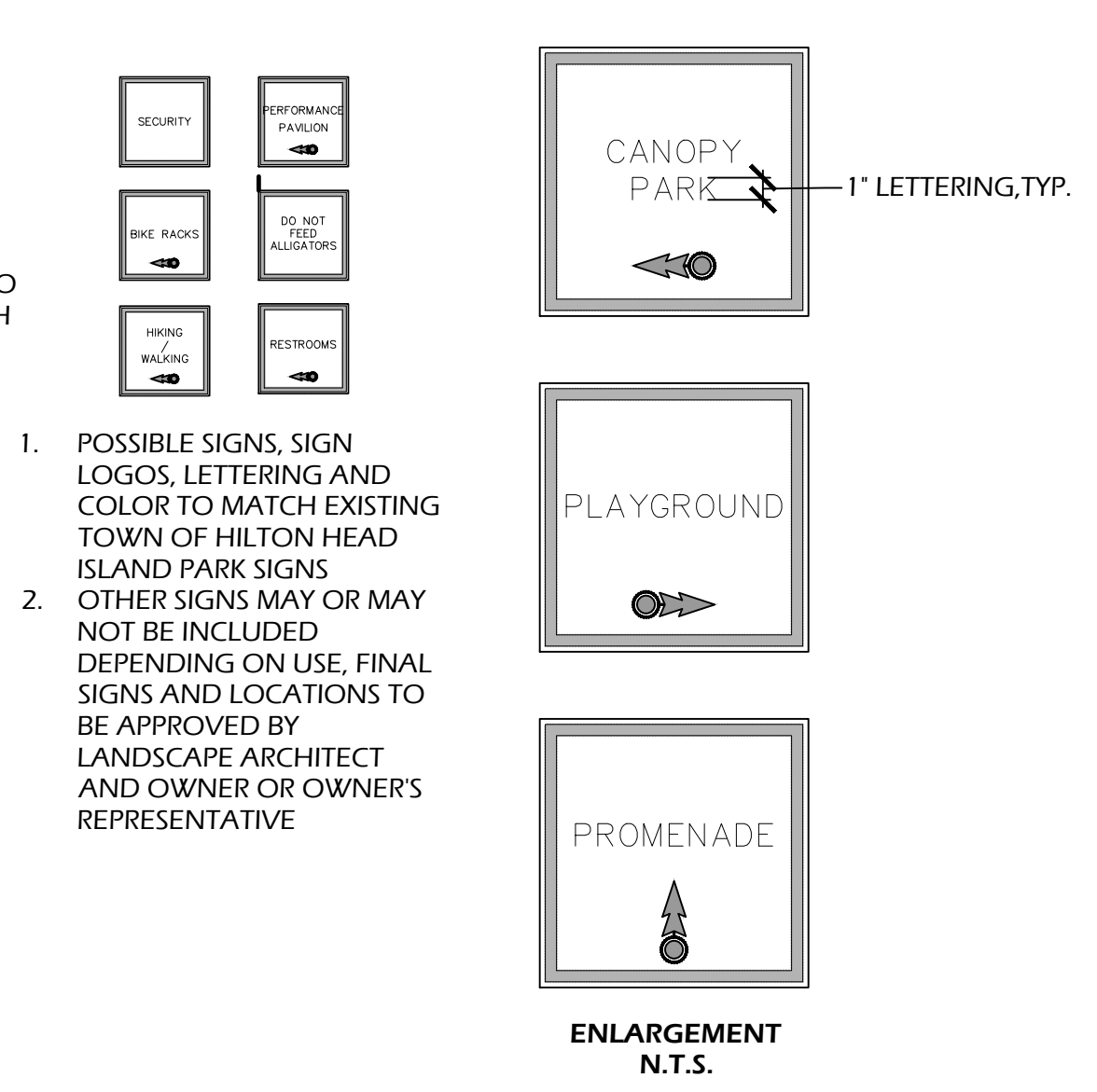
DRAWING TITLE
SITE DETAILS - 01

DRAWING NUMBER

L600

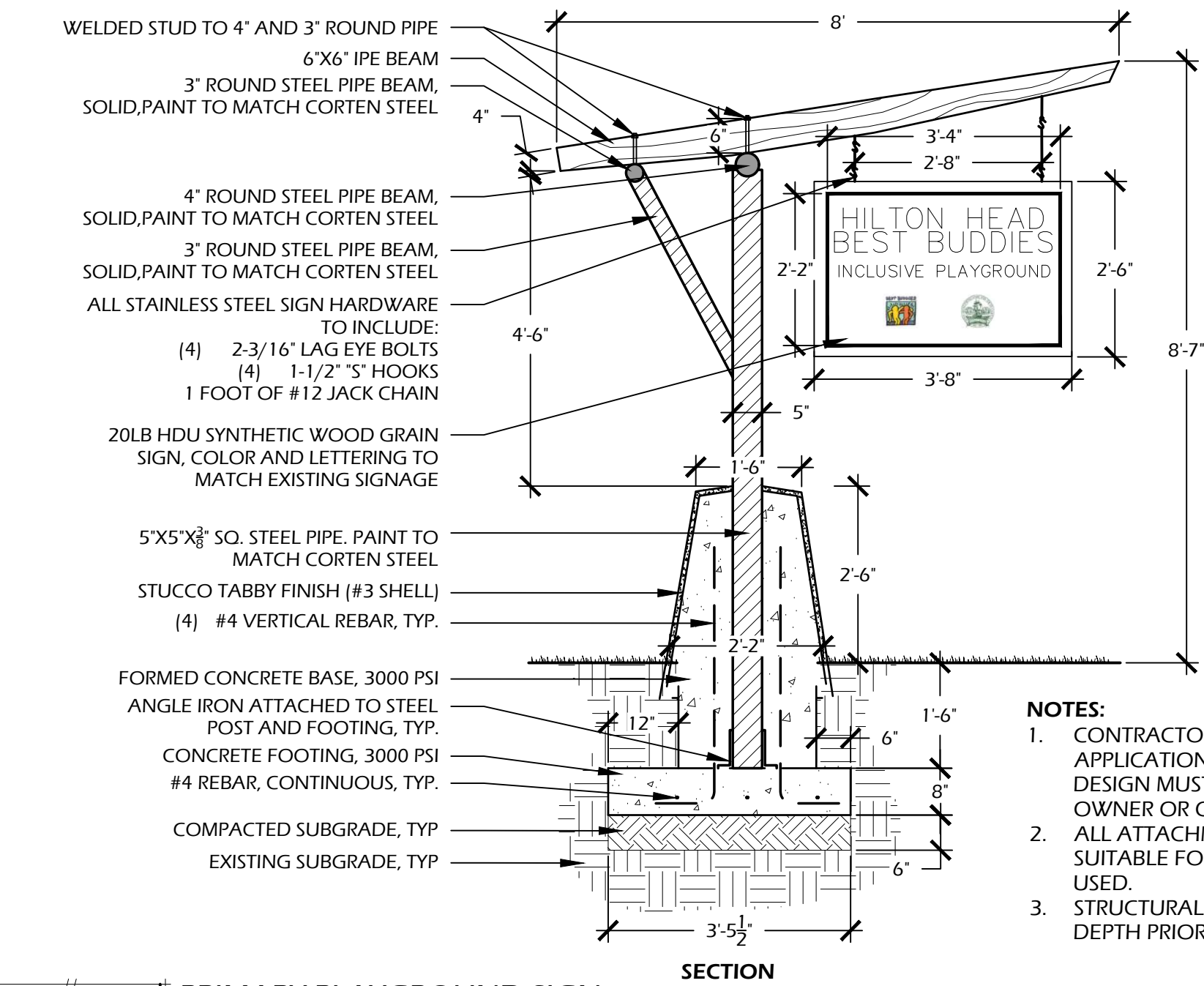


- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR ALL SIGNAGE APPLICATIONS & PERMITTING PROCESS. ANY DISCREPANCY IN DESIGN MUST BE REPORTED TO LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE.
 - 1 - 3 SIGNS PER POST, 3 SIGNS MAX.
 - ALL LUMBER SHALL BE #1 PRESSURE TREATED SOUTHERN YELLOW PINE WITH NATURAL FINISH AND WATER SEALANT.
 - ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.



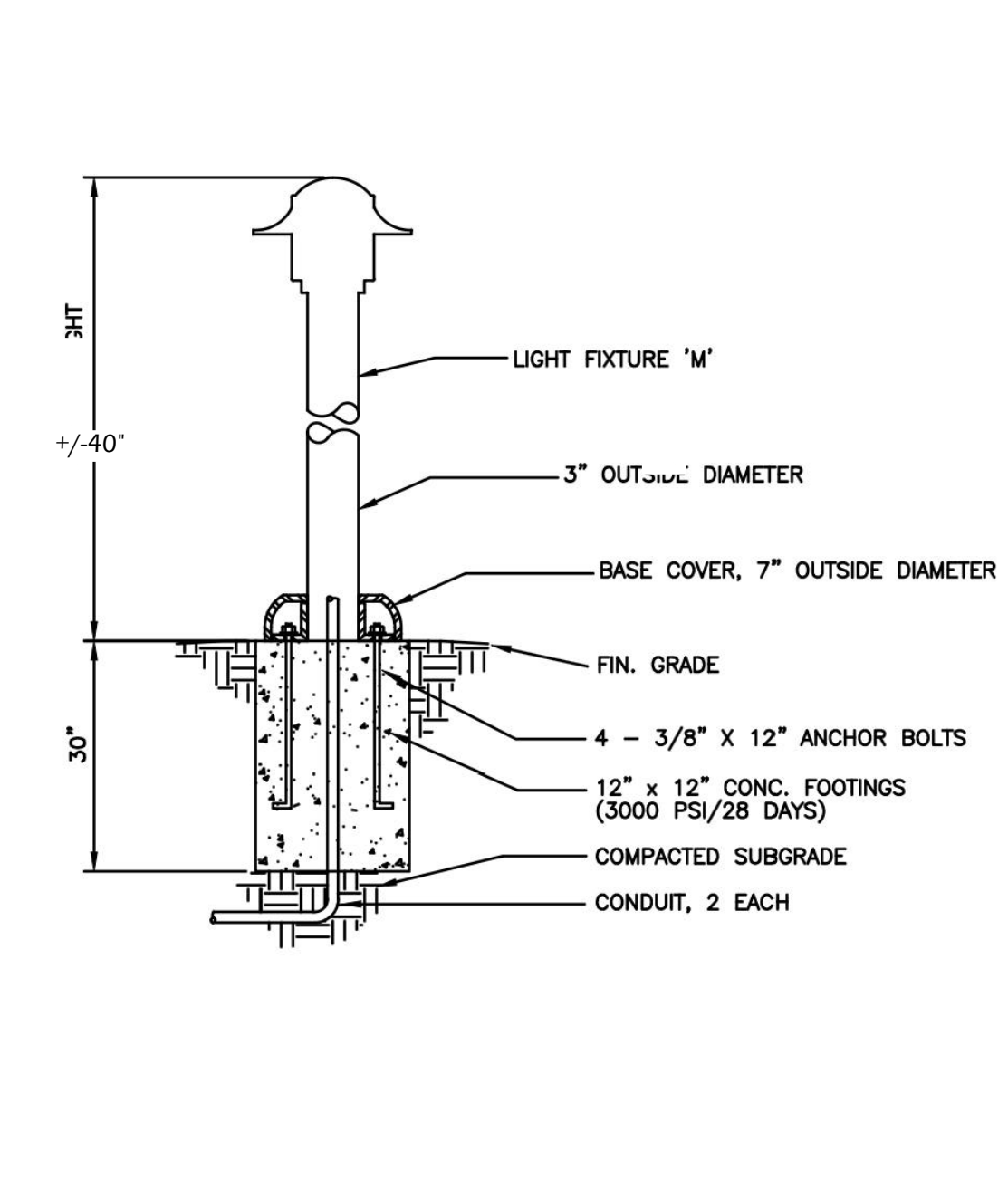
- NOTES:**
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SIGNAGE APPLICATIONS AND PERMITTING PROCESS. ANY DISCREPANCY IN DESIGN MUST BE REPORTED TO LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE.
 - SIGN FABRICATOR SHALL PROVIDE SAMPLES OF PAINT COLORS AND FONT FOR APPROVAL BY LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 - SIGN FABRICATOR SHALL PROVIDE MOCKUP OF SIGN PANEL WITH APPROVED COLOR(S) AND FONT(S) FOR FINAL APPROVAL BY LANDSCAPE ARCHITECT AND OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 - ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.

1 // L601 WAYFINDING INFORMATION SIGN
SCALE: 1/2" = 1'-0"



- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR ALL SIGNAGE APPLICATIONS & PERMITTING PROCESS. ANY DISCREPANCY IN DESIGN MUST BE REPORTED TO LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE.
 - ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.
 - STRUCTURAL ENGINEER TO CONFIRM FOOTING THICKNESS & DEPTH PRIOR TO CONSTRUCTION.

3 // L601 PRIMARY PLAYGROUND SIGN
SCALE: 1/2" = 1'-0"



MANUFACTURER INFORMATION:
LUMEC BY SIGNIFY (TO MATCH EXISTING)

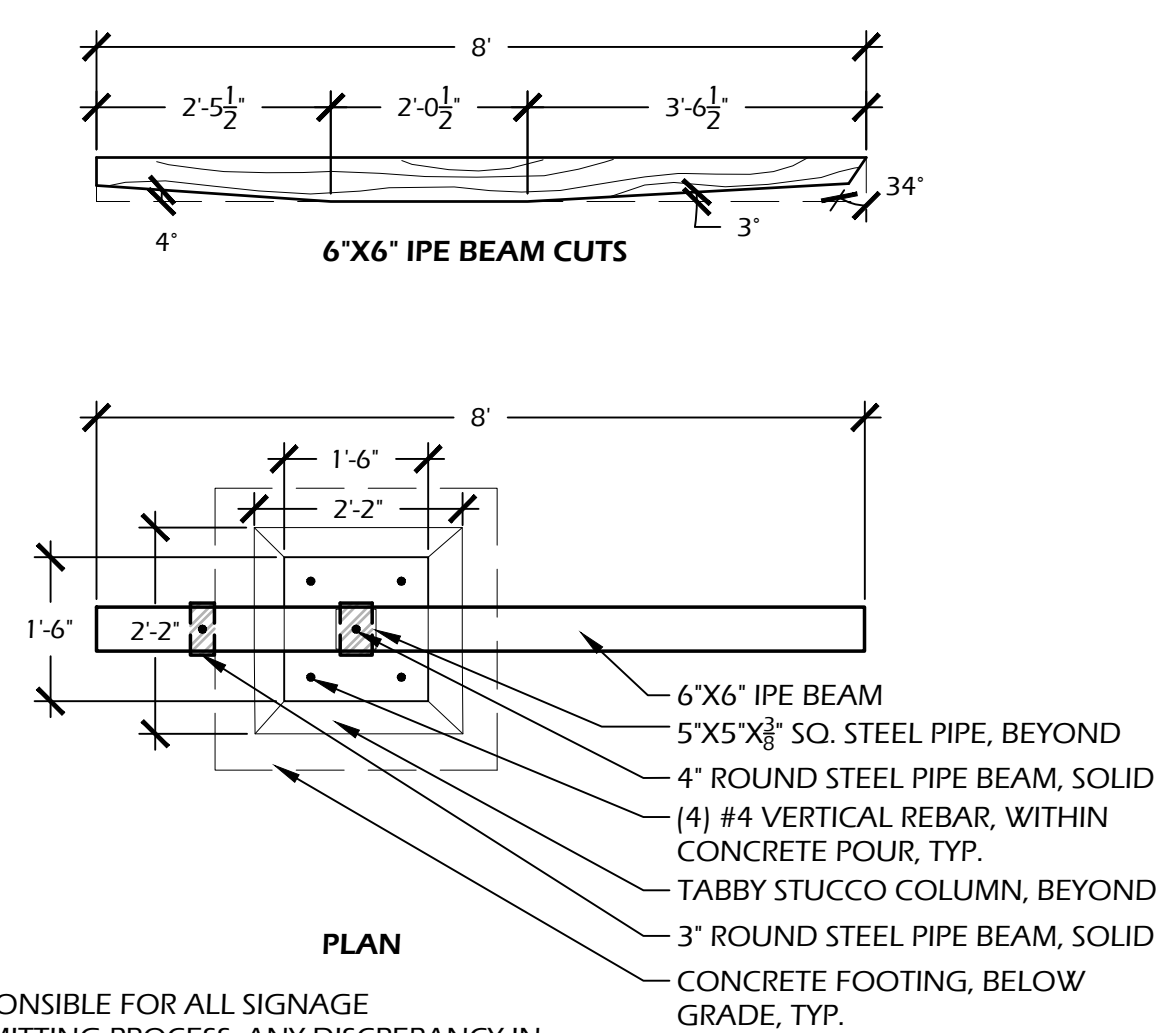
PHONE: (587) 391.1269
WEB: WWW.LSWLIGHTING.CA

MODEL: DOMUS BOLLARD SMALL (DOSB1)
COLOR: BLACK TEXTURED (BKTX)
LAMP: 30W/16LED4K
TEMPERATURE: 4000K
VOLTAGE: 208V
OPTIONS: VANDALPROOF HARDWARE (VPA)

OR APPROVED EQUAL



6 // L601 BOLLARD LIGHT
SCALE: N.T.S.



4 // L601 SECONDARY PLAYGROUND SIGN
SCALE: N.T.S.

PRODUCT SPECIFICATION SHEET

NITE-025DL

LED OPTIONS:

- NITE-42982RW MR-16
 - Long Life: 40,000 hrs
 - Energy Savings: -3 Watts
 - Color: Warm White
 - Color Temp: 2700K
 - Lumens/Foot: 200lm
 - Beam Angle: 40°
- NITE-42985RW MR-16
 - Long Life: 40,000 hrs
 - Energy Savings: -5 Watts
 - Color: Warm White
 - Color Temp: 2700K
 - Lumens/Foot: 400lm
 - Beam Angle: 40°
- NITE-42987RW MR-16
 - Long Life: 40,000 hrs
 - Energy Savings: -7 Watts
 - Color: Warm White
 - Color Temp: 2700K
 - Lumens/Foot: 600lm
 - Beam Angle: 40°
- NITE-5K42988 MR-16
 - Long Life: 40,000 hrs
 - Energy Savings: -5 Watts
 - Color: Bright White
 - Color Temp: 5000K
 - Lumens/Foot: 400lm
 - Beam Angle: 40°

Color LED Lamps Available:

- NITE-42988A - Amber
- NITE-42988B - Blue
- NITE-42988C - Red
- NITE-42988D - Green

Specifications:

- MODEL: NITE-025DL (Down Light)
- MOUNTING: 1/2" NPT
- FINISH: Aged Brass
- SOCKET: All Weather Ceramic
- ELECTRICAL: 12V
- LED: 3W, 5W or 7W MR-16 LED

Product Description / Applications:

Highly adjustable down light is designed to down light larger trees, flag poles, and also can be used to down light large areas such as a sports court.

Includes mounting base.

Adjustable / Knuckle

Manufacturer Information:

NITELITES
6107 MARKET AVE.
FRANKLIN, OH 45005
PHONE: (513) 424.5510
WEB: WWW.NITELITES.COM

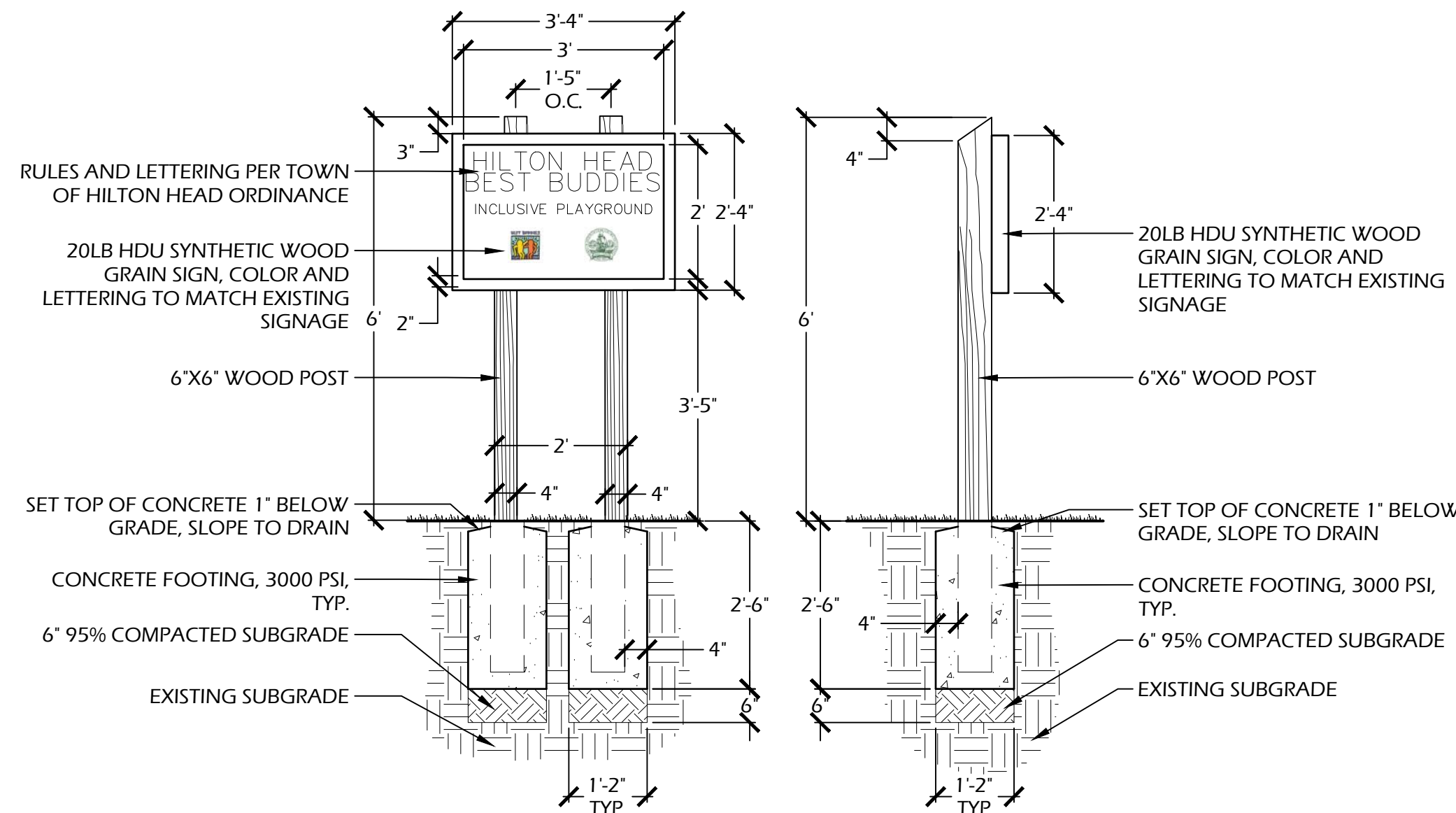
MODEL: NITE-025DL DOWN LIGHT
FINISH: AGED BRASS
BULB: NITE-4298RW MR16 LED
WATTAGE: 7 WATTS
TEMPERATURE: 2700K
MOUNTING: TREE MOUNT

OR APPROVED EQUAL

| Distance | Foot Candles |
|----------|---------------|
| 2ft | 2' 4" 1515.29 |
| 4ft | 4' 7" 378.82 |
| 6ft | 6' 11" 168.37 |
| 8ft | 9' 3" 94.71 |
| 10ft | 11' 6" 60.61 |
| 15ft | 17' 3" 26.94 |
| 20ft | 23' 15.15 |
| 30ft | 34' 7" 6.73 |
| 40ft | 46' 1" 3.79 |
| 50ft | 57' 7" 2.42 |

7 // L601 DOWN LIGHT
SCALE: N.T.S.

2 // L601 EV CHARGING SIGN
SCALE: 3/4" = 1'-0"



- NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR ALL SIGNAGE APPLICATIONS & PERMITTING PROCESS. ANY DISCREPANCY IN DESIGN MUST BE REPORTED TO LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE.
 - ALL LUMBER SHALL BE #1 PRESSURE TREATED SOUTHERN YELLOW PINE WITH NATURAL FINISH, AND WATER SEALANT.
 - ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.

4 // L601 SECONDARY PLAYGROUND SIGN
SCALE: N.T.S.

PRODUCT SPECIFICATION SHEET

NITE-004

LED OPTIONS:

- NITE-42982RW MR-16
 - Long Life: 40,000 hrs
 - Energy Savings: -3 Watts
 - Color: Warm White
 - Color Temp: 2700K
 - Lumens/Foot: 200lm
 - Beam Angle: 40°
- NITE-42985RW MR-16
 - Long Life: 40,000 hrs
 - Energy Savings: -5 Watts
 - Color: Warm White
 - Color Temp: 2700K
 - Lumens/Foot: 400lm
 - Beam Angle: 40°
- NITE-42987RW MR-16
 - Long Life: 40,000 hrs
 - Energy Savings: -7 Watts
 - Color: Warm White
 - Color Temp: 2700K
 - Lumens/Foot: 600lm
 - Beam Angle: 40°
- NITE-5K42988 MR-16
 - Long Life: 40,000 hrs
 - Energy Savings: -5 Watts
 - Color: Bright White
 - Color Temp: 5000K
 - Lumens/Foot: 400lm
 - Beam Angle: 40°

Color LED Lamps Available:

- NITE-42988A - Amber
- NITE-42988B - Blue
- NITE-42988C - Red
- NITE-42988D - Green

Specifications:

- MODEL: NITE-004
- MOUNTING: 1/2" NPT
- FINISH: Aged Brass
- SOCKET: All Weather Ceramic
- ELECTRICAL: 12V
- LED: 3W, 5W or 7W MR-16
- OTHER FINISH: Antique Brass, NITE-114
- SCP: Custom finishes available upon request

Product Description / Applications:

Designed to up light and down light larger trees, flag poles, and also can be used to down light large areas such as a sports court.

Mounting Accessories:

- CONCRETE STAKE NITE-114
- BRASS 6" NITE-500
- 12" NITE-501
- 24" NITE-502
- 24" NITE-503

Manufacturer Information:

NITELITES
6107 MARKET AVE.
FRANKLIN, OH 45005
PHONE: (513) 424.5510
WEB: WWW.NITELITES.COM

MODEL: NITE-004 BULLET
FINISH: AGED BRASS
BULB: NITE-4298RW MR16 LED
WATTAGE: 5 WATTS
TEMPERATURE: 2700K
MOUNTING: STAKE

OR APPROVED EQUAL

| Distance | Foot Candles |
|----------|---------------|
| 2ft | 2' 1" 1477.50 |
| 4ft | 4' 2" 369.38 |
| 6ft | 6' 3" 164.17 |
| 8ft | 8' 4" 92.34 |
| 10ft | 10' 5" 59.10 |
| 15ft | 15' 7" 26.27 |
| 20ft | 20' 9" 14.78 |
| 30ft | 31' 2" 6.57 |
| 40ft | 41' 7" 3.69 |
| 50ft | 51' 11" 2.36 |

8 // L601 UP LIGHT
SCALE: N.T.S.



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DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
THIS SHEET TO SCALE AT 24"x36"

SITE DEVELOPMENT PLANS FOR
SHELTER COVE - PHASE 2
39 SHELTER COVE LANE
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
PROJECT NO.: 22062.15
DRAWN BY: CK, ED
CHECKED BY: BW

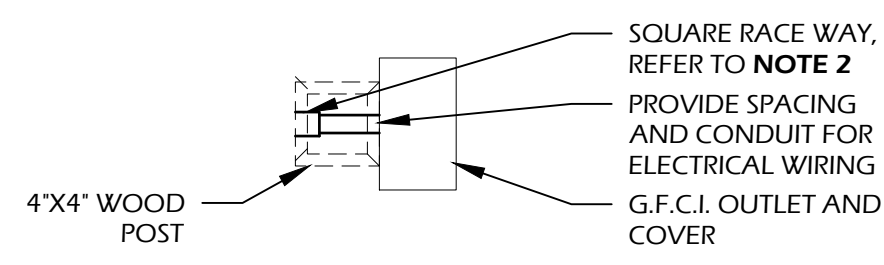
DRB SUBMITTAL SET

REVISIONS:

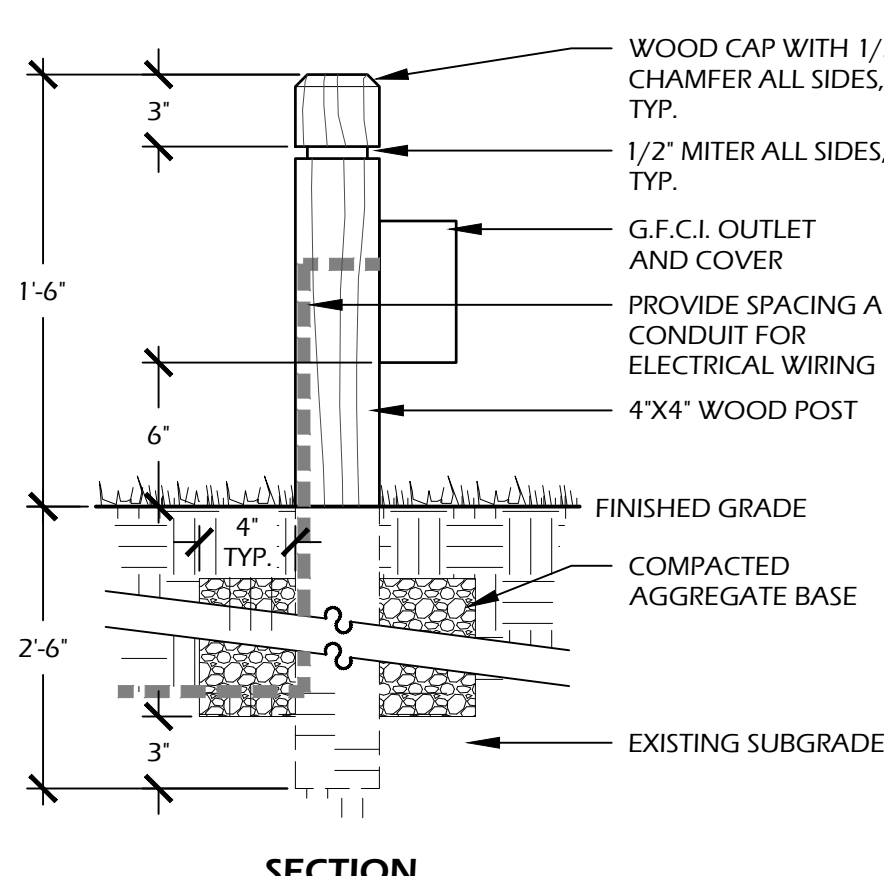
DRAWING TITLE
SITE DETAILS - 02

DRAWING NUMBER

L601



PLAN DIAGRAM



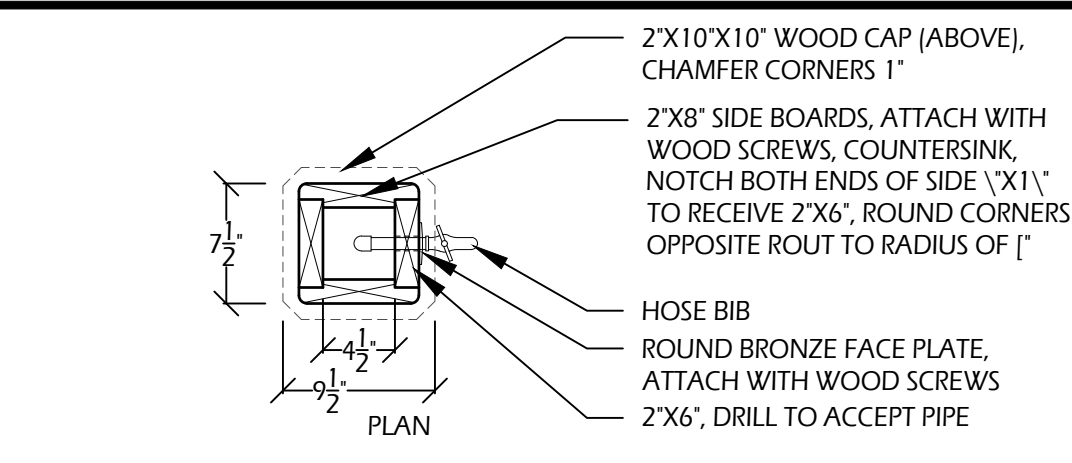
SECTION

G.F.C.I. INFORMATION:
MODEL: BY OWNER, G.F.C.I. OUTLET MODEL SHALL COMPLY WITH ALL FEDERAL, STATE AND LOCAL CODES FOR OUTDOOR USE AND WEATHER RESISTANCE.
WOOD INFORMATION:
WOOD: NO. 1 PRESSURE TREATED SOUTHERN YELLOW PINE
COLOR: STAINED CHARLESTON GREEN

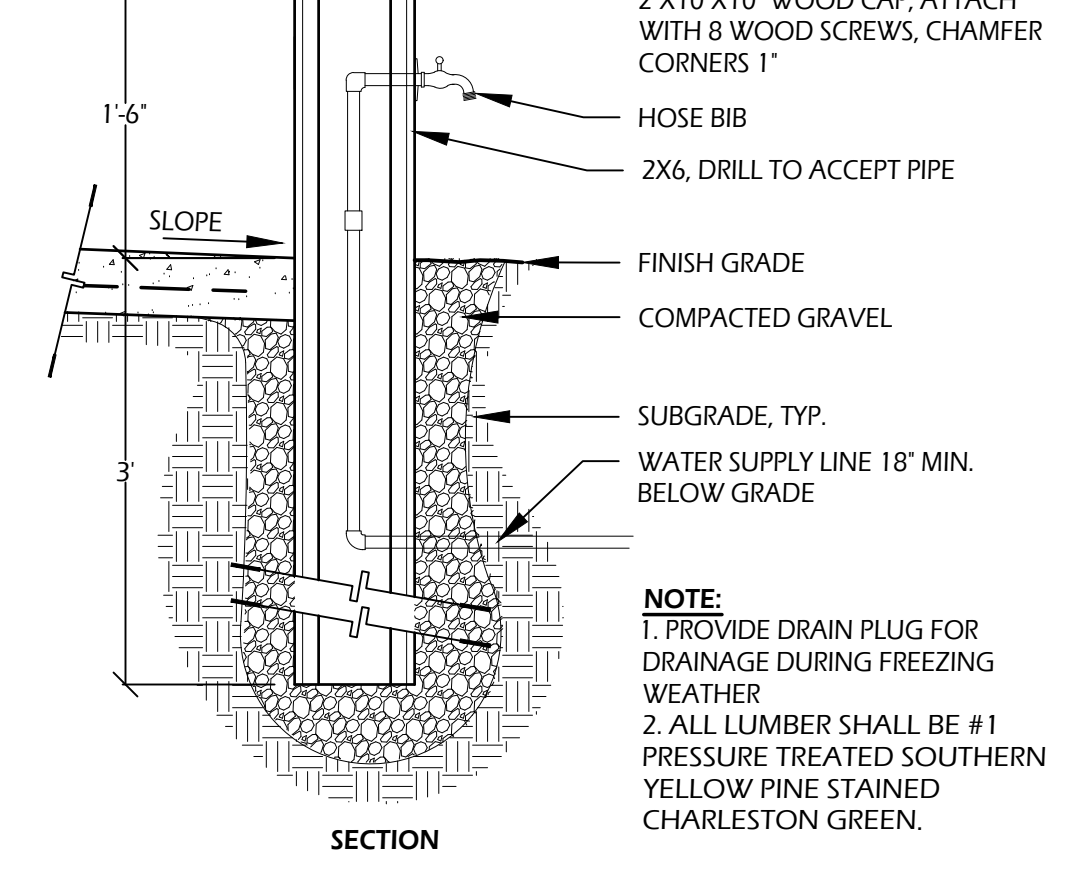
- NOTES:**
- G.F.C.I. MANUFACTURER TO PROVIDE SPECIFICATIONS FOR CONTRACTOR REFERENCE.
 - CONTRACTOR SHALL PROVIDE SQUARE RACEWAY ON BACK OF POST FOR CONDUIT AND ELECTRICAL WIRING. FILL RACEWAY WITH SQUARE DOWEL. FILL ALL IMPERFECTIONS WITH APPROPRIATE WOOD PUTTY, AND SAND SMOOTH PRIOR TO STAIN.
 - ELECTRICAL CONDUIT SHALL BE BURIED TO PROPER DEPTH PER ALL FEDERAL, STATE, AND LOCAL CODES.
 - ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD, NO NAILS SHALL BE USED.
 - CONTRACTOR SHALL PROVIDE COLOR SAMPLES TO BE APPROVED BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.



MANUFACTURER INFORMATION:
AUTEL ENERGY
 36 HARBOR PARK DRIVE,
 PORT WASHINGTON, NY 11050
PHONE: (844) 765-0150
WEB: WWW.AUTELENERGY.COM
MODEL: MAXI US AC 12KW
FINISH: DARK GREY
OTHER INFO: IN-BODY HOLSTER
MOUNT: AUTEL EV CHARGER PEDESTAL FLOOR STAND
MOUNT COLOR: BLACK
 OR APPROVED EQUAL

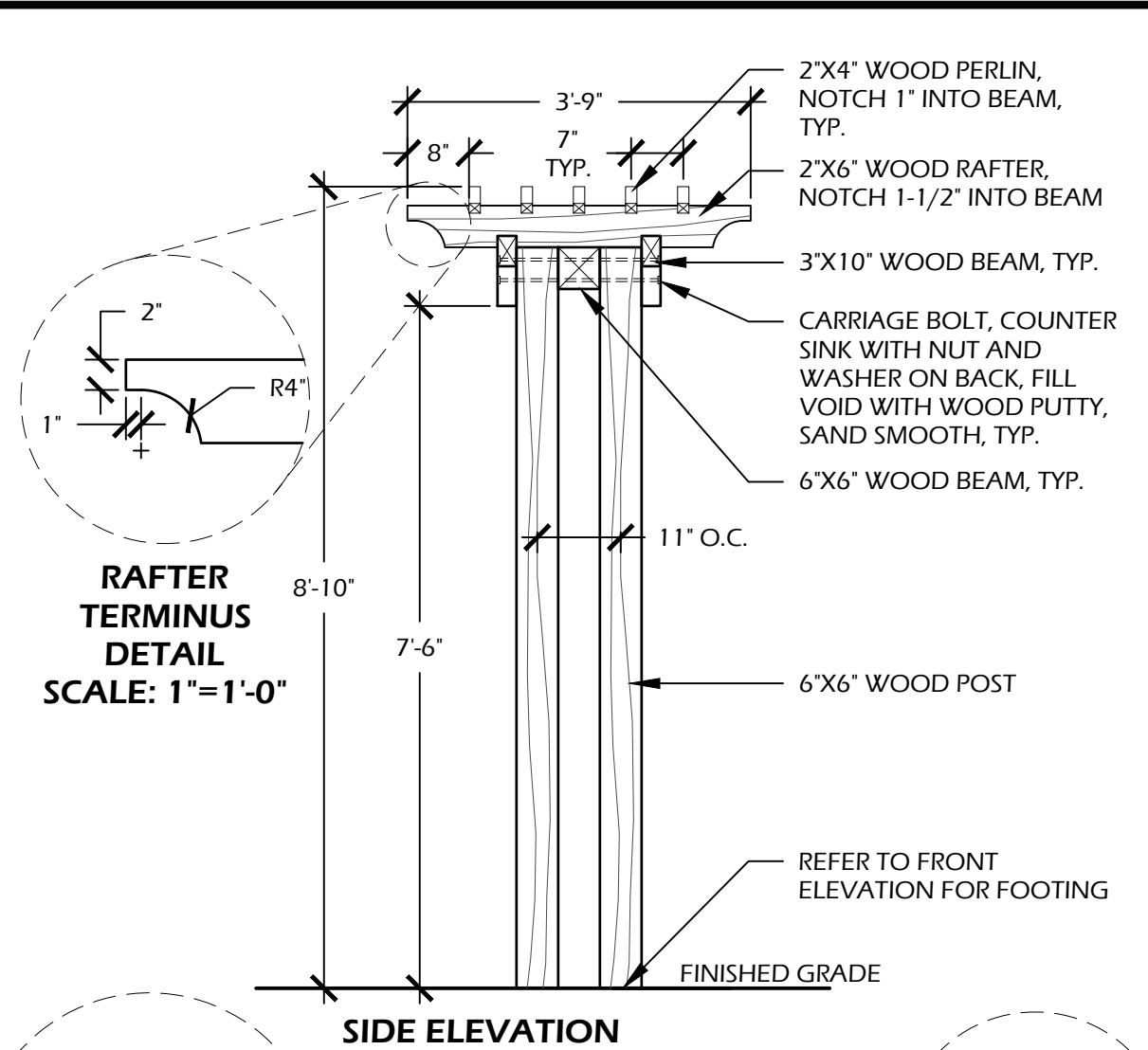


PLAN

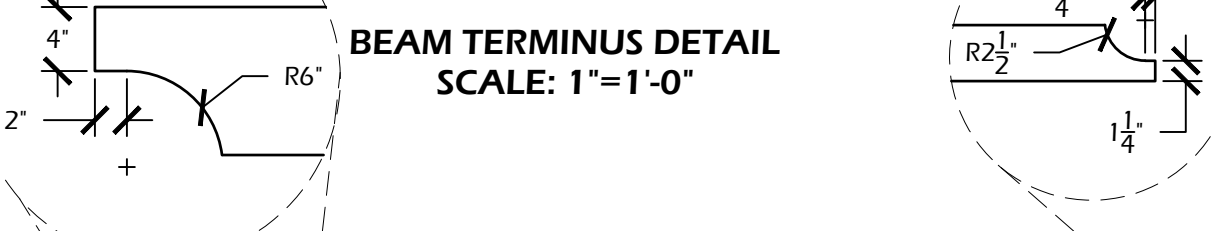


SECTION

NOTE:
 1. PROVIDE DRAIN PLUG FOR DRAINAGE DURING FREEZING WEATHER
 2. ALL LUMBER SHALL BE #1 PRESSURE TREATED SOUTHERN YELLOW PINE STAINED CHARLESTON GREEN.



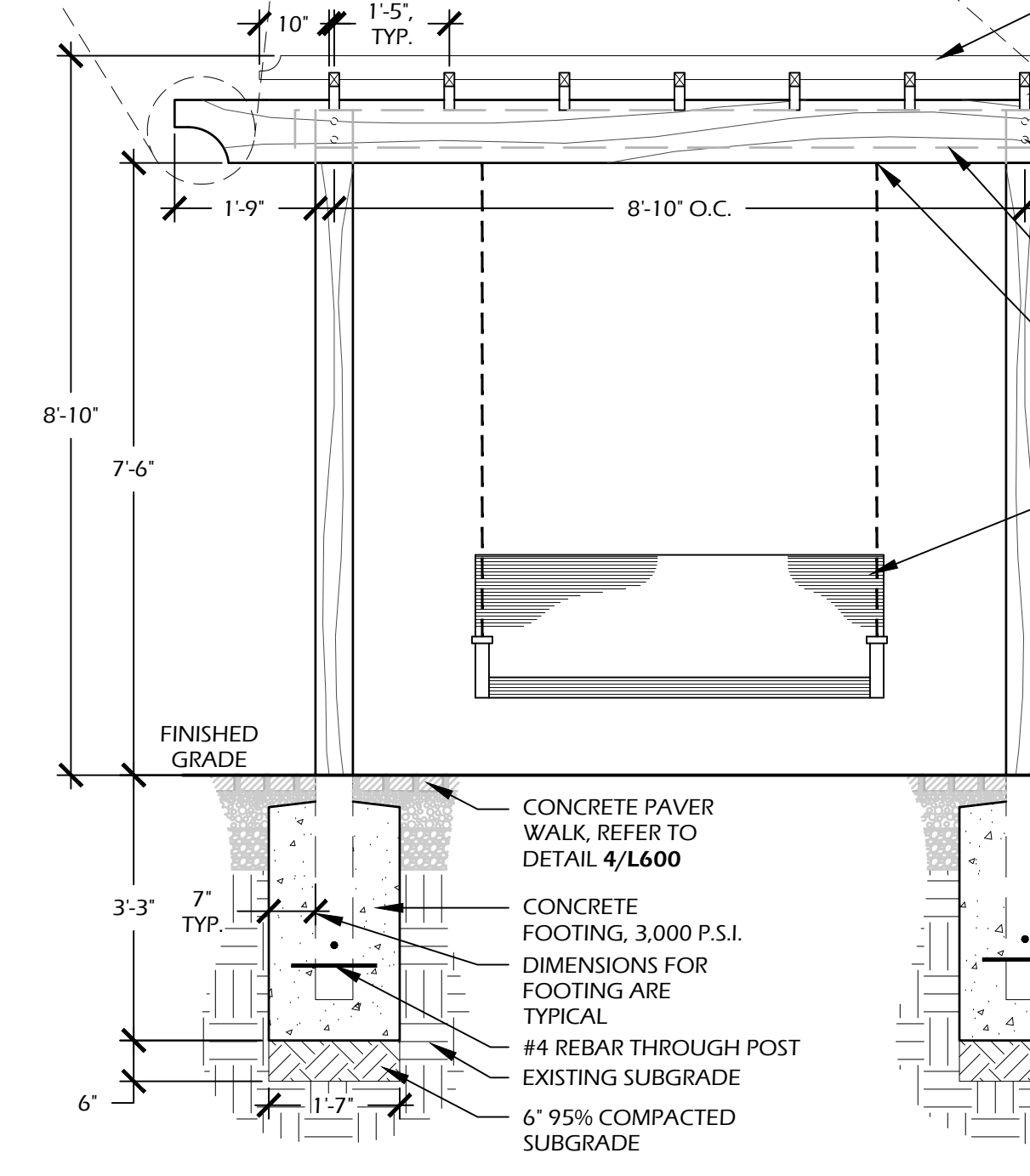
RAFTER TERMINUS DETAIL SCALE: 1"=1'-0"



BEAM TERMINUS DETAIL SCALE: 1"=1'-0"

- NOTES:**
- ALL LUMBER SHALL BE PRESSURE TREATED #1 SOUTHERN YELLOW PINE.
 - ALL CUTS SHALL BE EVEN AND JOINTS FLUSH. SAND FOUR SIDES AND FILL IMPERFECTIONS, COUNTER SINKS AND SCREW HOLES TO ASSURE EVEN FINISH.
 - ALL NOTCHES SHALL BE SHOP CUT TO ASSURE TIGHT JOINTS. EACH MEMBER SHALL BE DRIVEN HOME TO ASSURE TIGHT FIT. PILOT HOLES SHALL BE DRILLED FOR EACH CARRIAGE BOLT. PLUG AND SEAL CONTRACTOR SHALL VERIFY ALL WOOD MEMBERS FOR APPROPRIATE SIZE, SPACING, ATTACHMENTS AND STRUCTURAL STABILITY PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO OWNER AND / OR LANDSCAPE ARCHITECT.
 - CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AGAINST EXISTING TRELLIS SWING ON SITE. NEW SWINGS TO MATCH OLD SWING AS CLOSELY AS POSSIBLE.
 - FINISH ALL SIDES AND CAULK ALL JOINTS WITH APPROPRIATE EXTERIOR CAULK PRIOR TO FINISHING.
 - ALL ATTACHMENTS SHALL BE WITH STAINLESS STEEL SCREWS SUITABLE FOR PRESSURE TREATED WOOD. NO NAILS SHALL BE USED.

PERLIN TERMINUS DETAIL SCALE: 1"=1'-0"



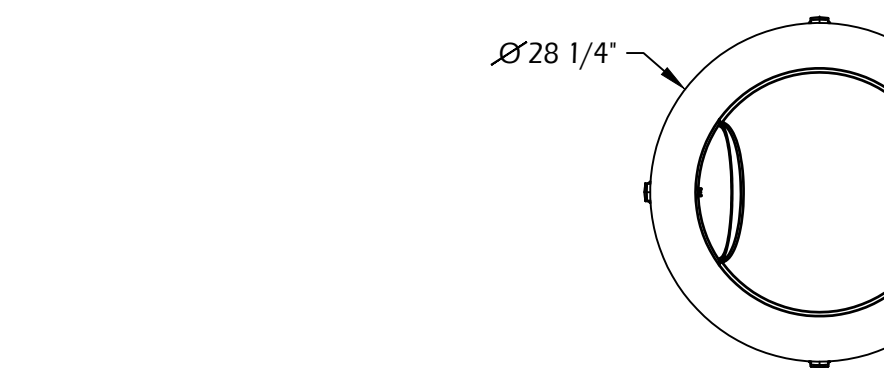
FRONT ELEVATION / SECTION

WOOD INFORMATION:
WOOD: NO. 1 PRESSURE TREATED SOUTHERN YELLOW PINE
COLOR: STAINED CHARLESTON GREEN
MANUFACTURER INFORMATION:
COUNTRY CASUAL TEAK
 7601 RICKENBACKER DR.
 GAITHERSBURG, MD 20879
PHONE: (800) 289.8325
WEB: COUNTRYCASUALTEAK.COM
MODEL: WINDERMERE (#4507)
FINISH: MILDEW & STAIN GUARD
SIZE: 5'
 OR APPROVED EQUAL

1 // L602 G.F.I. OUTLET SCALE: 1-1/2" - 1'-0"

2 // L602 E.V. CHARGING STATION SCALE: N.T.S.

3 // L602 HOSE BIB SCALE: 1" - 1'-0"



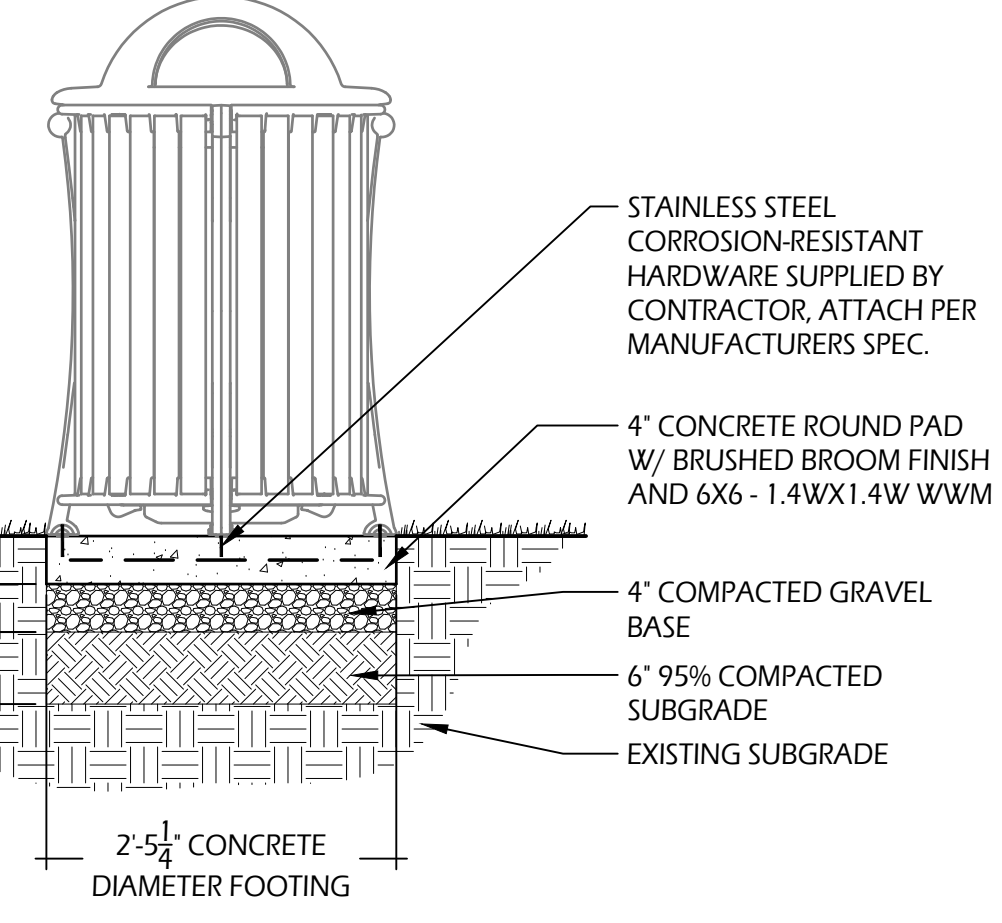
Ø28 1/4"

MANUFACTURER INFORMATION:
LANDSCAPEFORMS
 431 LAWNDALE AVE.
 KALAMAZOO, MI 49048
PHONE: (800) 430.6209
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: PLAINWELL LITTER RECEPTACLE ACCESSORIES: SIDE OPENING LID
METAL FINISH: POWDER COATED COLOR STORMCLOUD
WOOD FINISH: EXTERIOR WOOD JARRAH
MOUNT: SURFACE MOUNT

- NOTES:**
- CONTRACTOR TO PROVIDE ANCHORING AND ATTACH TRASH RECEPTACLE TO WALKS AND CONCRETE ROUND FOOTINGS PER MANUFACTURERS SPEC.
 - ANCHORING TO BE LOCKABLE TO PREVENT TAMPERING AND/OR REMOVAL OF TRASH RECEPTACLE

TRASH RECEPTACLES IN LAWN MULCHED AREAS:



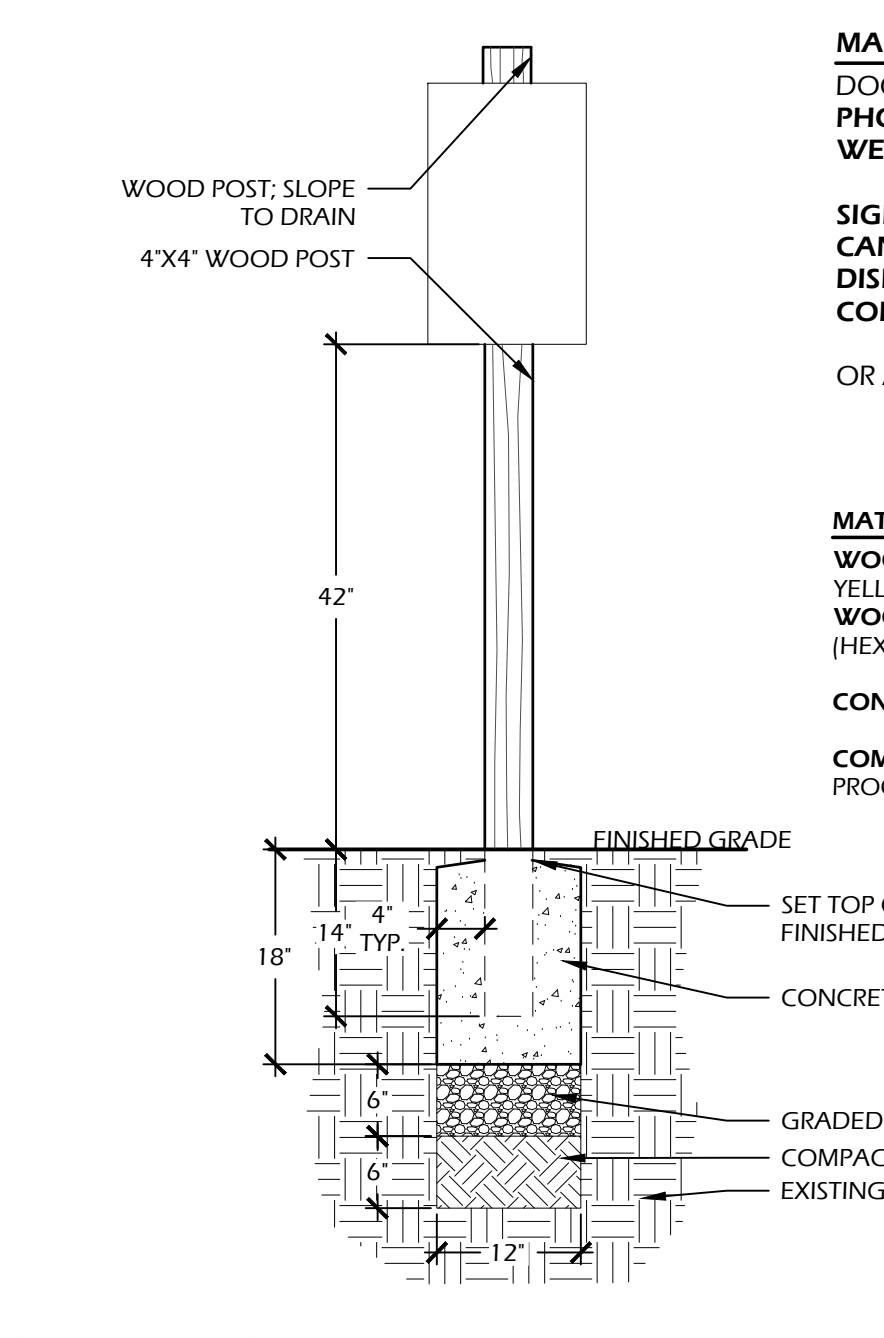
2'-5 1/2" CONCRETE DIAMETER FOOTING

TRASH RECEPTACLES ON WALKS:
 SURFACE MOUNT TO CONCRETE WALKS PER MANUFACTURERS RECOMMENDATIONS. CORROSION-RESISTANT ANCHORING HARDWARE SUPPLIED BY OTHERS. O. 406 HOLES WITH COUNTERBORE PROVIDED FOR SOCKET HEAD CAP SCREWS

CONCRETE: 3,000 P.S.I. @ 28 DAYS
COMPACTED SUBGRADE: 95% STANDARD PROCTOR

4 // L602 TRASH RECEPTACLE SCALE: 3/4" - 1'-0"

5 // L602 TRELLIS SWING SCALE: 1/2" - 1'-0"



6 // L602 DOG WASTE STATION SCALE: 3/4" - 1'-0"

MANUFACTURER INFORMATION:
DOG WASTE DEPOT
PHONE: (000) 000.0000
WEB: WWW.DOGWASTEDEPOT.COM
SIGN: DEPOT-008-GRN
CAN: DEPOT-030-GRN
DISPENSER: DEPOT-003-GRN
COLOR: GREEN
 OR APPROVED EQUAL

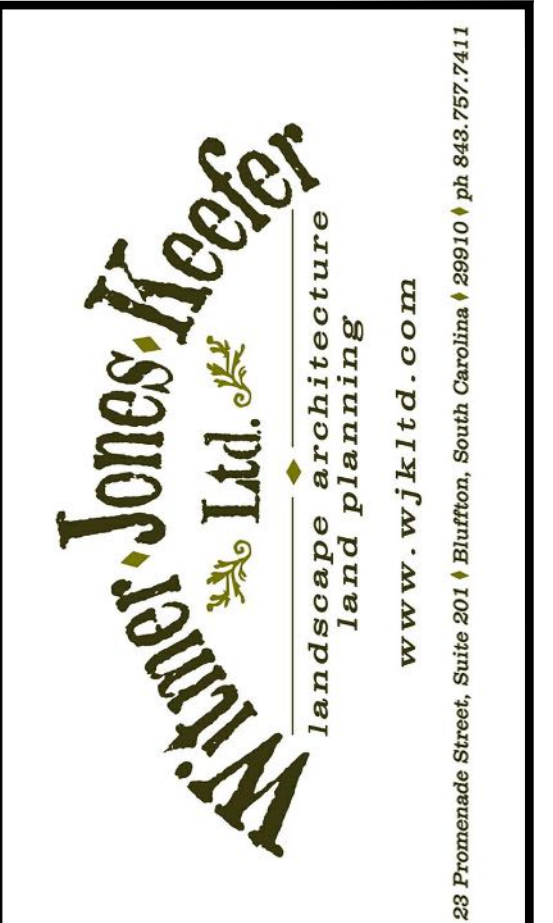
MATERIAL SPECIFICATION:
WOOD: NO. 1 PRESSURE TREATED SOUTHERN YELLOW PINE
WOOD COLOR: STAINED CHARLESTON GREEN (HEX#232B2B OR APPROVED EQUAL)
CONCRETE: 3,000 P.S.I. @ 28 DAYS
COMPACTED SUBGRADE: 95% STANDARD PROCTOR



7 // L602 BACKLESS BENCH SCALE: 3/4" - 1'-0"

MANUFACTURER INFORMATION:
LANDSCAPE FORMS INC.
 7800 E. MICHIGAN AVE.
 KALAMAZOO, MI 49048
PHONE: (269) 381.0396
WEB: WWW.LANDSCAPEFORMS.COM

MODEL: SCARBOROUGH BENCH
COLOR: OBSIDIAN POWDERCOAT
SIZE: 72"
BENCH STYLE: BACKLESS
BENCH INSERT: HORIZONTAL STRAP
 OR APPROVED EQUAL



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 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS FOR
SHELTER COVE - PHASE 2
 39 SHELTER COVE LANE
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
PROJECT NO.: 22062.15
DRAWN BY: CK, ED
CHECKED BY: BW

DRB SUBMITTAL SET

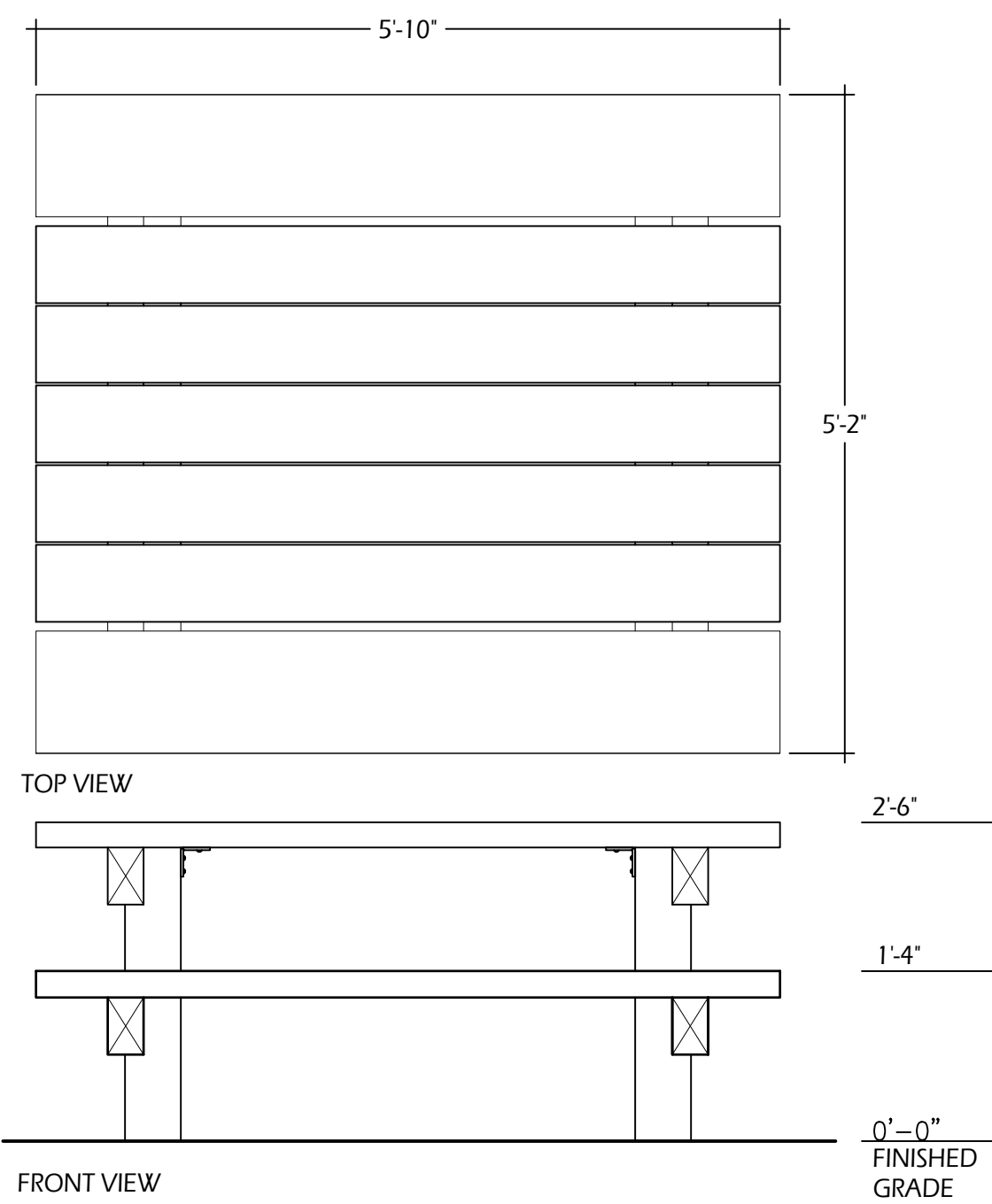
REVISIONS:

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DRAWING TITLE
SITE DETAILS - 03

DRAWING NUMBER

L602



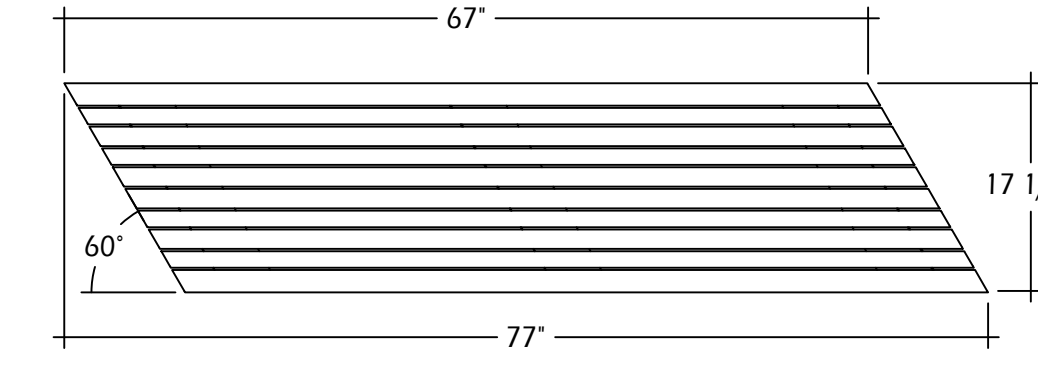
MANUFACTURER INFORMATION:
 COLUMBIA CASCADE COMPANY
 1300 S.W. SIXTH AVENUE, SUITE 310
 PORTLAND, OR 97201-3464
 PHONE: (503) 233.1157
 WEB: WWW.TIMBERFORM.COM

MODEL: TIMBERFORM ARBOR TABLE,
 NO. 2244-6, 6' PICNIC TABLE WITH SEATS
 FINISH: KILN-DRIED DOUGLAS FIR
 MOUNT: FREESTANDING

NOTES:
 FOLLOW MANUFACTURER'S GUIDELINES FOR
 FINISH, TREATMENT AND MAINTENANCE OF
 WOOD

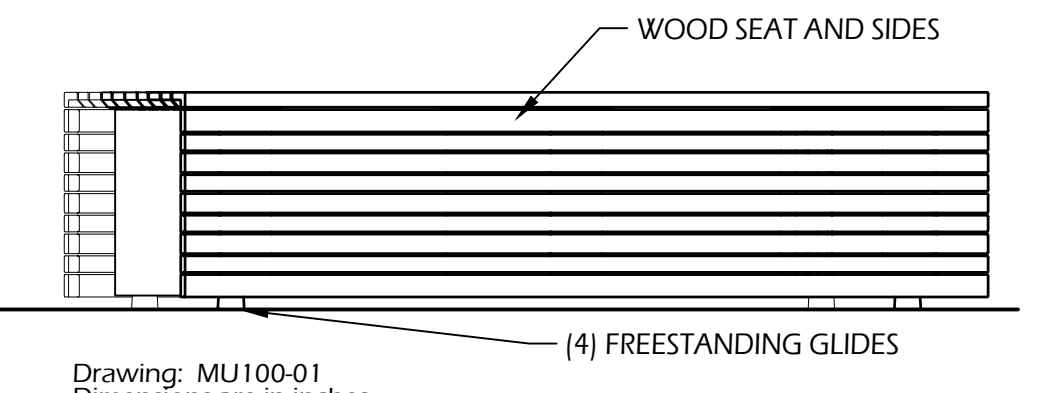
This drawing reveals the copyrighted intellectual property
 of Columbia Cascade Company. Not for use by others
 without our express, written authorization.
 Authorization for use is hereby granted to architects,
 landscape architects and similar design professionals
 solely for the purpose of specifying TimberForm products.

1 // L603 PICNIC TABLE
 SCALE: 3/4" = 1'-0"



MANUFACTURER INFORMATION:
 LANDSCAPEFORMS
 431 LAWDALE AVE.
 KALAMAZOO, MI 49048
 PHONE: (800) 430.6209
 WEB: WWW.LANDSCAPEFORMS.COM

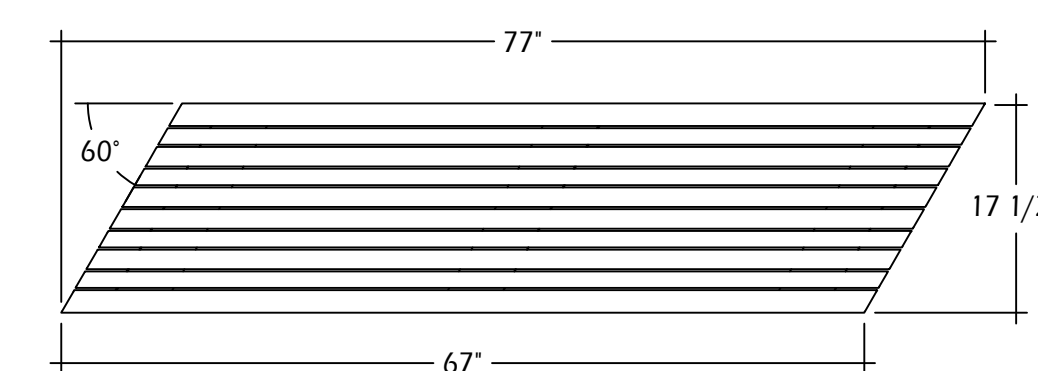
BENCH: 77" PARALLEL 42 LEFT BACKLESS
 UNIT
 FINISH: METAL END SUPPORTS POWDER
 COATED COLOR STORMCLOUD
 SEAT SURFACE: EXTERIOR WOOD
 JARRAH
 MOUNT: FREESTANDING



Drawing: MU100-01
 Dimensions are in inches
 Patent Pending

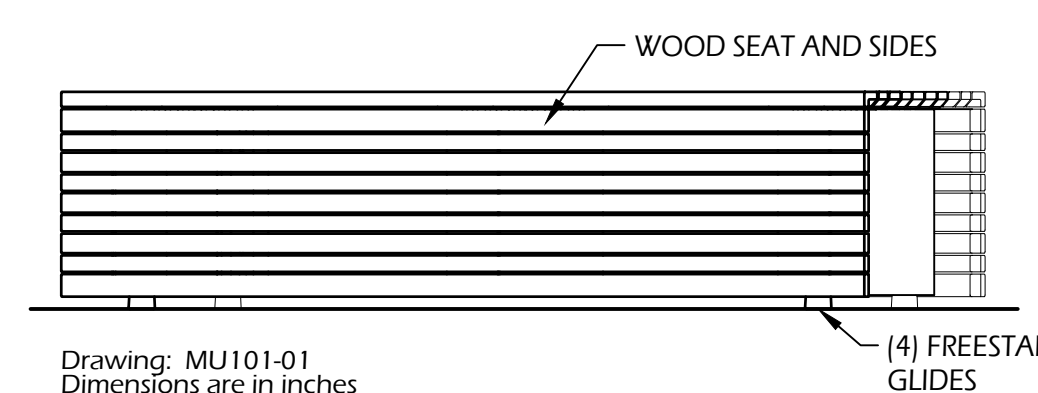
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 OF LANDSCAPE FORMS, INC. © 2013 LANDSCAPE FORMS, INC. ALL RIGHTS RESERVED.

2 // L603 LEFT BENCH
 SCALE: N.T.S.



MANUFACTURER INFORMATION:
 LANDSCAPEFORMS
 431 LAWDALE AVE.
 KALAMAZOO, MI 49048
 PHONE: (800) 430.6209
 WEB: WWW.LANDSCAPEFORMS.COM

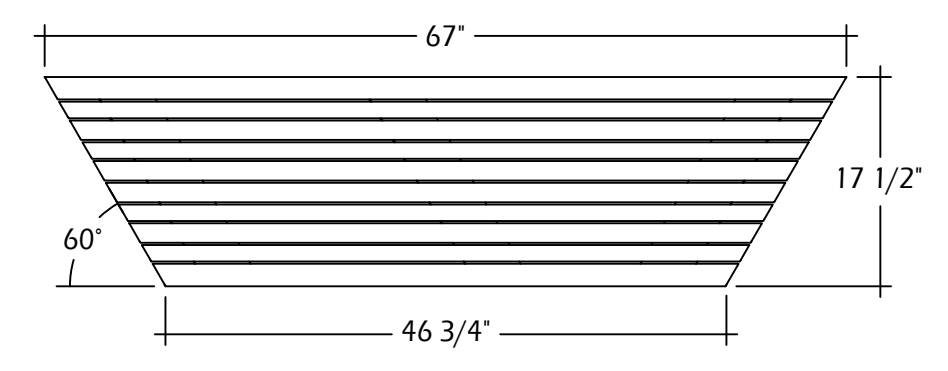
BENCH: 77" PARALLEL 42 RIGHT
 BACKLESS UNIT
 FINISH: METAL END SUPPORTS POWDER
 COATED COLOR STORMCLOUD
 SEAT SURFACE: EXTERIOR WOOD
 JARRAH
 MOUNT: FREESTANDING



Drawing: MU101-01
 Dimensions are in inches
 Patent Pending

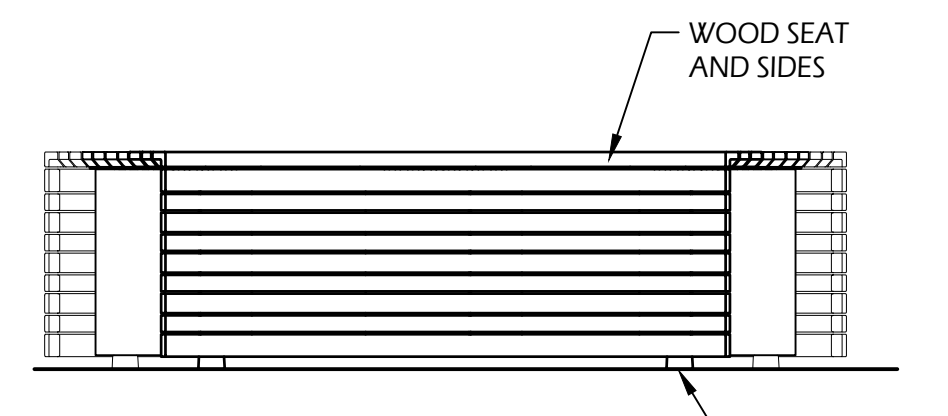
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3 // L603 RIGHT BENCH
 SCALE: N.T.S.



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 431 LAWDALE AVE.
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 WEB: WWW.LANDSCAPEFORMS.COM

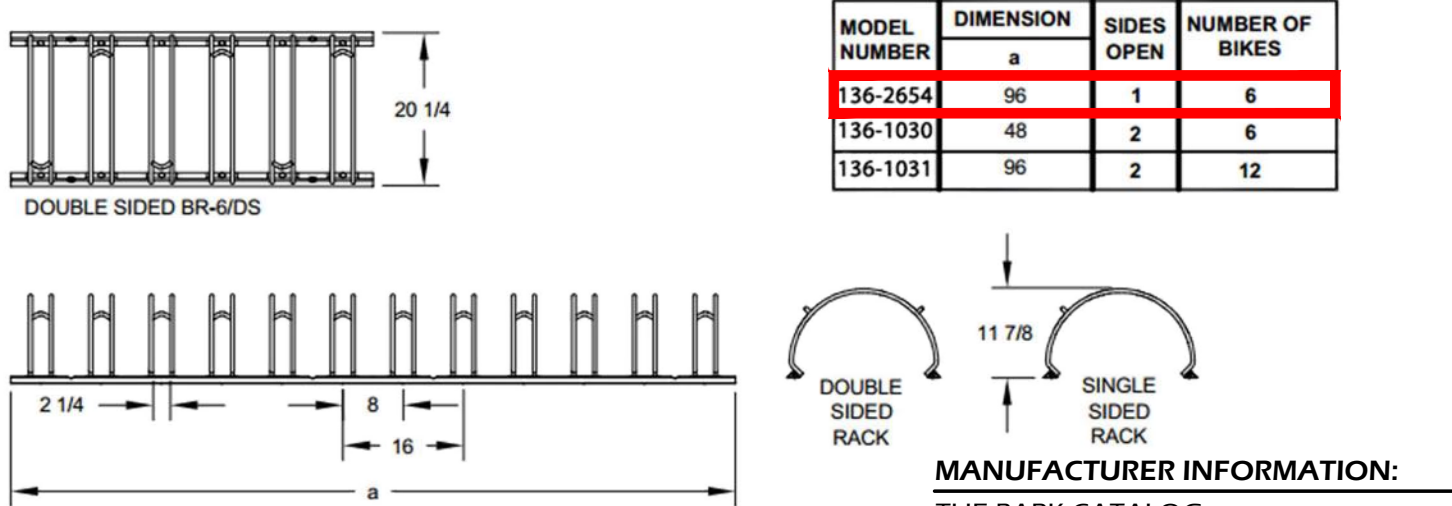
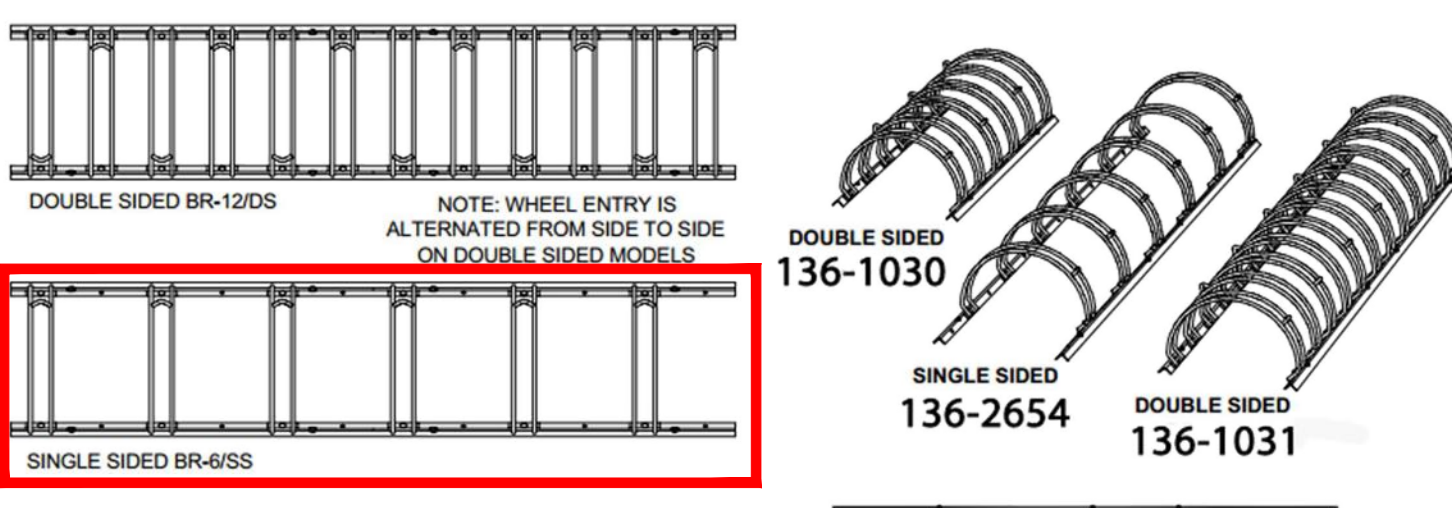
BENCH: 67" PARALLEL 42 BACKLESS
 WEDGE UNIT
 FINISH: METAL END SUPPORT POWDER
 COATED COLOR STORMCLOUD
 SEAT SURFACE: EXTERIOR WOOD
 JARRAH
 MOUNT: FREESTANDING



Drawing: MU102-01
 Dimensions are in inches
 Patent Pending

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4 // L603 WEDGE BENCH
 SCALE: N.T.S.



MANUFACTURER INFORMATION:
 THE PARK CATALOG
 PHONE: (866) 280.9894
 WEB: WWW.THEPARKCATALOG.COM

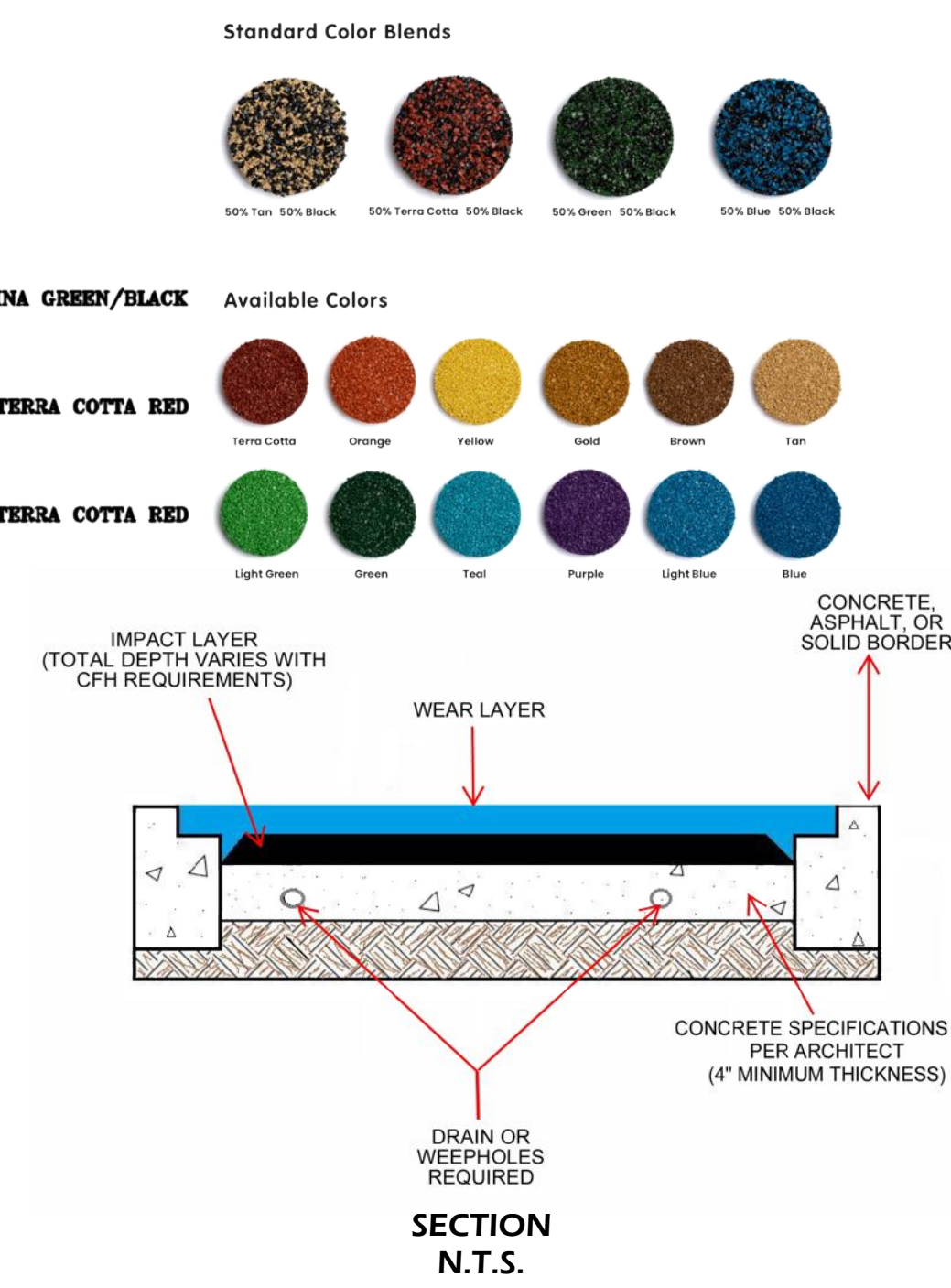
MODEL: 6-BIKE SINGLE SIDED BIKE RACK (#136-2654)
 COLOR: HOT-DIP GALVANIZED STEEL
 OTHER INFO: SURFACE MOUNT TO CONCRETE BASE.
 QUANTITY: 2

OR APPROVED EQUAL

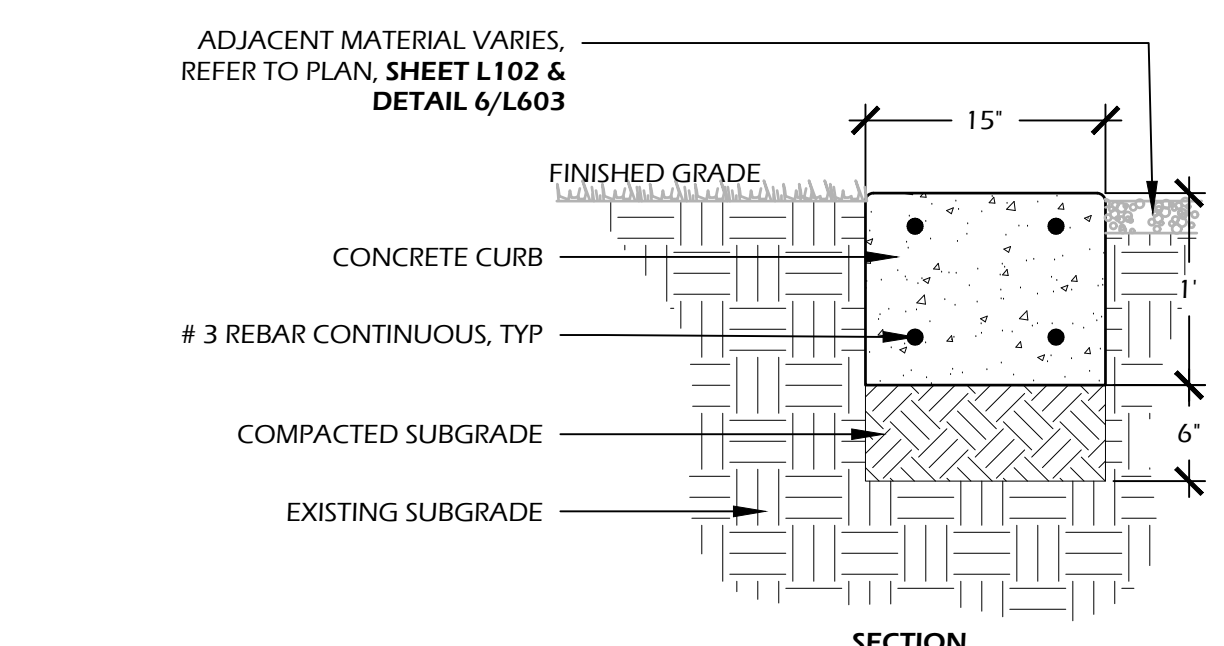
5 // L603 BIKE RACK
 SCALE: N.T.S.



- SURFACING NOTES:**
- 6,325 SQ.FT. (BASE) TAN/BLACK VARYING CFI
 - 4,050 SQ.FT. (PATH) PURPLE LIGHT GREEN/PATINA GREEN/BLACK VARYING CFI
 - 270 SQ.FT. (ARROWS) 33/33/33 TAN/LIGHT GREY/TERRA COTTA RED VARYING CFI
 - 70 SQ.FT. (HILL/MOUND) 33/33/33 TAN/LIGHT GREY/TERRA COTTA RED 3' CFI
 - 650 SQ.FT. (CIRCLES) PURPLE LIGHT GREEN/BLACK VARYING CFI
 - 14 SQ.FT. (HOP SCOTCH) ORANGE VARYING CFI
 - 14 SQ.FT. (HOP SCOTCH) YELLOW VARYING CFI
 - 6 SQ.FT. (HOP SCOTCH) TEAL VARYING CFI



6 // L603 PLAY SURFACE
 SCALE: N.T.S.

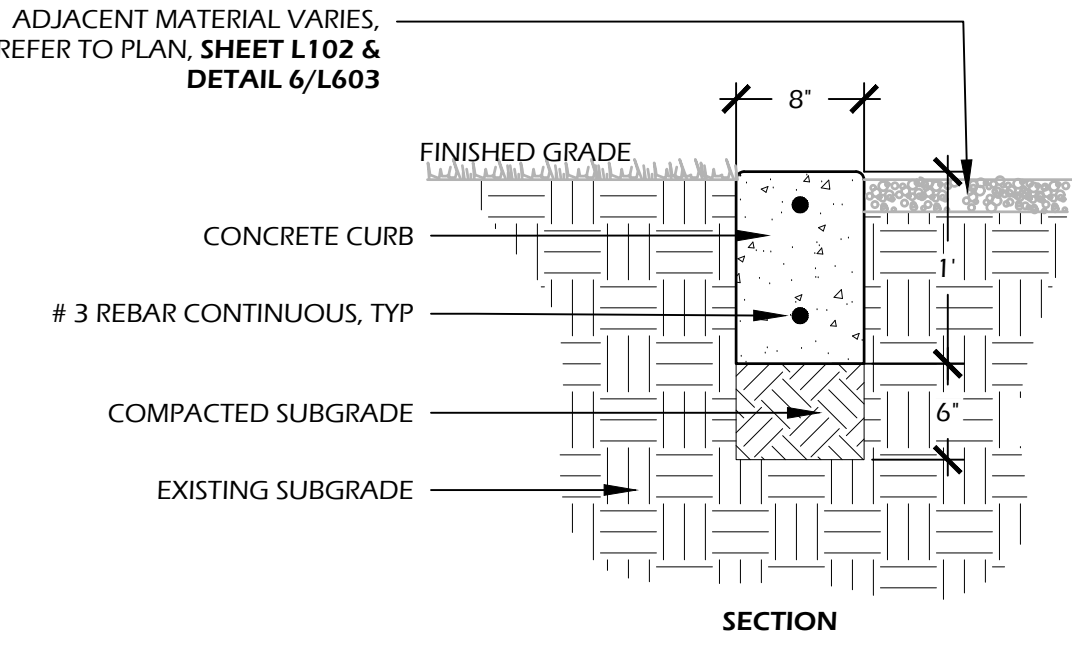


CONCRETE INFORMATION:
 CONCRETE: 3,000 P.S.I. AT 28 DAYS
 FINISH: SMOOTH FINISH

SOIL INFORMATION:
 SOIL COMPACTION: 95% STANDARD PROCTOR

NOTES:
 1. CONTRACTOR SHALL PROVIDE A 2' LENGTH SAMPLE FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT.
 2. EXPANSION JOINTS TO BE PROVIDED ADJACENT TO ALL PROPOSED AND EXISTING CONCRETE.

7 // L603 FLUSH CONCRETE CURB A
 SCALE: 1'-1'-0"



CONCRETE INFORMATION:
 CONCRETE: 3,000 P.S.I. AT 28 DAYS
 FINISH: SMOOTH FINISH

SOIL INFORMATION:
 SOIL COMPACTION: 95% STANDARD PROCTOR

NOTES:
 1. CONTRACTOR SHALL PROVIDE A 2' LENGTH SAMPLE FOR APPROVAL BY OWNER AND LANDSCAPE ARCHITECT.
 2. EXPANSION JOINTS TO BE PROVIDED ADJACENT TO ALL PROPOSED AND EXISTING CONCRETE.

8 // L603 FLUSH CONCRETE CURB B
 SCALE: 1'-1'-0"

PercussionPlay
 Outdoor Musical Instruments

Stepping Stone

Description: Jump on these musical stepping stones to make a chord of chimes. (Inevitably, everyone's first!)

Materials and Features: Stainless steel housing and sub frame, Stainless steel strings and internal mechanism, Aluminum stepping guide, Aluminum internal chimes.

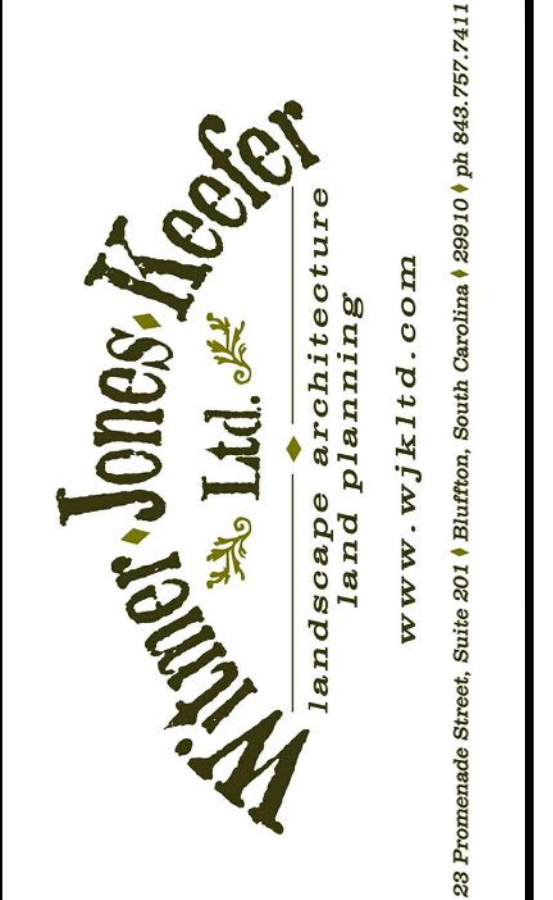
Tuning and Sound Level Data: 2 Major (E, G), 2 Minor (D, A), 4 Major (C, D, F, A), 4 Minor (E, G, B, D).

| Packed Dimensions | Weight (lbs) | L (in) | H (in) | W (in) |
|--------------------|--------------|--------|--------|--------|
| Stepping Stone Box | 52 | 23 | 21 | 8 |

Find more information and watch the video here.

Standard Compliance: CE EN 1176, Voluntary Limited Twenty Five (25), Limited Ten (10) Year & Limited Two (2) Year warranty. \$499 (incl. GST)

9 // L603 STEPPING STONE
 SCALE: N.T.S.



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 DESIGN CONCEPTS, DRAWING, SHEETS, LOGOS, SPECIFICATIONS, DETAILS, WRITTEN MATERIAL SHALL NOT BE USED OR REPRODUCED IN WHOLE OR IN PART IN ANY FORM WITHOUT PRIOR WRITTEN CONSENT OF WJK LTD.
 THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS FOR
SHELTER COVE - PHASE 2
 39 SHELTER COVE LANE
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
 PROJECT NO.: 22062.15
 DRAWN BY: CK, ED
 CHECKED BY: BW

DRB SUBMITTAL SET

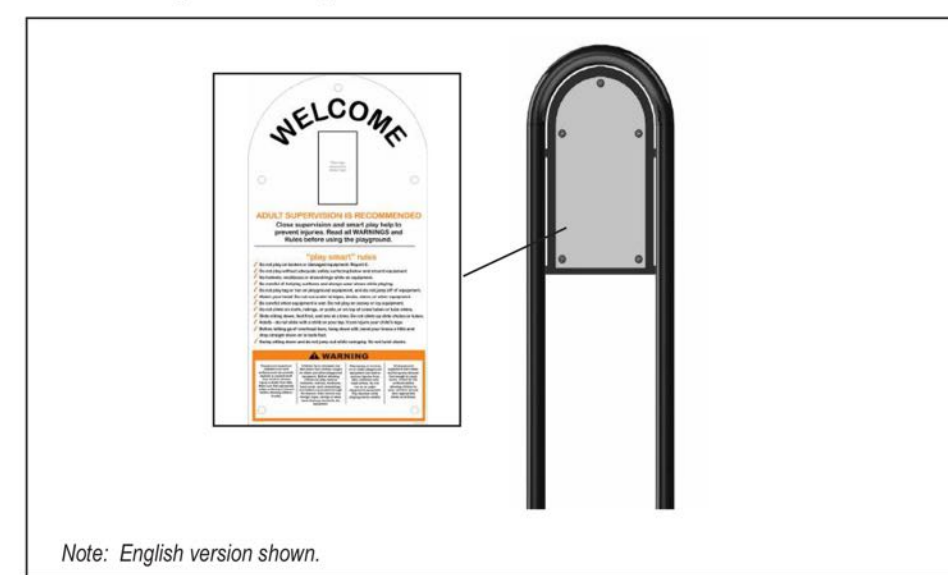
REVISIONS:

| NO. | DESCRIPTION |
|-----|-------------|
| | |
| | |
| | |

DRAWING TITLE
 SITE DETAILS - 04

DRAWING NUMBER
L603

Risk Management Sign



Note: English version shown.

| MODEL | PRODUCT | GROUND SPACE | CONCRETE |
|-----------|---|---------------|---------------|
| 787 | Risk Management Sign - English | 1'-6" x 3'-6" | 0.09 cu. yd. |
| 787FR | Risk Management Sign - French | 1'-6" x 3'-6" | 0.09 cu. yd. |
| 787FREN | Risk Management Sign - French/English | 1'-6" x 3'-6" | 0.09 cu. yd. |
| 787SP | Risk Management Sign - Spanish | 1'-6" x 3'-6" | 0.09 cu. yd. |
| 787BD | Risk Management Sign - English Surface MT | 1'-6" x 3'-6" | site specific |
| 787BDFR | Risk Management Sign - French Surface MT | 1'-6" x 3'-6" | site specific |
| 787BDFREN | Risk Management Sign - French/English SM | 1'-6" x 3'-6" | site specific |
| 787BDS | Risk Management Sign - Spanish Surface MT | 1'-6" x 3'-6" | site specific |

DESCRIPTION
The Risk Management Sign is intended to inform the parents and children that adult supervision is recommended, along with smart play on the equipment in the play area.

MATERIAL
Sign: Fiberglass embedded, gloss finish, 0.125" thick.
Steel Frame: 2-3/8" OD 12 gauge galvanized steel tubing, 13 gauge galvanized steel sheet for mounting sign, and 3/8" thick hot rolled steel base plate on each leg.
Extension Tube: 2.375 12GA GULV-L X 24" tube round.
Hardware: Stainless steel that requires tooling to install or remove.
Finish: The frame shall have a *Mira-Cote* finish.

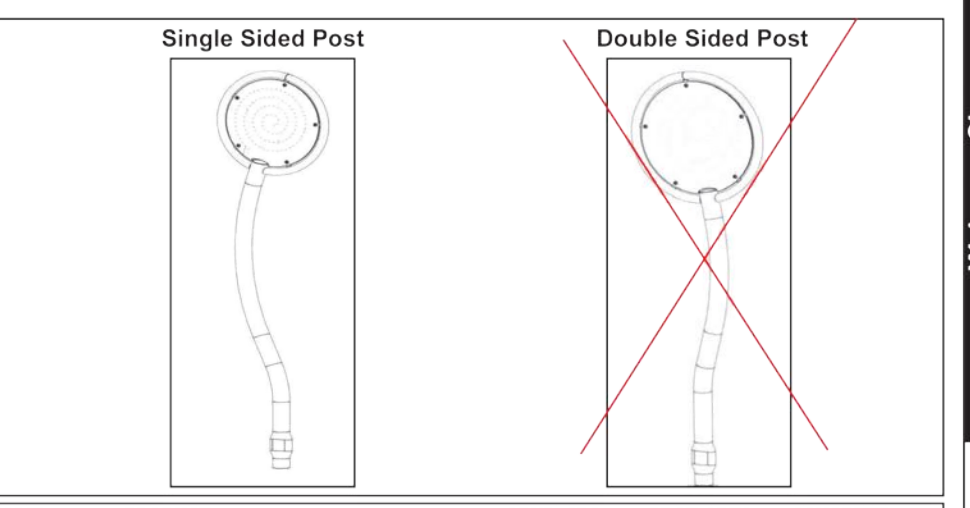
Risk Management Sign



MANUFACTURER INFORMATION:
MIRACLE RECREATION
878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: #787 RISK MANAGEMENT SIGN-ENGLISH
POST COLOR: DARK BROWN
QUANTITY: 1
OR APPROVED EQUAL

Welcome Sign - English, CSA, Spanish and SGL/DBL Sided Post In-Ground and Surface Mount



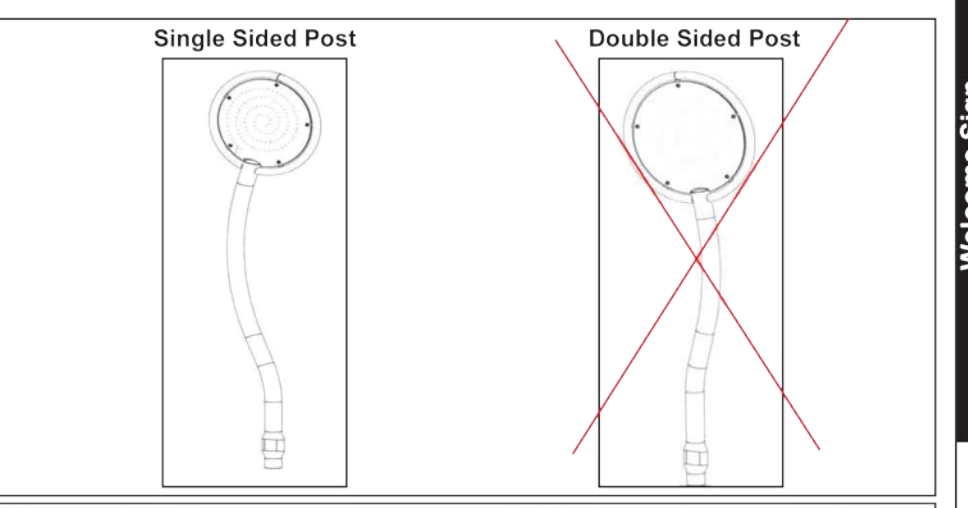
| MODEL | PRODUCT | GRND. SPC. | PROT. AREA | CONCRETE |
|-----------|--|---------------|------------|---------------|
| 787-001 | MREC Welcome Sign 2-5YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-001BD | MREC Welcome Sign 2-5YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-002 | MREC Welcome Sign 2-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-002BD | MREC Welcome Sign 2-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-003 | MREC Welcome Sign 5-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-003BD | MREC Welcome Sign 5-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-011 | MREC Welcome Sign French/Eng 18MO-5YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-011BD | MREC Welcome Sign French/Eng 18MO-5YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-012 | MREC Welcome Sign French/Eng 18MO-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-012BD | MREC Welcome Sign French/Eng 18MO-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-013 | MREC Welcome Sign French/Eng 5-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-013BD | MREC Welcome Sign French/Eng 5-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-021 | MREC Welcome Sign Spanish 2-5YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-021BD | MREC Welcome Sign Spanish 2-5YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-022 | MREC Welcome Sign Spanish 2-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-022BD | MREC Welcome Sign Spanish 2-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-023 | MREC Welcome Sign Spanish 5-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-023BD | MREC Welcome Sign Spanish 5-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-091 | MREC Custom Sign SGL Sided | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-091BD | MREC Custom Sign SGL Sided | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-092 | MREC Custom Sign DBL Sided | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-092BD | MREC Custom Sign DBL Sided | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |



MANUFACTURER INFORMATION:
MIRACLE RECREATION
878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: #787-003 MREC WELCOME SIGN
5-12YR, SINGLE SIDED, ENGLISH
POST COLOR: DARK BROWN
QUANTITY: 1
OR APPROVED EQUAL

Welcome Sign - English, CSA, Spanish and SGL/DBL Sided Post In-Ground and Surface Mount



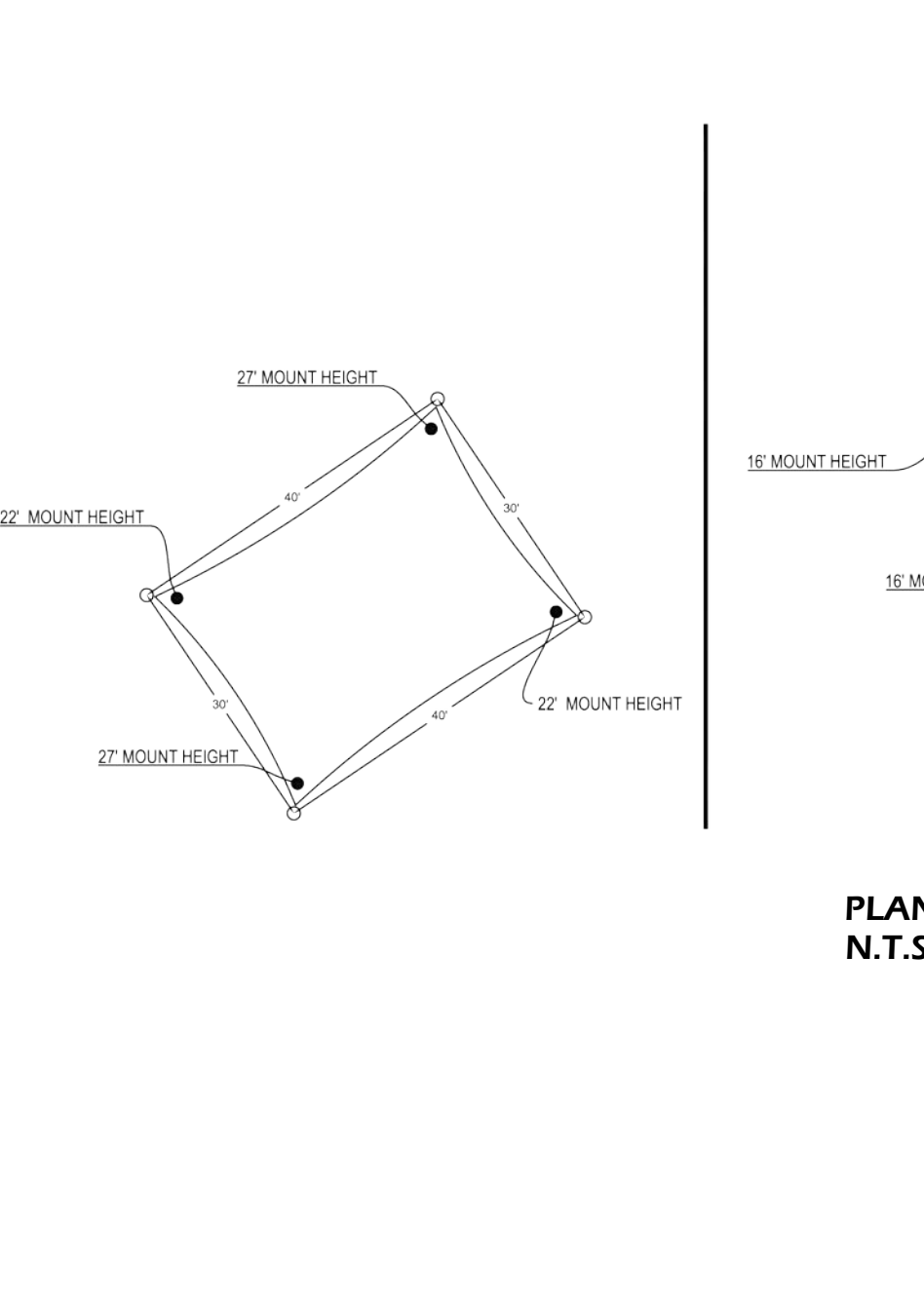
| MODEL | PRODUCT | GRND. SPC. | PROT. AREA | CONCRETE |
|-----------|--|---------------|------------|---------------|
| 787-001 | MREC Welcome Sign 2-5YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-001BD | MREC Welcome Sign 2-5YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-002 | MREC Welcome Sign 2-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-002BD | MREC Welcome Sign 2-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-003 | MREC Welcome Sign 5-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-003BD | MREC Welcome Sign 5-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-011 | MREC Welcome Sign French/Eng 18MO-5YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-011BD | MREC Welcome Sign French/Eng 18MO-5YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-012 | MREC Welcome Sign French/Eng 18MO-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-012BD | MREC Welcome Sign French/Eng 18MO-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-013 | MREC Welcome Sign French/Eng 5-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-013BD | MREC Welcome Sign French/Eng 5-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-021 | MREC Welcome Sign Spanish 2-5YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-021BD | MREC Welcome Sign Spanish 2-5YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-022 | MREC Welcome Sign Spanish 2-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-022BD | MREC Welcome Sign Spanish 2-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-023 | MREC Welcome Sign Spanish 5-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-023BD | MREC Welcome Sign Spanish 5-12YR | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-091 | MREC Custom Sign SGL Sided | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-091BD | MREC Custom Sign SGL Sided | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-092 | MREC Custom Sign DBL Sided | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |
| 787-092BD | MREC Custom Sign DBL Sided | 1'-6" x 2'-6" | N/A | 0.10 cu. yds. |



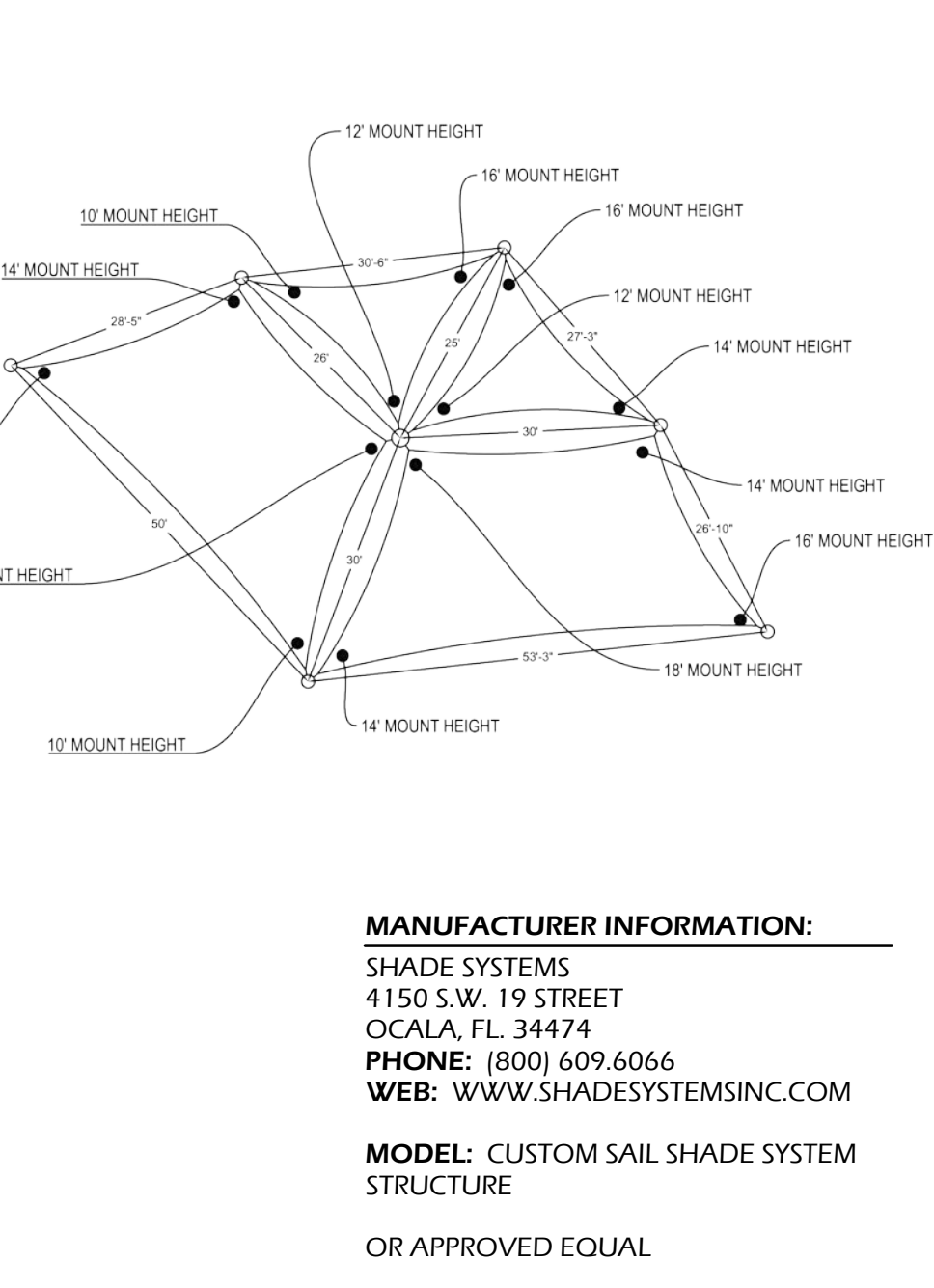
MANUFACTURER INFORMATION:
MIRACLE RECREATION
878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: #787-002 MREC WELCOME SIGN
2-12YR, SINGLE SIDED, ENGLISH
POST COLOR: DARK BROWN
QUANTITY: 1
OR APPROVED EQUAL

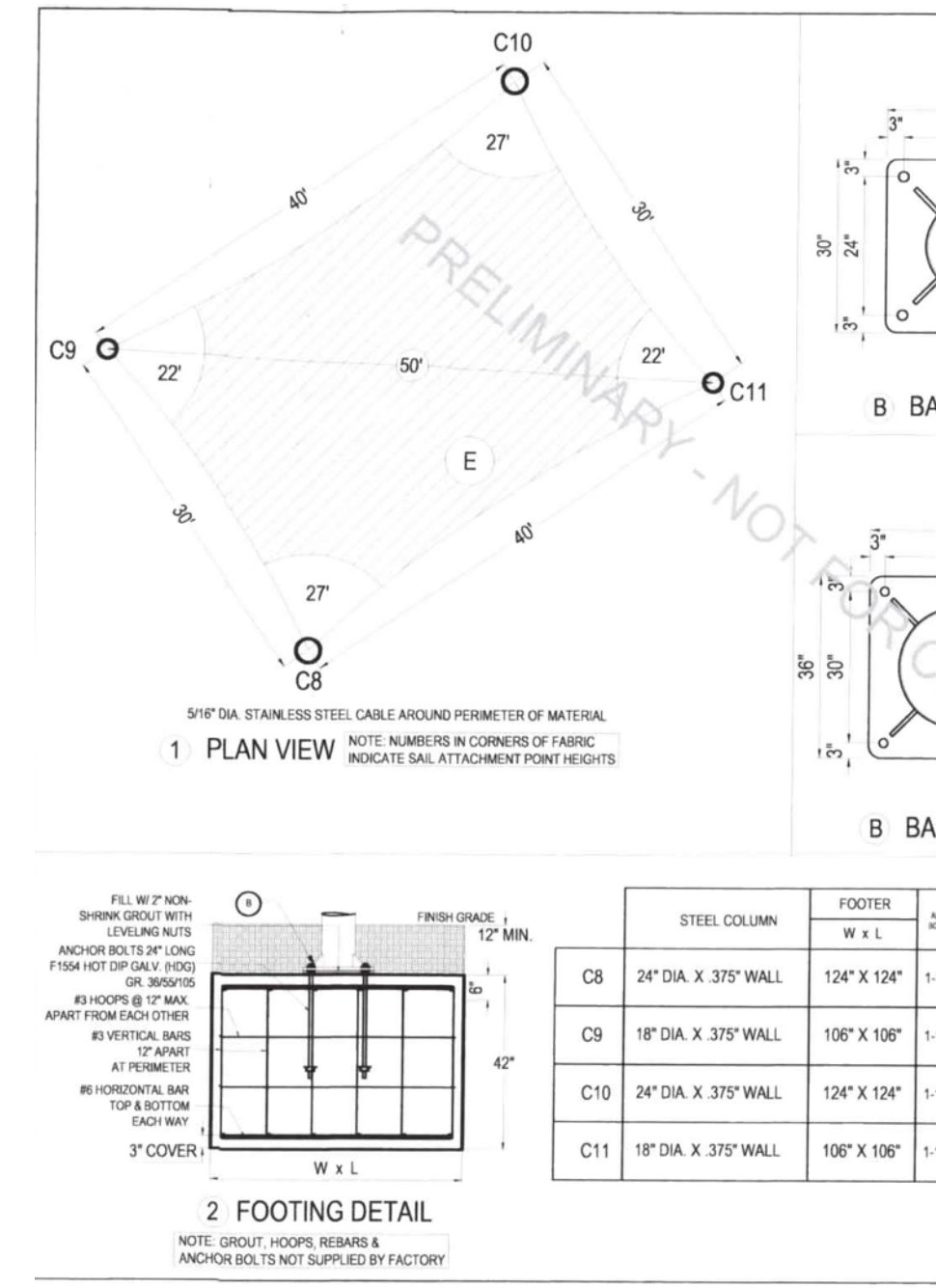
1 // L604 RISK MANAGEMENT SIGN
SCALE: N.T.S.



2 // L604 5-12 WELCOME SIGN
SCALE: N.T.S.



3 // L604 2-12 WELCOME SIGN
SCALE: N.T.S.

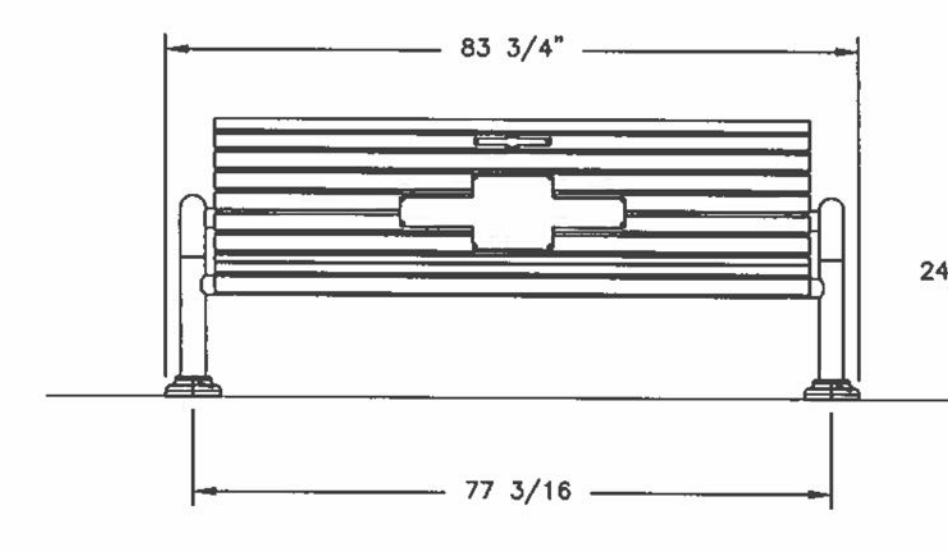


4 // L604 SHADE SAIL
SCALE: N.T.S.



MANUFACTURER INFORMATION:
SHADE SYSTEMS
4150 S.W. 19 STREET
OCALA, FL 34474
PHONE: (800) 609.6066
WEB: WWW.SHADESYSTEMSINC.COM

MODEL: CUSTOM SAIL SHADE SYSTEM STRUCTURE
OR APPROVED EQUAL



5 // L604 BEST BUDDIES BENCH
SCALE: N.T.S.

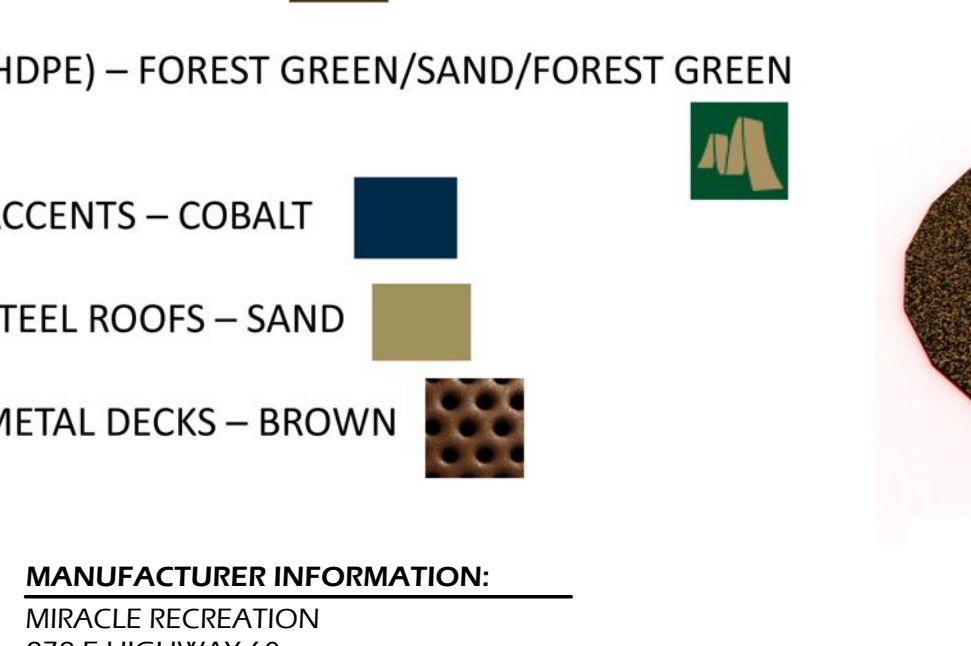


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878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: MR0880
QUANTITY: 1
OR APPROVED EQUAL

6 // L604 COMMUNITY HELPER
SCALE: N.T.S.

7 // L604 GARDEN WALL
SCALE: N.T.S.



MANUFACTURER INFORMATION:
MIRACLE RECREATION
878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: MR0884
QUANTITY: 1
OR APPROVED EQUAL

7 // L604 GARDEN WALL
SCALE: N.T.S.

8 // L604 GARDEN WALL
SCALE: N.T.S.

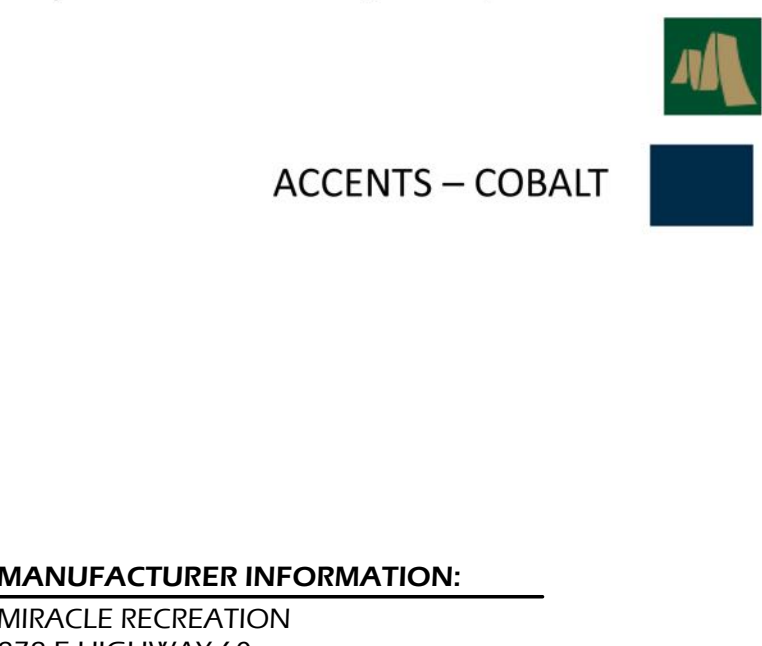


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878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: MR0884
QUANTITY: 1
OR APPROVED EQUAL

7 // L604 GARDEN WALL
SCALE: N.T.S.

9 // L604 GARDEN WALL
SCALE: N.T.S.



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MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: MR0884
QUANTITY: 1
OR APPROVED EQUAL

7 // L604 GARDEN WALL
SCALE: N.T.S.

Winters Jones-Heefer
landscape architecture
land planning
www.wjkltd.com
288 Promenade Street, Suite 201 | Bluffton, South Carolina 29910 | ph. 843.787.7411

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THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS FOR SHELTER COVE - PHASE 2
39 SHELTER COVE LANE
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
PROJECT NO.: 22062.15
DRAWN BY: CK, ED
CHECKED BY: BW

DRB SUBMITTAL SET

REVISIONS:

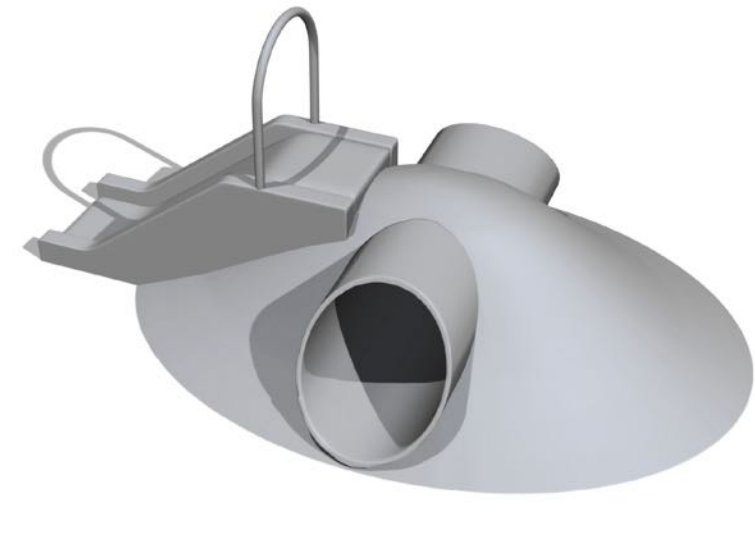
| | |
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| | |

DRAWING TITLE
SITE DETAILS - 05

DRAWING NUMBER

L604

MOUND / SLIDE / TUNNEL
ITEM NUMBER: TBD



FEATURES
FUNCTIONALITY: CLIMBER / SLIDE / TUNNEL
PRODUCT LINE: MOUNDS
FINISH: UNDER PP / MATTE

SPECIFICATIONS
SIZE: 139"L x 90"W x 61"H
WEIGHT: TBD
USE ZONE: 72'

INSTALLATION REQUIREMENTS
MOUNTING: IN-GROUND FOOTER
BASE: PARK & REC
MARKET: OUTDOOR

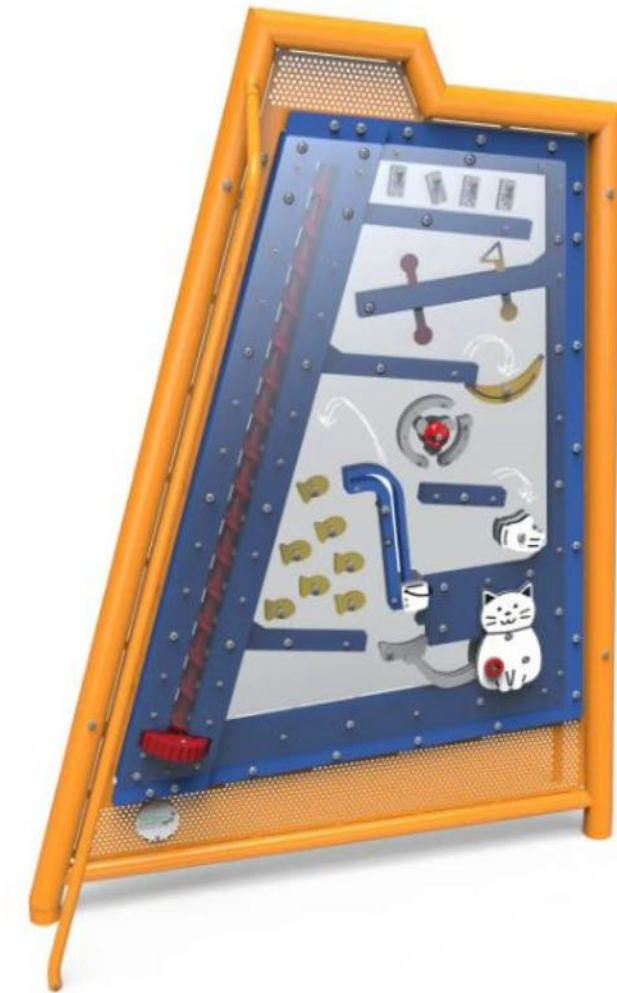
MANUFACTURER INFORMATION:

PLAYPOWER
13310 JAMES E. CASEY AVE.
INGLEWOOD, CA. 80112
PHONE: (303) 662.0302
WEB: WWW.SOFTPLAY.COM

MODEL: MOUND / SLIDE / TUNNEL
COLOR: TO MATCH PLAYGROUND SURFACE
QUANTITY: 1

OR APPROVED EQUAL

FRAME & PANEL – SAND & DARK BROWN



ACTUAL COLORS NOT SHOWN

MANUFACTURER INFORMATION:

MIRACLE RECREATION
878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: MR4536
QUANTITY: 1

OR APPROVED EQUAL

ACCENTS – FOREST GREEN

MANUFACTURER INFORMATION:

MIRACLE RECREATION
878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: MR307
QUANTITY: 1

OR APPROVED EQUAL



1 // L605 MOUND W/ SLIDE & TUNNEL
SCALE: N.T.S.

2 // L605 CURIOSITY THRILLED THE CAT
SCALE: N.T.S.

3 // L605 INCLUSIVE WHIRL
SCALE: N.T.S.



ACCENTS – FOREST GREEN

MANUFACTURER INFORMATION:

MIRACLE RECREATION
878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: MR453-5
QUANTITY: 1

OR APPROVED EQUAL



FRAME & PANEL – SAND & DARK BROWN

MANUFACTURER INFORMATION:

MIRACLE RECREATION
878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: MR4538
QUANTITY: 1

OR APPROVED EQUAL

ACTUAL COLORS NOT SHOWN

SWING LEG – DARK BROWN

TOT SEATS - BLACK

SWING TOP RAIL – SAND

PLASTIC – FOREST GREEN

BELT SEATS - BLACK

SWING ROPE - BLACK



MANUFACTURER INFORMATION:

MIRACLE RECREATION
878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODELS: (1) MR0930 3.5' 2-SEAT ARCH SWING;
(1) MR0932 3.5' 2 SEAT ARCH SWING
ADD-A-BAY;
(1) MR0940 3.5' MULTI-USER ARCH
SWING ADD-A-BAY

SEATS: (2) SLASHPROOF SEAT
(1) GENERATION SWING SET
(1) INCLUSIVE SWING SEAT

OR APPROVED EQUAL

4 // L605 MOMENTUM CORRIDOR
SCALE: N.T.S.

5 // L605 MY CUP OF TEA
SCALE: N.T.S.

6 // L605 SWING
SCALE: N.T.S.

POST – DARK BROWN

PLASTIC POST TOPPERS – FOREST GREEN, DARK BROWN, SAND

ACCENTS – SAND

SENSORY PLASTIC – ORANGE, GREEN

PVC BENCH – BROWN

ACCENTS – GREEN

POST – GALVANIZED

ACCENT – VIBRANT GREEN*
not available to change

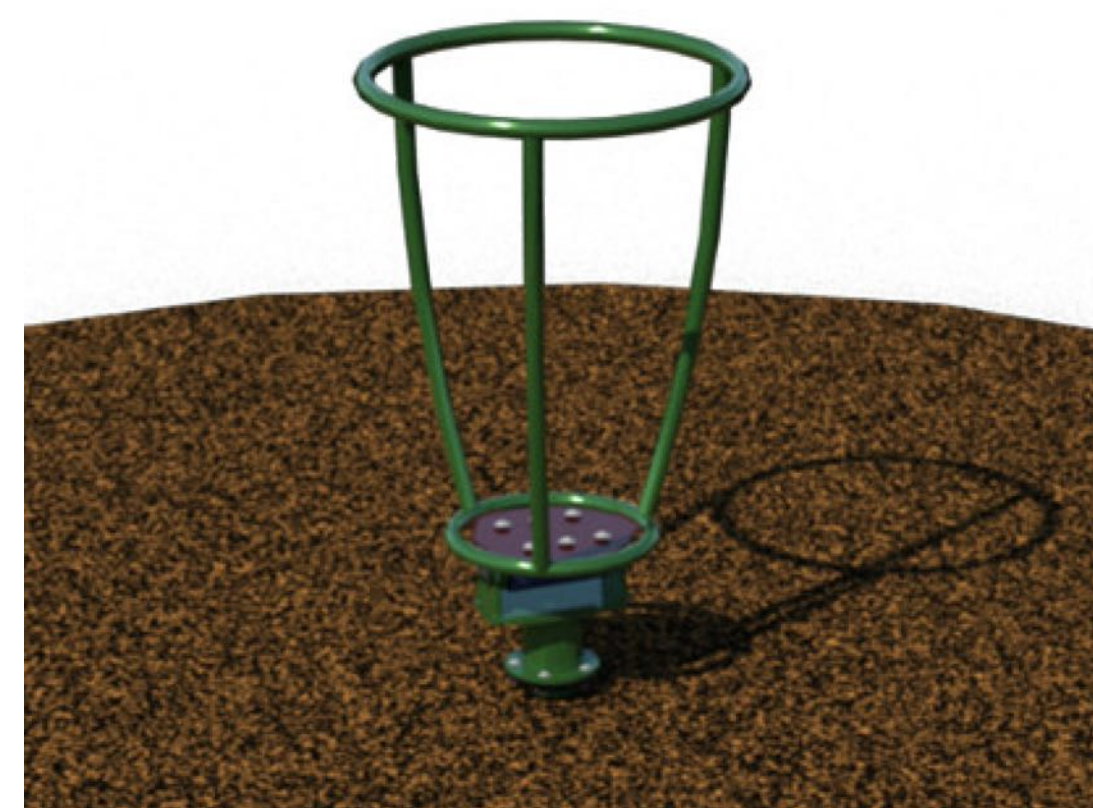


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MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

POST: TBD
POST TOPPER: 714-680-4T SQUARE WAVE TOPPER
WALL ENCLOSURE: 714-817B WALL ENCLOSURE
W/ SEAT BELOW DECK
PANELS: 714-713-11B SENSORY PANEL TEXTURED
STAR CIRCLE: 714-713-13B SENSORY PANEL
TEXTURED SQUARE OVAL
QUANTITY: 1

OR APPROVED EQUAL

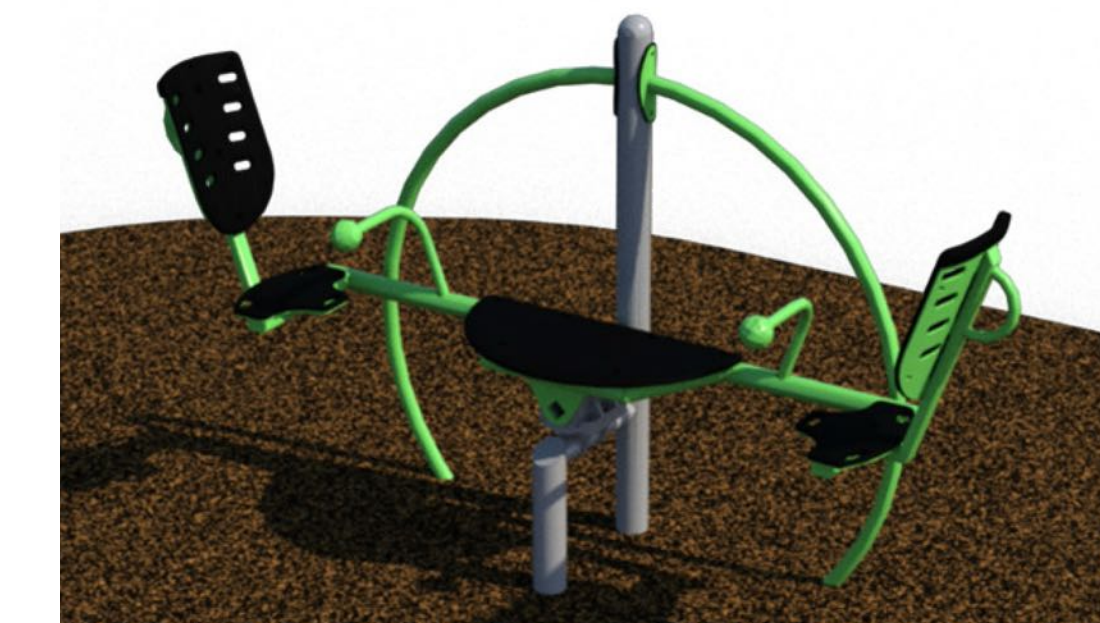


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MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: MR947
QUANTITY: 1

OR APPROVED EQUAL



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878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: MR8097781
QUANTITY: 1

OR APPROVED EQUAL

7 // L605 TRANQUILITY CENTER
SCALE: N.T.S.

8 // L605 BARREL RIDE
SCALE: N.T.S.

9 // L604 INCLUSIVE SEESAW
SCALE: N.T.S.

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SITE DEVELOPMENT PLANS
FOR
SHELTER COVE - PHASE 2
39 SHELTER COVE LANE
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
PROJECT NO.: 22062.15
DRAWN BY: CK, ED
CHECKED BY: BW

DRB SUBMITTAL SET

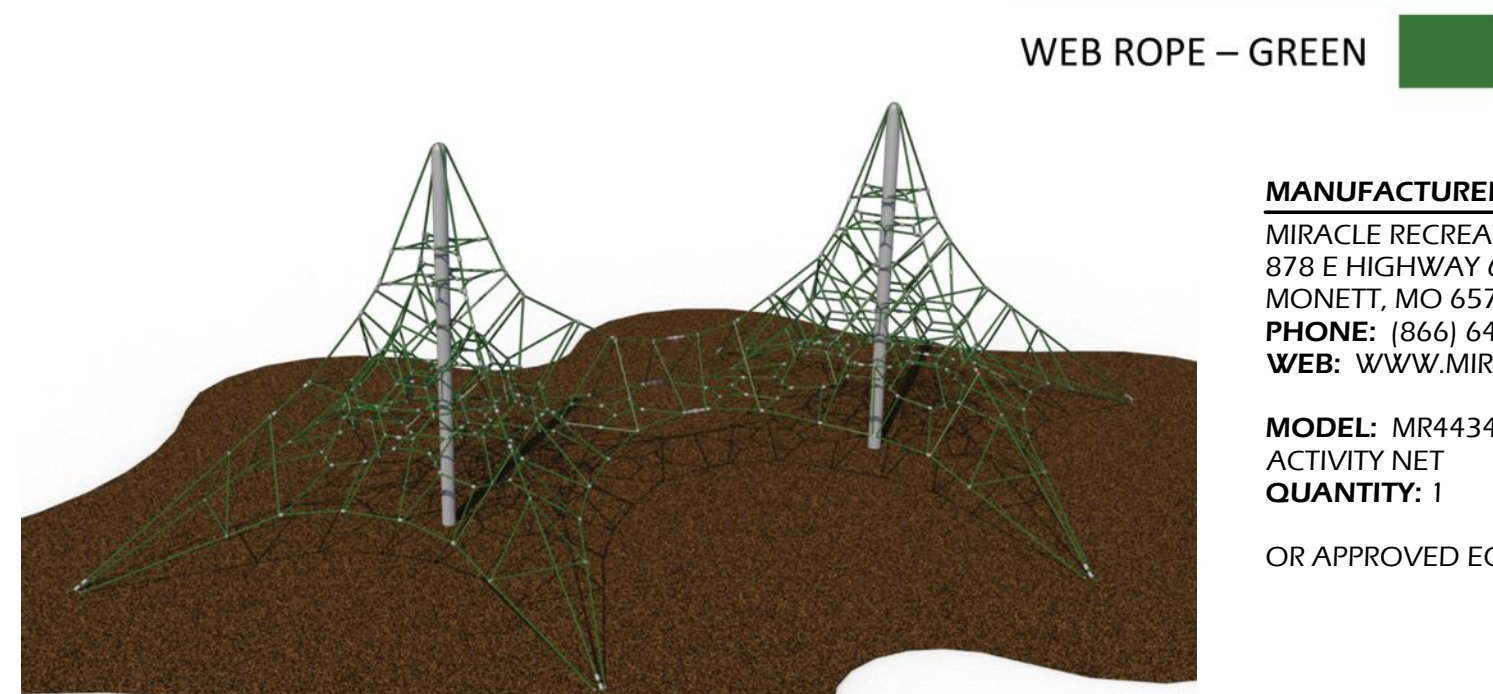
REVISIONS:

DRAWING TITLE
SITE DETAILS - 06

DRAWING NUMBER

L605

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WEB ROPE – GREEN

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PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: MR4434 WEBSAPES GEMINI (4M)
ACTIVITY NET
QUANTITY: 1

OR APPROVED EQUAL

1 // L606 NET CLIMBER
SCALE: N.T.S.



POST – DARK BROWN
PLASTIC – FOREST GREEN

MANUFACTURER INFORMATION:
MIRACLE RECREATION
878 E HIGHWAY 60
MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: MR945-1 SADDLE SEAT-ANGLED POST
QUANTITY: 1

OR APPROVED EQUAL

2 // L606 SADDLE SEAT
SCALE: N.T.S.

PLASTIC SLIDES – COBALT HOODS, SAND BEDWAY
CHAMELEON SLIDES – GREEN/FOREST GREEN
TUBE SLIDES – GREEN ENTRANCE/EXIT, SAND TUBE, COBALT RINGS
HDPE PANELS – BROWN/SAND/BROWN
POST – DARK BROWN
ACCENTS – SAND
STEEL ROOFS – SAND
FABRIC ROOFS – DESERT SAND
PVC DECKS – BROWN



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MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

MODEL: CUSTOM STRUCTURE
QUANTITY: 1

OR APPROVED EQUAL

3 // L606 PLAY STRUCTURE
SCALE: N.T.S.

POST – DARK BROWN
ACCENTS – SAND
SENSORY PLASTIC – ORANGE, BLUE, GREEN

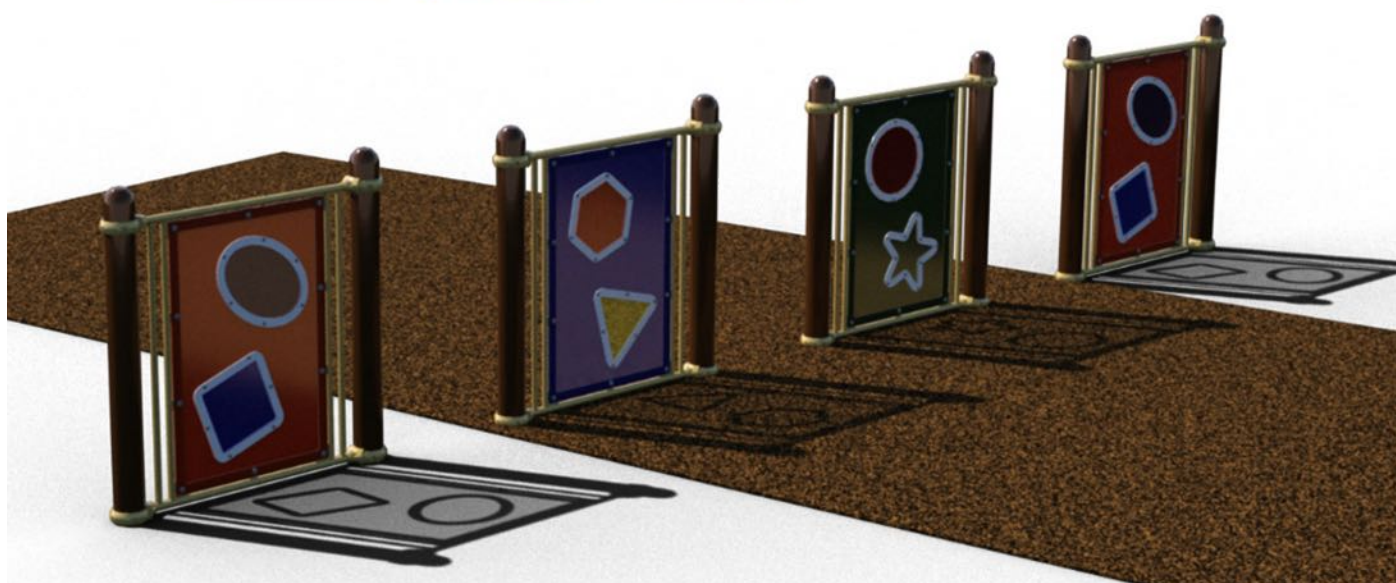


MANUFACTURER INFORMATION:
MIRACLE RECREATION
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MONETT, MO 65708
PHONE: (866) 641.3138
WEB: WWW.MIRACLE-RECREATION.COM

PANELS: (1) 714-713-11B SENSORY PANEL
TEXTURED STAR CIRCLE;
(1) 714-713-12B SENSORY PANEL
TEXTURED TRIANGLE HEXAGON;
(2) 714-713-13B SENSORY PANEL
TEXTURED SQUARE OVAL

POSTS: TBD

OR APPROVED EQUAL



4 // L606 SENSORY WALL
SCALE: N.T.S.



MANUFACTURER INFORMATION:
PERCUSSION PLAY

PHONE: (866) 882.9170
WEB: WWW.PERCUSIONPLAY.COM

MODEL: BABEL DRUM (LARGE)
MODEL NUMBER: PP-BABL-G-MA-GR
QUANTITY: 1

OR APPROVED EQUAL

5 // L606 LARGE BABEL
SCALE: N.T.S.



MANUFACTURER INFORMATION:
PERCUSSION PLAY

PHONE: (866) 882.9170
WEB: WWW.PERCUSIONPLAY.COM

MODEL: CADENZA
MODEL NUMBER: TBD
QUANTITY: 1

OR APPROVED EQUAL

6 // L605 CADENZA
SCALE: N.T.S.

PercussionPlay
Outdoor Musical Instruments
Cattails Set of 6

Description

Whether you call them cattails, reeds, or bulrushes, these sleek, rippling reeds are especially enjoyable for the slender reed player with tall reeds and dark brown activity heads.

Perfect for solo or ensemble play, these reeds are made of high-quality, weather-resistant materials and are easy to play. They are also available in a variety of colors and finishes.

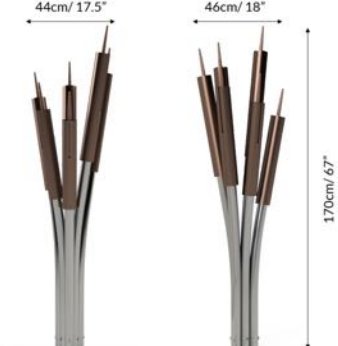
Materials and Features

316 mirror polished marine grade stainless steel legs.
Aluminum bases.
2" diameter caps and PU padded end caps supplied.
2.2" diameter reed material.
Vandal resistant finish.



Tuning and Sound Level Data

All Minor Pentatonic (Set of 6): A3, C4, D4, F4, G4, A4



| Parted Dimensions | Weight (lbs) | L (in) | H (in) | W (in) |
|----------------------|--------------|--------|--------|--------|
| Box 1-7 (Cattails) | 14 | 70 | 4 | 7 |
| Box 8 (CAP Stack(s)) | 10 | 20 | 13 | 7 |

*Optional heavy-duty stainless steel caps available containing the reeds.

Find more information and watch the video below.

Standard Compliance: BS EN 1176.

Manufacturer's Limited Warranty: 25 Years (50 Year/50 Year/2 Year warranty).

PP-CATT-56-GR

MANUFACTURER INFORMATION:
PERCUSSION PLAY

PHONE: (866) 882.9170
WEB: WWW.PERCUSIONPLAY.COM

MODEL: CATTAILS SET OF 6
MODEL NUMBER: PP-CATT-56-GR
QUANTITY: 1

OR APPROVED EQUAL

7 // L605 CATTAILS
SCALE: N.T.S.



MANUFACTURER INFORMATION:
PERCUSSION PLAY

PHONE: (866) 882.9170
WEB: WWW.PERCUSIONPLAY.COM

MODEL: CONGAS PAIR (MEDIUM)
MODEL NUMBER: PP-CONG-MD-SD-GR
QUANTITY: 1

OR APPROVED EQUAL

8 // L606 CONGAS
SCALE: N.T.S.



MANUFACTURER INFORMATION:
PERCUSSION PLAY

PHONE: (866) 882.9170
WEB: WWW.PERCUSIONPLAY.COM

MODEL: BABEL DRUM (SMALL)
MODEL NUMBER: PP-BABL-C-MA-GR
QUANTITY: 1

OR APPROVED EQUAL

9 // L606 SMALL BABEL
SCALE: N.T.S.

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SITE DEVELOPMENT PLANS
FOR
SHELTER COVE - PHASE 2
39 SHELTER COVE LANE
TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

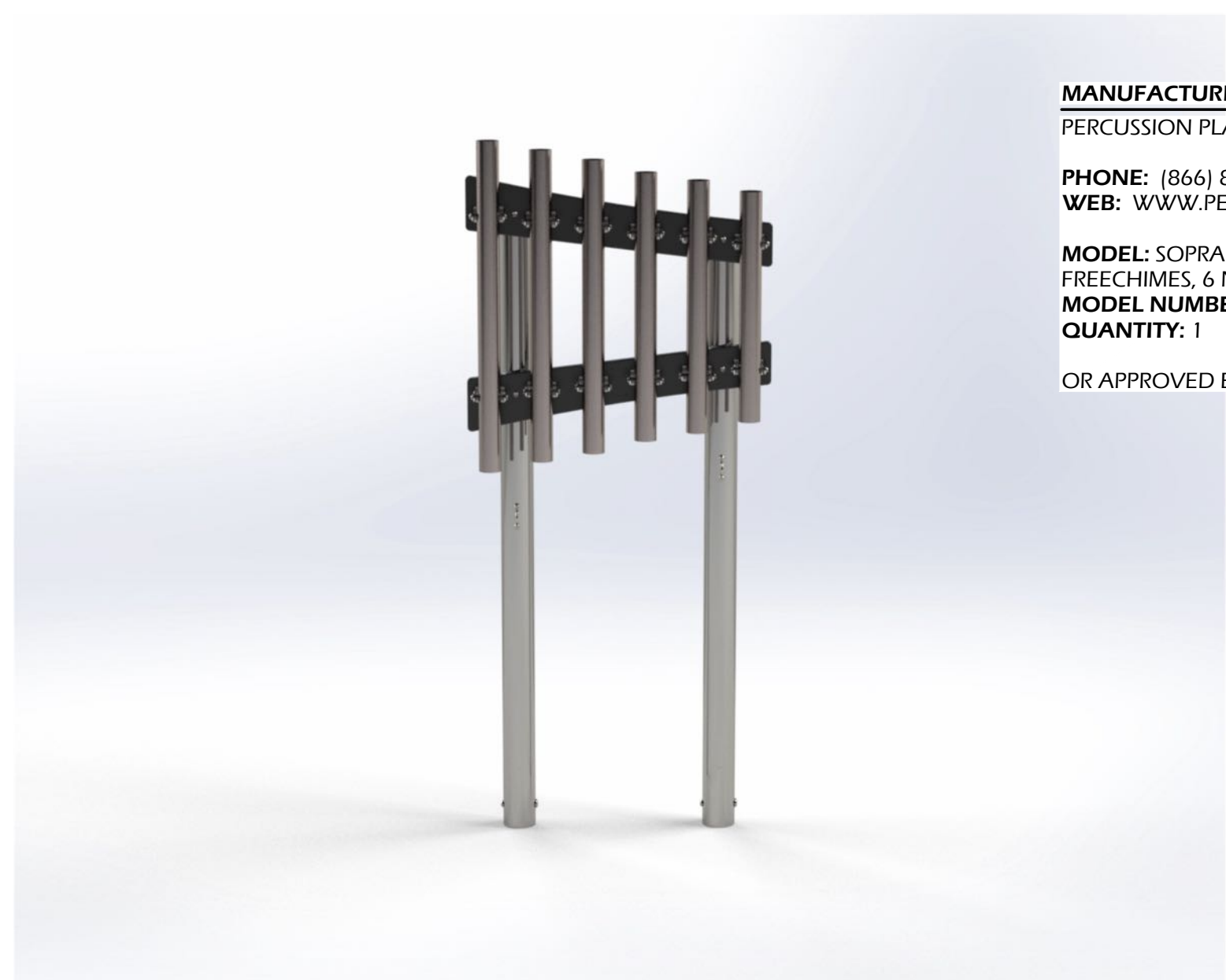
DATE: JAN 14, 2026
PROJECT NO.: 22062.15
DRAWN BY: CK, ED
CHECKED BY: BW

DRB SUBMITTAL
SET

REVISIONS:

DRAWING TITLE
SITE DETAILS - 07

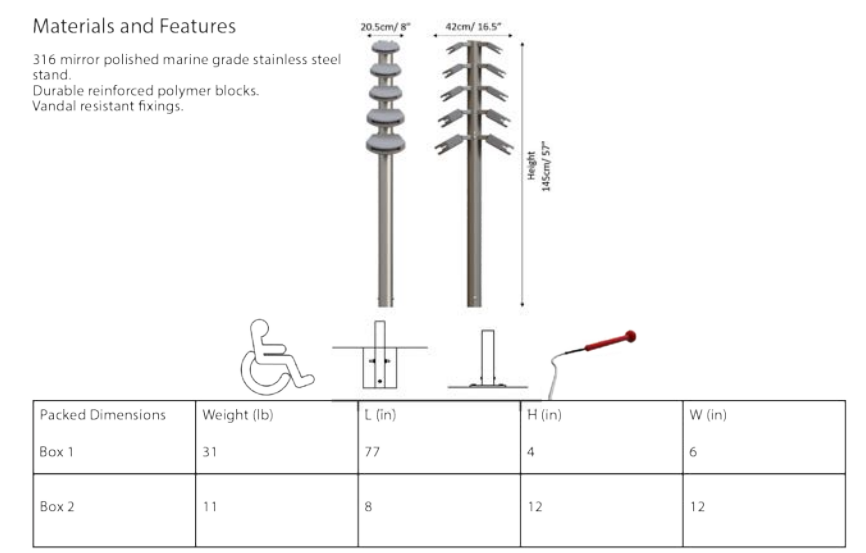
DRAWING NUMBER
L606



MANUFACTURER INFORMATION:
PERCUSSION PLAY
PHONE: (866) 882.9170
WEB: WWW.PERCUSSIONPLAY.COM
MODEL: SOPRANO PENTATONIC FREECHIMES, 6 NOTES
MODEL NUMBER: PP-FREC-SO-PE-GR
QUANTITY: 1
 OR APPROVED EQUAL



MANUFACTURER INFORMATION:
PERCUSSION PLAY
PHONE: (866) 882.9170
WEB: WWW.PERCUSSIONPLAY.COM
MODEL: TEMPLE BLOCK TREE
MODEL NUMBER: PP-TEMP-GR
QUANTITY: 1
 OR APPROVED EQUAL

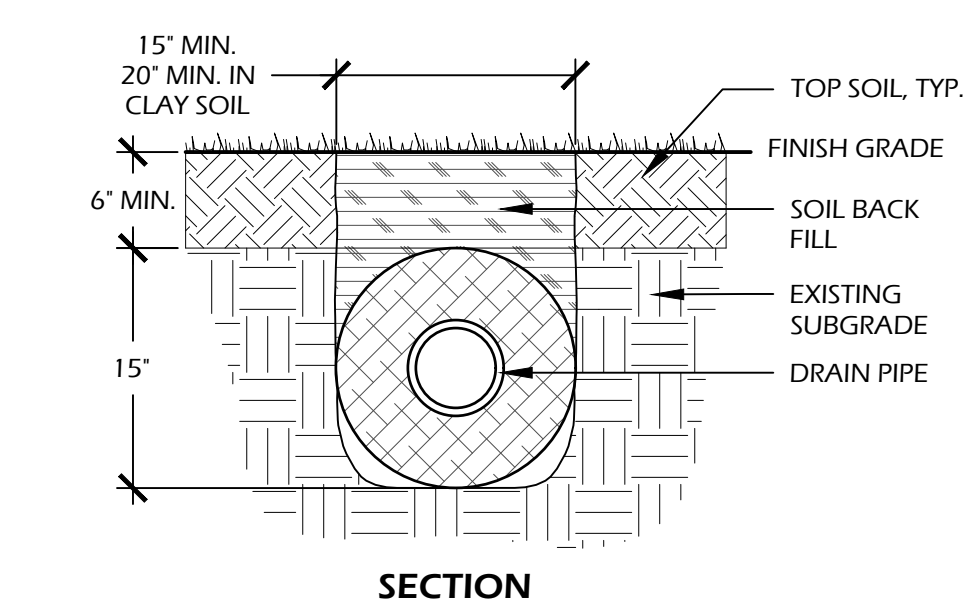


| Packed Dimensions | Weight (lbs) | L (in) | H (in) | W (in) |
|-------------------|--------------|--------|--------|--------|
| Box 1 | 31 | 37 | 14 | 8 |
| Box 2 | 11 | 8 | 12 | 12 |

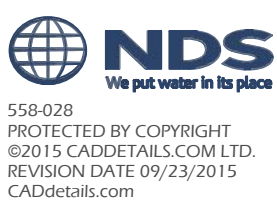
1 // L607 FREECHIMES
 SCALE: N.T.S.

2 // L607 TEMPLE BLOCK TREE
 SCALE: N.T.S.

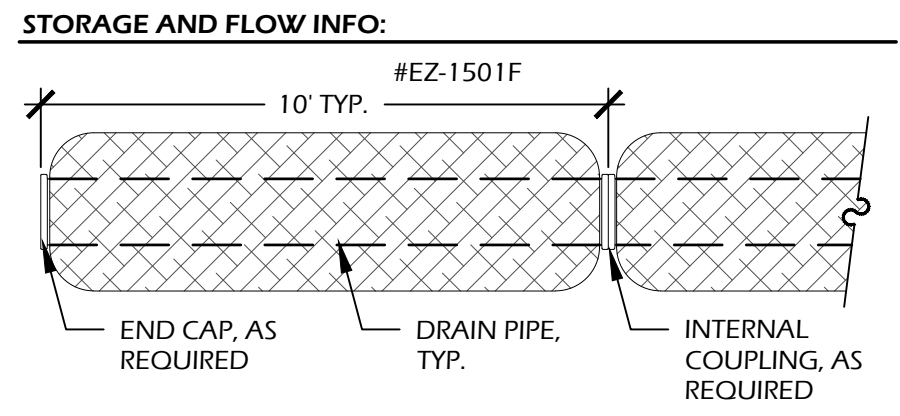
3 // L607 18" AREA DRAIN
 SCALE: N.T.S.



MANUFACTURER INFO:
 NATIONAL DIVERSIFIED SALES, INC.
 851 N. HARVARD AVE.
 LINDSAY, CA. 93247
PHONE: (800) 726.1994
WEB: WWW.NDSPRO.COM
PIPE: #EZ-1501F, 15" MESH WITH 6" CORRUGATED PERFORATED PIPE
PIPE COLOR: BLACK
PIPE INFO: POLYETHYLENE SLOTTED DRAIN PIPE SURROUNDED BY 100% RECYCLED POLYSTYRENE AGGREGATE AND ENCLOSED IN 30-SIEVE POLYETHYLENE GEOTEXTILE MESH



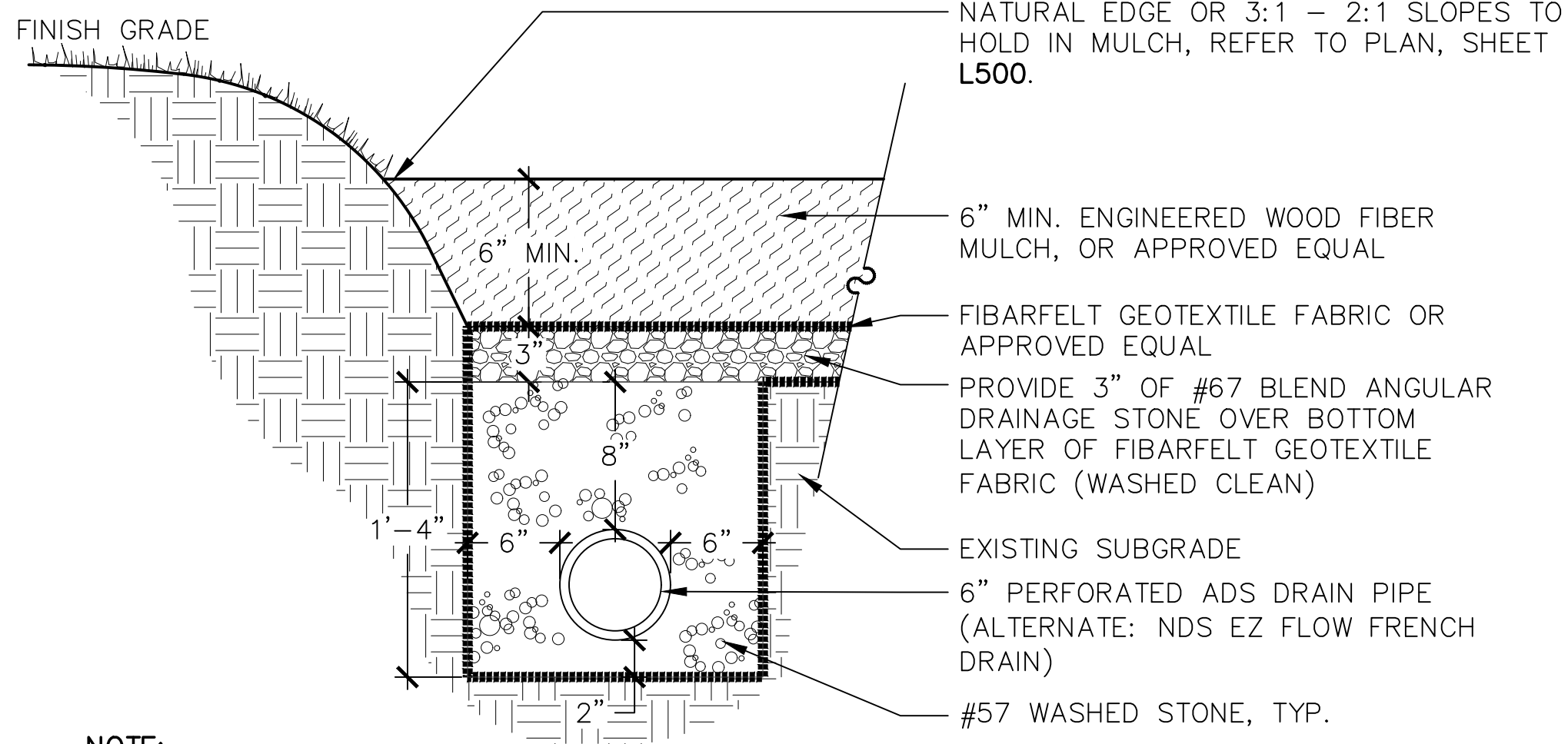
SOIL INFO:
SOIL BACK FILL: TOP SOIL BACK FILL, OR GRAVEL WITH 3" TOP SOIL IN CLAY AREAS



STORAGE AND FLOW INFO:
 STORAGE VOLUME = 45.8 GALLONS (6.1225 CU. FT.) PER SECTION. FLOW RATE = 345.0 GPM (1% SLOPE)

- NOTES:**
- INSTALL PER MANUFACTURER'S SPECIFICATIONS.
 - ADDITIONAL COVER MAY BE REQUIRED BASED ON SITE CONDITIONS. 12" COVER REQUIRED TO OBTAIN AN H-10 LOAD RATING.
 - DO NOT SCALE DRAWING.
 - ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.
 - CONTRACTORS NOTE: FOR PRODUCT AND COMPANY INFORMATION VISIT WWW.CADDETAILS.COM/INFO AND ENTER REFERENCE NUMBER 558-028

4 // L607 6" FRENCH DRAIN
 SCALE: N.T.S.



- NOTE:**
- AVOID CONTAMINATION OF ENGINEERED WOOD FIBER WITH SAND, GRAVEL, OR NATIVE SOIL.
 - CONTRACTOR TO ENSURE SURFACE IS LEVEL AND COMPACTED.

MANUFACTURERS INFORMATION:
 BELLA MULCH
 262 KATO BAY RD
 HARDEEVILLE, SC 29927
PHONE: (843) 350-19731
WEB: WWW.BELLAMULCH.COM

7 // L607 EWF PLAYGROUND MULCH
 SCALE: 1-1/2" = 1'-0"

Stilts
 NRO806



The Stilts are a playground classic that appeal to children repeatedly. The Stilts have a basic play message: balance through without touching the ground. The Stilts invite jumping or balancing from one to the next. They can also be used as individual seats and cater to meeting in groups. The Stilts support children who are developing their skills, thanks to their foot-steps and inclination: children can always lean to the side to regain balance. When balancing from stilt to stilt, children train their proprioception and sense of balance. Balance and proprioception are fundamental in confidently managing the body in space. Crossing the Stilts with friends trains tumbling and negotiation. These are important social-emotional skills that are basic to the ability to form friendships and relate to peers.

KOMPAN
 Let's play

| | |
|------------------------------------|--------------|
| Item no. | NRO806-0601 |
| General Product Information | |
| Dimensions LxWxH | 42"x8'1"x37" |
| Age group | 5 - 12 |
| Play capacity (users) | 3 |
| Color options | ● ● ● |



Data is subject to change without prior notice.

Triple Balance Beam
 NRO889



The Triple Balance Beam is a great playground classic that attracts children again and again. It can function as a playground centerpiece, helping to connect activities. It can also function as a point for a break, providing seating for children sharing, or parents or caregivers in need of a point from which to observe play. When children balance across the Triple Balance Beam, they train their equilibrium immensely. The sense of balance is a fundamental motor skill that is basic for the development of all other skills. The sense of balance for instance makes it possible for children to sit still and concentrate, so the fun of physical play supports this important part of child development. The spaciousness also allows for substantial social interaction and cooperative play.

KOMPAN
 Let's play

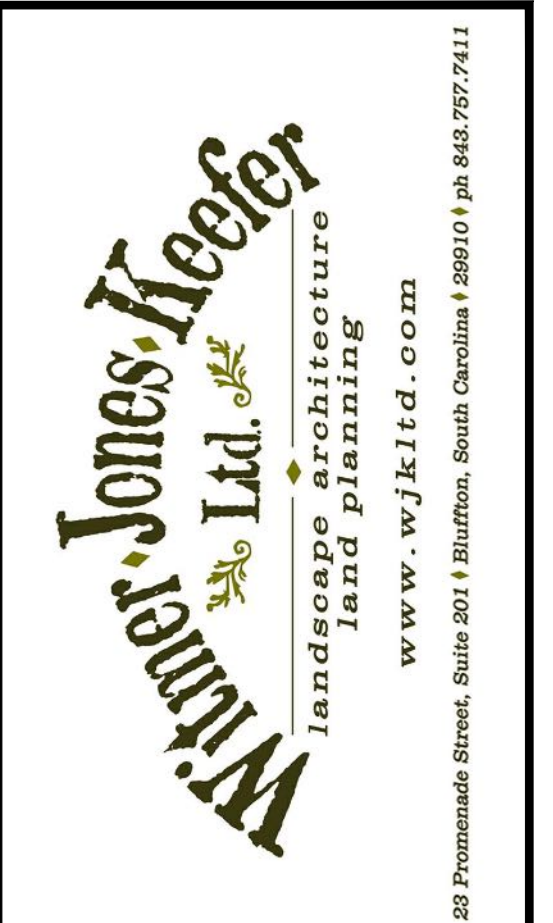
| | |
|------------------------------------|--------------|
| Item no. | NRO889-0601 |
| General Product Information | |
| Dimensions LxWxH | 248"x77"x13" |
| Age group | 5 - 12 |
| Play capacity (users) | 6 |
| Color options | ● ● ● ● ● ● |



Data is subject to change without prior notice.

5 // L607 LOG STILTS
 SCALE: N.T.S.

6 // L607 LOG BALANCE BEAM
 SCALE: N.T.S.



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 THIS SHEET TO SCALE AT 24"x36"

SITE DEVELOPMENT PLANS FOR SHELTER COVE - PHASE 2
 39 SHELTER COVE LANE
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
PROJECT NO.: 22062.15
DRAWN BY: CK, ED
CHECKED BY: BW

DRB SUBMITTAL SET

REVISIONS:

DRAWING TITLE
SITE DETAILS - 08

DRAWING NUMBER
L607

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SITE DEVELOPMENT PLANS
 FOR
SHELTER COVE - PHASE 2
 39 SHELTER COVE LANE
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
 PROJECT NO.: 22062.15
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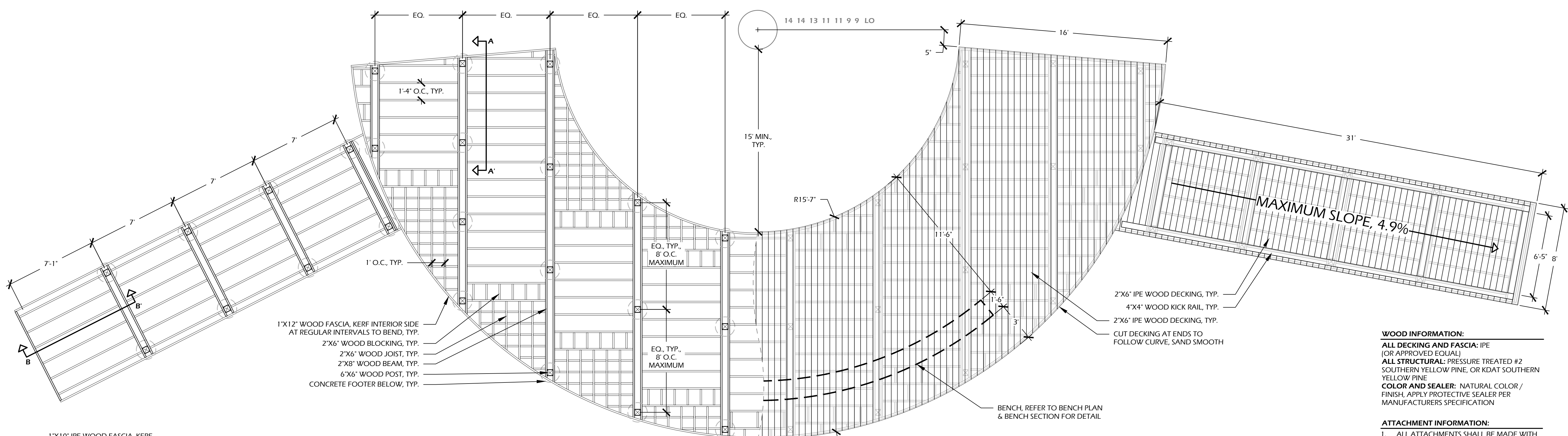
DRB SUBMITTAL SET

REVISIONS:

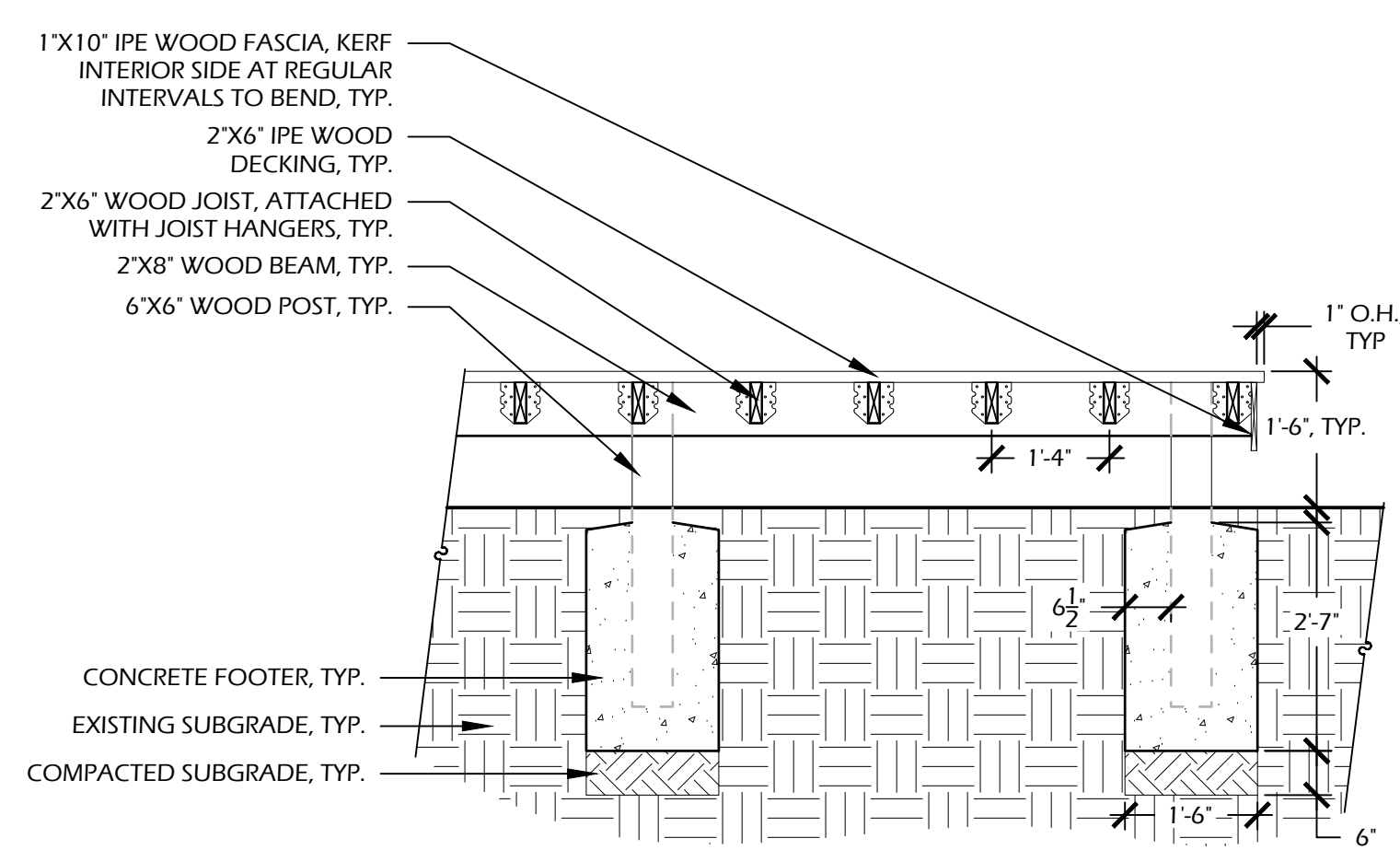
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DRAWING TITLE
SITE DETAILS - 09

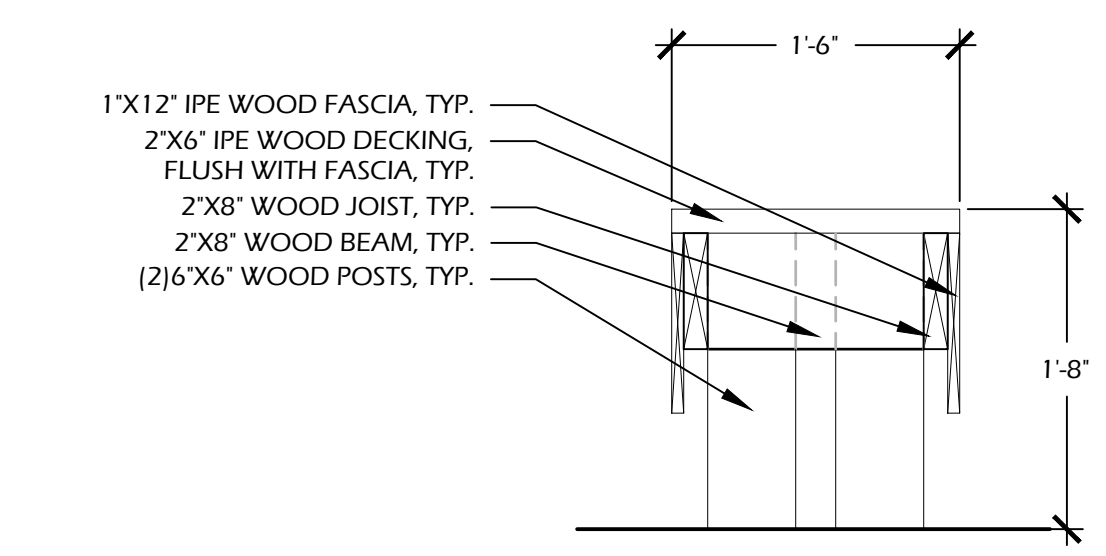
DRAWING NUMBER
L608



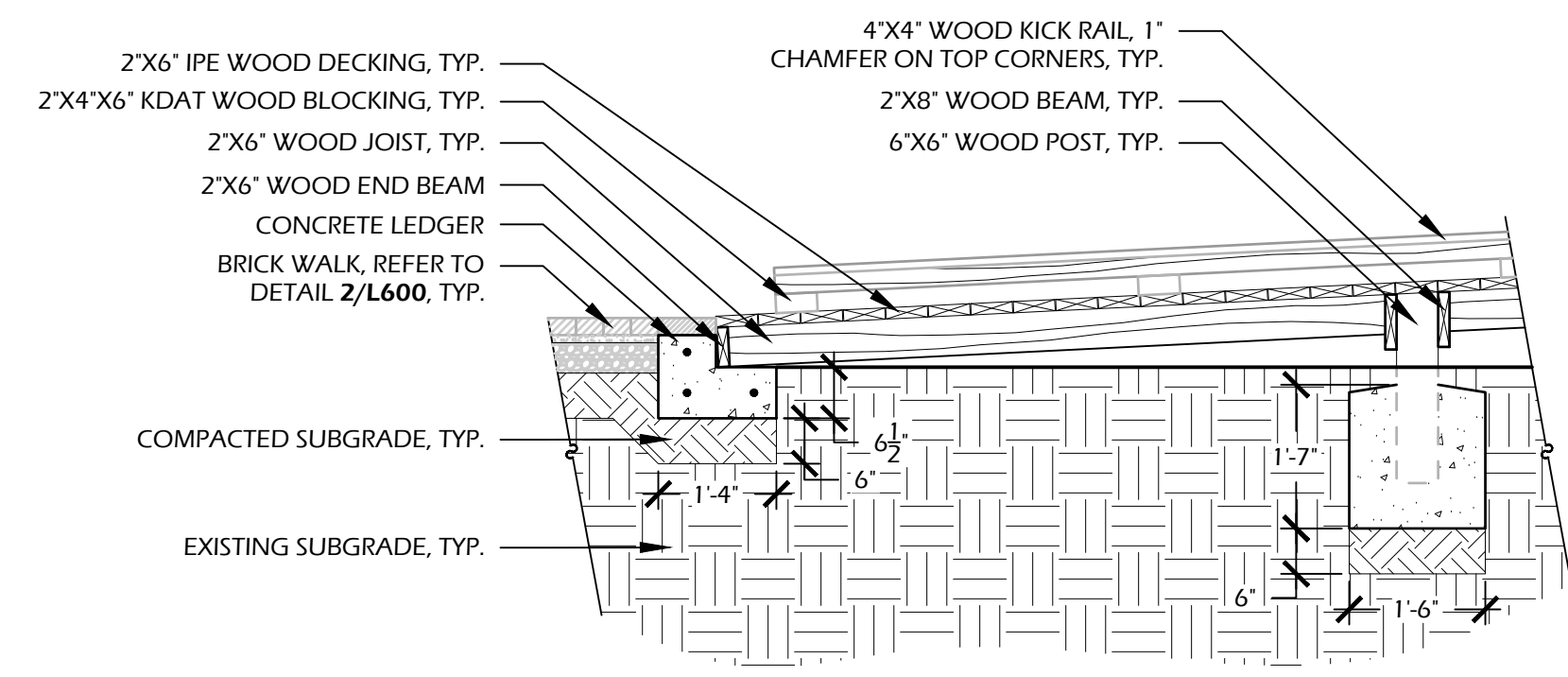
DECK PLAN
 SCALE: 1/4" - 1'-0"



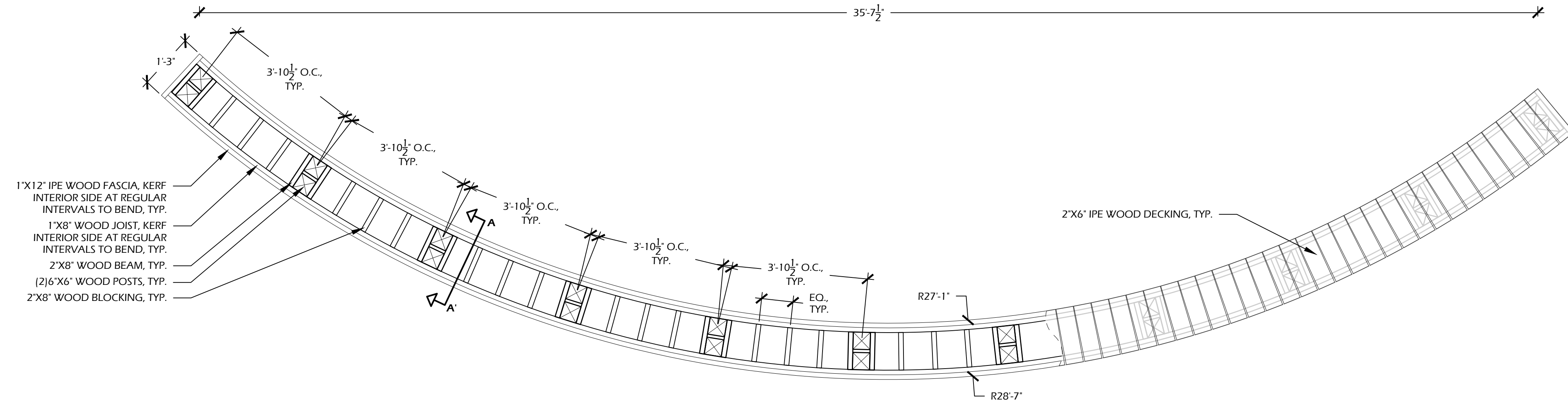
DECK SECTION A - A'
 SCALE: 1/2" - 1'-0"



BENCH SECTION A - A'
 SCALE: 1" - 1'-0"



RAMP SECTION B - B'
 SCALE: 1/2" - 1'-0"



BENCH PLAN
 SCALE: 1/2" - 1'-0"

VIEW 4 SHELTER COVE BEST BUDDIES PARK - REV C - HILTON HEAD, SC MP250022-03-4
 RENDERING IS FOR CONCEPTUAL PURPOSES; ACTUAL PRODUCT MAY VARY



VIEW 15 SHELTER COVE BEST BUDDIES PARK - REV C - HILTON HEAD, SC MP250022-03-15
 RENDERING IS FOR CONCEPTUAL PURPOSES; ACTUAL PRODUCT MAY VARY



VIEW 17 SHELTER COVE BEST BUDDIES PARK - REV C - HILTON HEAD, SC MP250022-03-17
 RENDERING IS FOR CONCEPTUAL PURPOSES; ACTUAL PRODUCT MAY VARY



VIEW 6 SHELTER COVE BEST BUDDIES PARK - REV C - HILTON HEAD, SC MP250022-03-6
 RENDERING IS FOR CONCEPTUAL PURPOSES; ACTUAL PRODUCT MAY VARY



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SITE DEVELOPMENT PLANS
 FOR
SHELTER COVE - PHASE 2
 39 SHELTER COVE LANE
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
 PROJECT NO.: 22062.15
 DRAWN BY: CK, ED
 CHECKED BY: BW

DRB SUBMITTAL
 SET

REVISIONS:

DRAWING TITLE
**PLAYGROUND
 IMAGERY - 01**

DRAWING NUMBER
L609

VIEW 1
 SHELTER COVE BEST BUDDIES PARK - REV C - HILTON HEAD, SC
 RENDERING IS FOR CONCEPTUAL PURPOSES; ACTUAL PRODUCT MAY VARY
 MP250022-03-1



VIEW 7
 SHELTER COVE BEST BUDDIES PARK - REV C - HILTON HEAD, SC
 RENDERING IS FOR CONCEPTUAL PURPOSES; ACTUAL PRODUCT MAY VARY
 MP250022-03-7



VIEW 20
 SHELTER COVE BEST BUDDIES PARK - REV C - HILTON HEAD, SC
 RENDERING IS FOR CONCEPTUAL PURPOSES; ACTUAL PRODUCT MAY VARY
 MP250022-03-20



VIEW 11
 SHELTER COVE BEST BUDDIES PARK - REV C - HILTON HEAD, SC
 RENDERING IS FOR CONCEPTUAL PURPOSES; ACTUAL PRODUCT MAY VARY
 MP250022-03-11



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SITE DEVELOPMENT PLANS
 FOR
SHELTER COVE - PHASE 2
 39 SHELTER COVE LANE
 TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: JAN 14, 2026
 PROJECT NO.: 22062.15
 DRAWN BY: CK, ED
 CHECKED BY: BW

DRB SUBMITTAL
 SET

REVISIONS:

DRAWING TITLE
**PLAYGROUND
 IMAGERY - 02**

DRAWING NUMBER
L610



**Shelter Cove Expansion
Phase 2
Staff Comments
January 28, 2026
DRB-000045-2026**

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: Shelter Cove Park Expansion Phase 2

DRB-000045-2026

DATE: 1/28/2026

CATEGORY: Final

RECOMMENDATION: Approval Approval with Conditions Denial

APPLICATION MATERIAL

| DRB REQUIREMENTS | Complies Yes | No | Not Applicable | Comments or Conditions |
|--|-------------------------------------|--------------------------|-------------------------------------|-------------------------------|
| Demolition Plan if needed | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Existing Conditions match As-Built | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Dimensioned Details and of Sections | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Detail Illustrating Connection to Existing Structure | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| New Building Details Match Existing Building Details | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |

ARCHITECTURAL DESIGN

| DESIGN GUIDE/LMO CRITERIA | Complies Yes | No | Not Applicable | Comments or Conditions |
|---|-------------------------------------|--------------------------|-------------------------------------|-------------------------------|
| Structure is designed to be appropriate to the neighborhood | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Promotes pedestrian scale and circulation | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Design is unobtrusive and set into the natural environment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Utilizes natural materials and colors | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Avoids distinctive vernacular styles | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Design is appropriate for its use | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| All facades shall have equal design characteristics | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |

| | | | | |
|---|-------------------------------------|--------------------------|-------------------------------------|--|
| Avoids monotonous planes or unrelieved repetition | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Has a strong roof form with enough variety to provide visual interest | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Overhangs are sufficient for the façade height. | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Forms and details are sufficient to reduce the mass of the structure | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Human scale is achieved by the use of proper proportions and architectural elements | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Utilizes a variety of materials, textures and colors | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Incorporates wood or wood simulating materials | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Windows are in proportion to the facade | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Details are clean, simple and appropriate while avoiding excessive ornamentation | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Utilities and equipment are concealed from view | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Decorative lighting is limited and low wattage and adds to the visual character | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Accessory elements are designed to coordinate with the primary structure | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

| LANDSCAPE DESIGN | | | | |
|---|-------------------------------------|--------------------------|--------------------------|-------------------------------|
| DESIGN GUIDE/LMO CRITERIA | Complies Yes | No | Not Applicable | Comments or Conditions |
| Treats the Landscape as a major element of the project | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Provides Landscaping of a scope and size that is in proportion to the scale of the development | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Landscape is designed so that it may be maintained in its natural shape and size | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Preserves a variety of existing native trees and shrubs | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Provides for a harmonious setting for the site's structures, parking areas or other construction | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable elements of the project | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| A variety of species is selected for texture and color | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Provides overall order and continuity of the Landscape plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

| | | | | |
|--|-------------------------------------|--------------------------|--------------------------|--|
| Native plants or plants that have historically been prevalent on the Island are utilized | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Proposed groundcovers are evergreen species with low maintenance needs | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Large, grassed lawn areas encompassing a major portion of the site are avoided | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Ornamentals and Annuals are limited to entrances and other focal points | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

NATURAL RESOURCE PROTECTION

| DESIGN GUIDE/LMO CRITERIA | Complies Yes | No | Not Applicable | Comments or Conditions |
|---|-------------------------------------|--------------------------|-------------------------------------|-------------------------------|
| An effort has been made to preserve existing trees and under story plants | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Supplemental and replacement trees meet LMO requirements for size, species and number | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Wetlands if present are avoided and the required buffers are maintained | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Sand dunes if present are not disturbed | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |

COMMENTS & CONDITIONS

Staff recommend approval of the Final submittal for Shelter Cove Park expansion Phase 2 with the following conditions:
1. Any additional information as required by the Board.

**840 William Hilton Parkway
The Atrium Building
Conceptual
January 28, 2026
DRB-001208-2025**

DRB - 001208-2025



Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, SC 29928
Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
Date Received: _____
Accepted by: _____
DRB #: _____
Meeting Date: _____

Applicant/Agent Name: Timothy C Probst Company: PDG Architects
Mailing Address: 10 Palmetto Business Park Suite 201 City: Hilton Head Island State: SC Zip: 29928
Telephone: 843-785-5171 Fax: _____ E-mail: Tim@PDG-Architects.com
Project Name: The Atrium Building Project Address: 840 WHP
Number [PIN]: R 520 011 000 132A 0000
Zoning District: Light Commerical Overlay District(s): _____

**CORRIDOR REVIEW, MAJOR
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development
 Final Approval – Proposed Development
 Alteration/Addition
 Sign

Submittal Requirements for **All** projects:

Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB's written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.

Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:

Concept Approval – Proposed Development

- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
- A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
- Context photographs of neighboring uses and architectural styles.
- Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
- Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

_____ A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.

_____ Final site development plan meeting the requirements of Appendix D: D-6.F.

_____ Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.

_____ Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.

_____ A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.

_____ Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

_____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.

_____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.

_____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

_____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

_____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.

_____ Proposed landscaping plan.

For wall signs:

_____ Photograph or drawing of the building depicting the proposed location of the sign.

_____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



12.31.25

SIGNATURE

DATE

**840 William Hilton Parkway
The Atrium Building
Narrative
Conceptual
January 28, 2026
DRB-001208-2025**



December 31, 2025

Town of Hilton Head Island DRB
One Town Center Court
Hilton Head Island, SC 29928

Project Narrative for the Renovation of the Atrium Building at 840 William Hilton Pkwy

The attached project consists of site and building renovation for the existing Atrium Building at 840 William Hilton Pkwy. The building interior space will be reorganized with the same occupancy while staying in the existing footprint to create a new office space, food commissary, and event venue space for the SERG Restaurant Group. The exterior will have a total face lift on all sides of the building. The following are the changes that we are proposing for site and building.

Site

- Revamp the parking as noted below:
 - Push the existing patio area to the front and use that space for a new entry and additional parking.
 - Demo the existing parking entrance and reorganize it to provide additional parking for the building.
 - Relocate and create a new dumpster enclosure to the back corner.
 - Create a loading zone at the rear of the building.
 - Create additional parking to the back right corner.
- New landscaping for the entire site.

Building

- **Floor Plans:**
 - 1st floor:
 - Create a new entrance by flipping the door and stairs. The stairs move to the interior of the building.
 - Create a new retail space to the left front corner for takeout.
 - Create a new commissary kitchen in the back left corner.
 - Create a small event space to the front right corner.
 - Create (6) offices and a conference room in the rear right corner.
 - 2nd floor
 - Create (2) event spaces with a foldable wall between them.
 - Demo 20' deep portion of the second floor at the front right corner to create an outdoor event space.
 - Create a small catering kitchen, restrooms, and storage to rear.
- **Exterior:**
 - **General**
 - Remove all existing EIFs stucco and replace with new stucco and horizontal wood boards.
 - Replace all standing seamed metal roofing.
 - Remove the arches in the gable end and covered walkways.

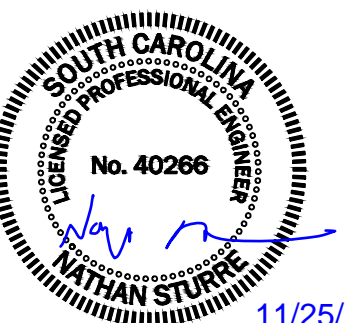
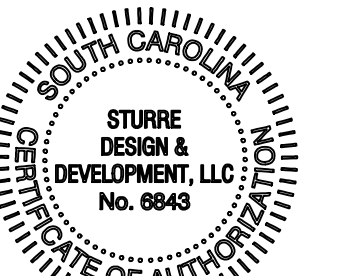
- **Entrance Elevation**
 - Remove all existing second story windows and replace with new aluminum folding doors.
 - Redesign the gable entrance with new storefront with metal louvers in the upper portion and horizontal wood boards at new interior stairway walls and on the ceiling.
- **William Hilton Pkwy. Elevation.**
 - Replace all existing windows with new storefront to align with the new floor plan
 - Add metal louvers to high glass in the atrium.
 - Demo existing gutter and replace it with a new parapet wall with downspouts and scuppers.
- **Rear Elevation**
 - Add new service yard to house compressors and a new cooler.
 - Add a roof over the existing second floor exit.
 - Create recesses in the façade to break up the existing massing.
- **Right Side Elevation**
 - Replace all existing second-floor windows with new storefront to align with the new floor plan.
 - Add metal louvers to high glass in the atrium.
 - Demo existing gutter and replace it with a new parapet wall with downspouts and scuppers.

Thank you for your time and consideration of this project.



Timothy C Probst, AIA

**840 William Hilton Parkway
The Atrium Building
Plan Set
January 28, 2026
DRB-001208-2025**



11/25/2025

ENGINEER OF RECORD

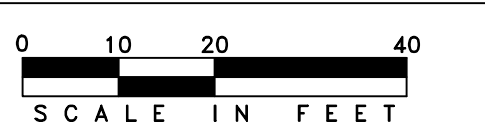
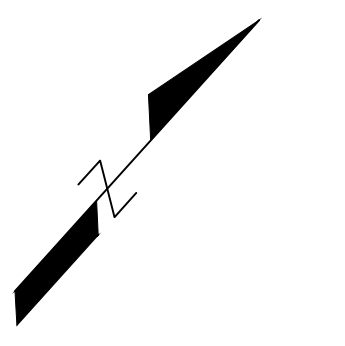
NATHAN STURRE, P.E.
SC PE# 40266
PO Box 2227
Bluffton, SC 29910
843.705.4748

SURVEYOR:
TERRY G. HATCHELL
SC RLS# 11059
17 SHERINGTON DR, SUITE C
BLUFFTON, SC 29910
843.815.3305

PROJECT:
THE ATRIUM BUILDING

PREPARED FOR:
SERG GROUP

HORIZ. DATUM:
STATE PLANE, NAD83
VERT. DATUM: NAVD88



PLAN

HORIZONTAL SCALE 1" = 20'



| REV # | DATE | DESCRIPTION |
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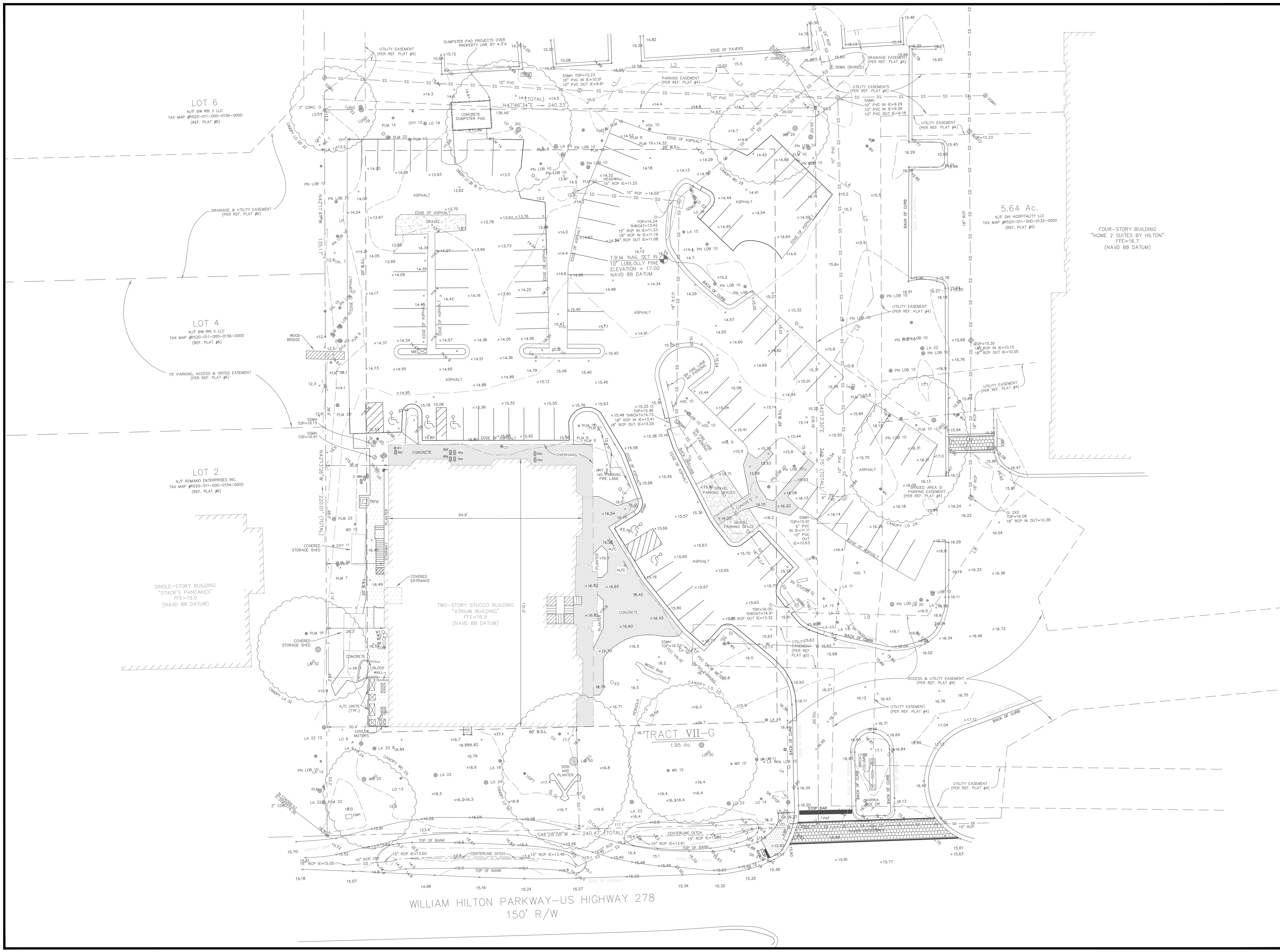
DATE 11/25/2025

SHEET NAME

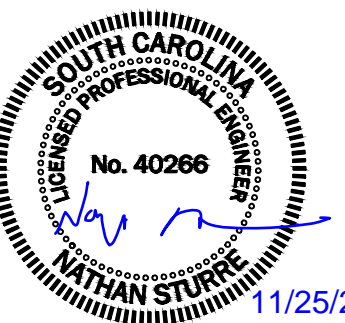
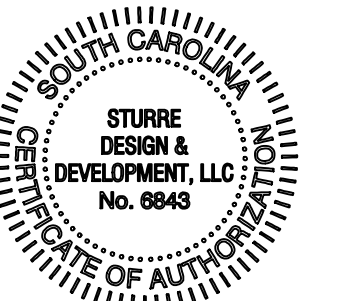
EXISTING CONDITIONS

SHEET NO.

C-3



WILLIAM HILTON PARKWAY-US HIGHWAY 278
150' R/W

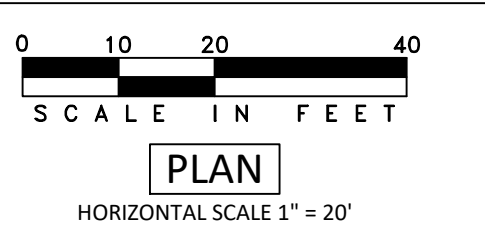
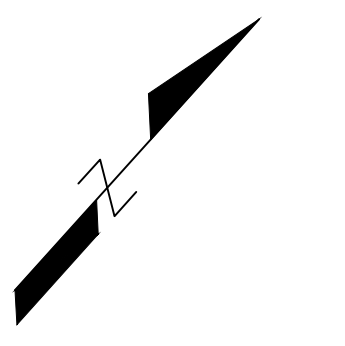


ENGINEER OF RECORD
NATHAN STURRE, P.E.
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SURVEYOR:
TERRY G. HATCHELL
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17 SHERINGTON DR, SUITE C
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PROJECT:
THE ATRIUM BUILDING
PREPARED FOR:
SERG GROUP

HORIZ. DATUM:
STATE PLANE, NAD83
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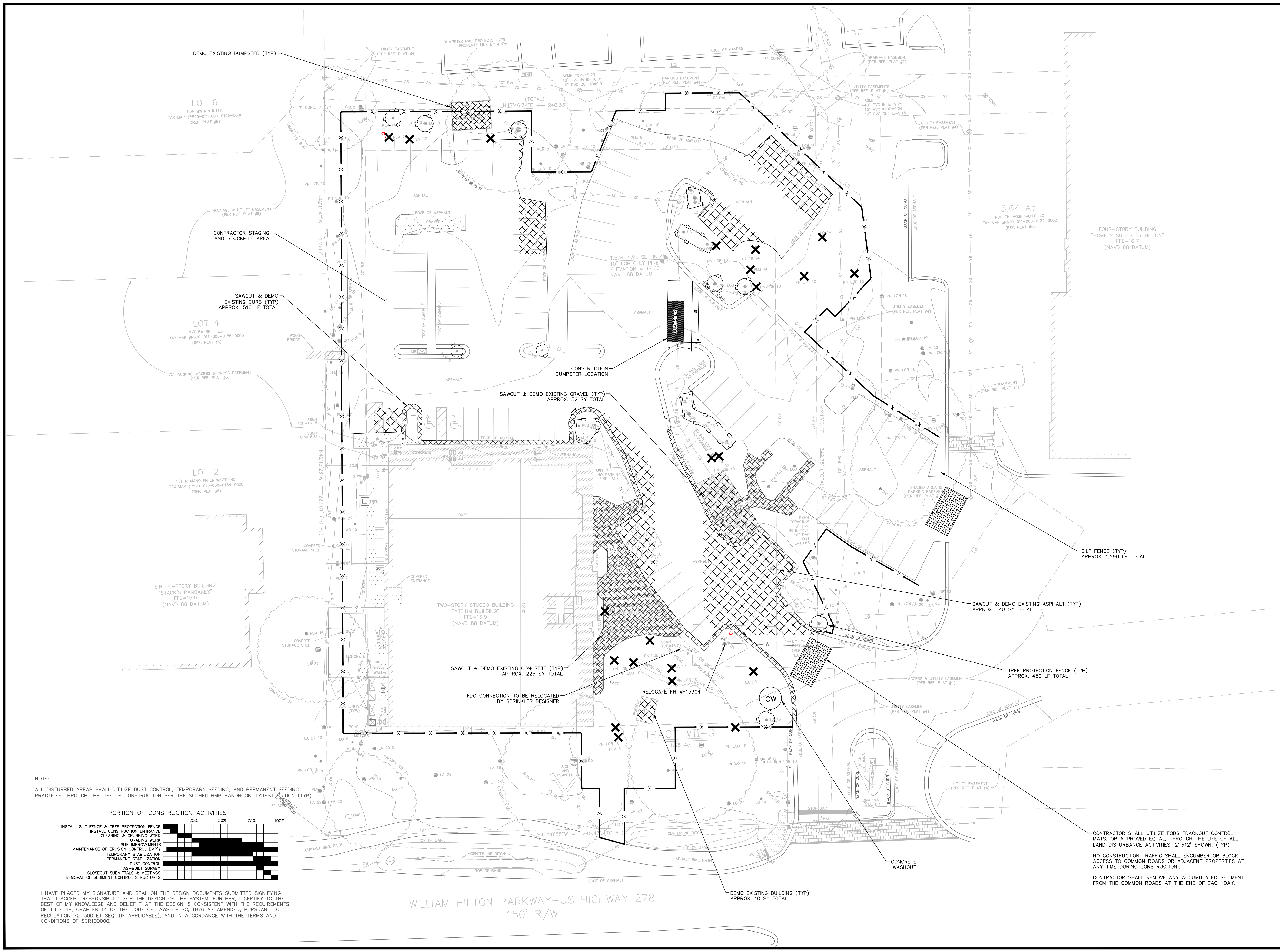


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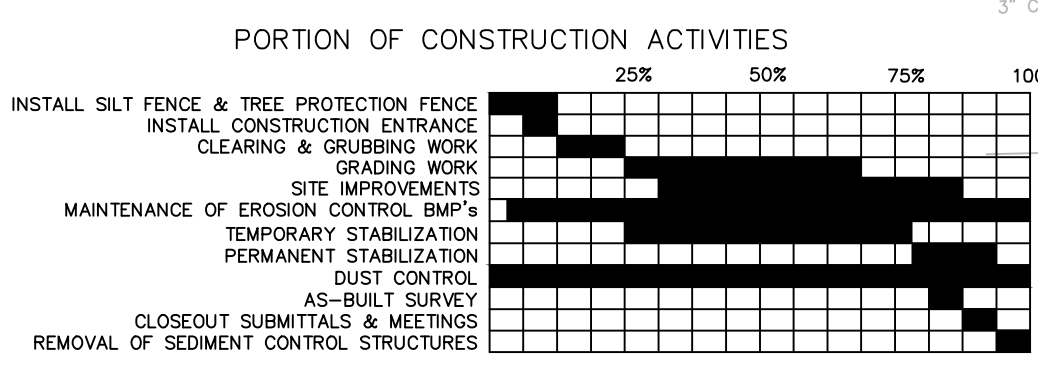
DATE: 11/25/2025

SHEET NAME: DEMOLITION & SWPP PLAN

SHEET NO. C-4



NOTE:
ALL DISTURBED AREAS SHALL UTILIZE DUST CONTROL, TEMPORARY SEEDING, AND PERMANENT SEEDING PRACTICES THROUGH THE LIFE OF CONSTRUCTION PER THE SCDHEC BMP HANDBOOK, LATEST EDITION (TYP).



I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCRI00000.

WILLIAM HILTON PARKWAY-US HIGHWAY 278
150' R/W

CONTRACTOR SHALL UTILIZE FODS TRACKOUT CONTROL MATS, OR APPROVED EQUAL, THROUGH THE LIFE OF ALL LAND DISTURBANCE ACTIVITIES. 21'x12' SHOWN. (TYP)
NO CONSTRUCTION TRAFFIC SHALL ENCUMBER OR BLOCK ACCESS TO COMMON ROADS OR ADJACENT PROPERTIES AT ANY TIME DURING CONSTRUCTION.
CONTRACTOR SHALL REMOVE ANY ACCUMULATED SEDIMENT FROM THE COMMON ROADS AT THE END OF EACH DAY.

GENERAL NOTES:

- 1. ALL NOTES APPLY TO ALL DRAWINGS AND ALL TRADES.
2. REFER TO ENGINEERING PLANS FOR LAYOUT AND LOCATION OF UTILITIES AND ROADS.
3. ALL SURVEY AND SITE INFORMATION WERE COMPILED FROM A VARIETY OF SOURCES AT VARIOUS TIMES. SITE INFORMATION MUST BE FIELD VERIFIED BEFORE CONSTRUCTION BEGINS. REPORT ANY DISCREPANCIES TO THE OWNER OR OWNER'S REPRESENTATIVE.
4. IT IS THE RESPONSIBILITY OF ALL CONTRACTORS AND TRADES TO COORDINATE THE INSTALLATION OF THEIR WORK WITH THE INSTALLATION OF WORK BY ALL OTHER CONTRACTORS AND TRADES.
5. THE REQUIREMENTS OF THE SPECIFICATIONS, DRAWINGS, GENERAL REQUIREMENTS, AND ALL ITEMS OF THE CONTRACT SHALL BE FULLY AND EQUALLY BINDING FOR ALL CONTRACTORS AND TRADES.
6. EACH CONTRACTOR IS REQUIRED TO MAINTAIN FULL (COLOR) SETS OF THE CONTRACT DOCUMENTS FOR HIS EMPLOYEES USE ON THE PROJECT TO ASSURE THAT ALL WORK IS PROPERLY COORDINATED AND FOR REVIEWS BY COUNTY AND / OR MUNICIPALITY OFFICIALS FOR INSPECTIONS.
7. ALL CONTRACTORS AND ALL TRADES ARE RESPONSIBLE FOR OBTAINING THE CORRECT PERMITS AND INSPECTIONS PRIOR TO CONSTRUCTION AS REQUIRED BY LOCAL PLANNING, ZONING, BUILDING CODE AND OTHER TOWN AUTHORITIES.
8. W.J.K. LTD., THE OWNER AND / OR THE OWNER'S REPRESENTATIVE SHALL BE NOTIFIED OF ANY SITE CONDITIONS WHICH MAY NECESSITATE MODIFICATION TO THE PLAN. THE OWNER OR OWNER'S REPRESENTATIVE SHALL MAKE "FIELD MODIFICATIONS," IF NECESSARY.
9. CONTRACTOR SHALL PROVIDE AND FURNISH ALL MATERIALS, EQUIPMENT AND LABOR NECESSARY FOR ALL CONSTRUCTION, PROTECTION, MAINTENANCE AND RELATED ITEMS TO COMPLETE WORK INDICATED ON THE DRAWINGS.
10. BEFORE COMMENCING ANY WORK CONTRACTOR SHALL ASCERTAIN THE LOCATION OF ALL UTILITIES, SUB-SURFACE DRAINAGE, AND UNDERGROUND CONSTRUCTION SO THAT PROPER PRECAUTIONS MAY BE TAKEN NOT TO DISTURB ANY SUB-SURFACE IMPROVEMENTS. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS IN BRINGING EQUIPMENT ON TO AND OFF OF THE SITE, PROTECTING WALKS, PAVING, STEPS AND OTHER EXISTING CONSTRUCTION ON THE SITE. CONTACTS SHALL BE MADE BY CONTRACTOR WITH PROPER AUTHORITIES BEFORE AND DURING THIS WORK SO AS TO COMPLY WITH ALL REGULATIONS AND ORDINANCES.
11. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES AND CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS, AT THEIR OWN EXPENSE, THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
12. CONTRACTOR SHALL VERIFY ALL EXISTING TREE CONDITIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO THEIR REMOVAL.
13. CONTRACTOR SHALL PROTECT AND INSTALL TREE PROTECTION FENCE AROUND THE DRIP LINE OF ALL TREES, NATURAL AREAS AND EXISTING VEGETATION TO REMAIN. TREE PROTECTION LOCATION SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
14. ALL CONSTRUCTION FOR ALL TRADES SHALL CONFORM TO OR EXCEED THE PRODUCT MANUFACTURER'S RECOMMENDATIONS, REGULATIONS OF HILTON HEAD AND THE AMERICANS WITH DISABILITIES ACT, AND / OR OTHER APPLICABLE NATIONAL, STATE, AND LOCAL CODES AND ANY OTHER GOVERNING AUTHORITIES.
15. CONTRACTOR ACCESS FOR CONSTRUCTION AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
16. CONTRACTOR SHALL PROTECT THE GENERAL PUBLIC FROM CONSTRUCTION AREAS DURING CONSTRUCTION.
17. THE OWNER MAY REQUIRE FLAG MEN TO BE AVAILABLE DURING THE CONSTRUCTION PROCESS.
18. ANY DEVIATIONS FROM THESE PLANS MUST BE SPECIFICALLY APPROVED BY W.J.K. LTD., AND THE OWNER OR OWNER'S REPRESENTATIVE.

DEMOLITION NOTES:

- 1. THE CONTRACTOR, BEFORE BEGINNING ANY DEMOLITION ACTIVITY, SHALL CONTACT THE LOCAL UTILITIES FOR INSTRUCTION ON SPECIAL PROCEDURES THAT MAY BE REQUIRED BY THE UTILITIES CONCERNING DEMOLITION.
2. ALL DEMOLISHED MATERIAL SHALL BE HAULED AWAY AND DISPOSED OF PROPERLY IN A LANDFILL AS APPLICABLE PER HILTON HEAD CODE(S).
3. THE CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF LOCAL, STATE AND FEDERAL REGULATORY AGENCIES WHICH MAY HAVE JURISDICTION OVER SUCH ACTIVITIES.
4. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DATA PROVIDED IN THESE DRAWINGS. THE CONTRACTOR SHALL PERFORM HIS OWN ESTIMATE OF MATERIAL FOR DEMOLITION AND REPORT ANY DISCREPANCIES TO THE OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
5. ALL UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND FOR ESTIMATING PURPOSES ONLY. THE EXACT LOCATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BEGINNING DEMOLITION WORK. ALL UTILITIES SHALL BE LOCATED AND PROTECTED TO PREVENT DAMAGE. ANY DAMAGE WHICH MAY OCCUR DURING THE CONSTRUCTION PROCESS IS TO BE PROMPTLY REPORTED TO THE APPROPRIATE UTILITY AUTHORITY AND REPAIRS SHALL BE MADE IN ACCORDANCE WITH THEIR REQUIREMENTS. THE SAFE DEMOLITION AND REMOVAL OF UTILITIES, STRUCTURES AND EQUIPMENT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY, AT THE DIRECTION OF THE OWNER OR OWNER'S REPRESENTATIVE, THE UTILITIES HAVING JURISDICTION OVER ANY UTILITY EASEMENTS OF ANY KIND FOR APPROVAL OF WORK WITHIN THE EASEMENT.
7. REMOVAL OF ANY AND ALL MATERIALS INDICATED INCLUDES ALL MATERIALS ASSOCIATED WITH THAT ITEM INCLUDING SUBSURFACE MATERIAL, IF APPLICABLE, NOT NEEDED OR IN NEED OF REPAIR OR REPLACEMENT.
8. THE CONTRACTOR SHALL TAKE CARE WHEN WORKING AROUND EXISTING TREES SCHEDULED TO REMAIN. PROPER TREE PROTECTION IN ACCORDANCE WITH LOCAL CODES SHALL BE MADE PRIOR TO CONSTRUCTION BEGINNING AND THROUGHOUT THE CONSTRUCTION PROCESS.
9. SOME TREES AND SHRUBS SCHEDULED FOR RELOCATION AND REUSE ON THE PROPERTY MAY NOT BE SALVAGEABLE DUE TO UNDERGROUND UTILITIES.
10. BARRIERS AND / OR FLAG MEN MAY BE REQUIRED FOR SAFETY, VERIFY REQUIREMENTS WITH THE OWNER FOR SUCH NEEDS PRIOR TO BEGINNING THE WORK.
11. THE OWNER SHALL BE NOTIFIED AS TO THE TIMING OF THE WORK SO THAT PROPER SECURITY NOTIFICATION IS MADE.

GENERAL DISTURBANCE NOTES:

- 1. CONTRACTOR SHALL IMPLEMENT ALL SILT FENCE OR OTHER SEDIMENT CONTROL MEASURES AROUND ALL DISTURBED AREAS PRIOR TO ANY CONSTRUCTION ACTIVITIES.
2. TEMPORARY CONSTRUCTION ENTRANCE SHALL BE INSTALLED AFTER SILT FENCE AND PRIOR TO ALL OTHER CONSTRUCTION ACTIVITIES.
3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED BY THE CONTRACTOR AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER. IF SITE INSPECTIONS IDENTIFY B.M.P.S. THAT ARE DAMAGED OR ARE NOT OPERATING EFFECTIVELY, MAINTENANCE MUST BE PERFORMED AS SOON AS PRACTICAL AND BEFORE THE NEXT STORM EVENT IF PRACTICAL.
4. CONTRACTOR TO PROVIDE SILT FENCE AND / OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION, FILL COVER AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE ANY SEDIMENTS BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED BY THE CONTRACTOR DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND / OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED SURFACES FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL REMOVE MUD / SOIL DAILY FROM PAVED SURFACES, AS REQUIRED.
7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
8. TEMPORARY DIVERSION BERMS AND / OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND / OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
9. ALL WATERS OF THE STATE (W.O.S.), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL W.O.S. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL W.O.S.
10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORMWATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORMWATER DISCHARGES.
11. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED EXCEPT AS STATED BELOW:
11.1. WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS, STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICAL.
11.2. WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.

LAYOUT NOTES:

- 1. ALL CONSTRUCTION STAKING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
2. CONTRACTOR TO USE DIGITAL FILES PROVIDED BY WITMER-JONES-KEEFEY, LTD. TO LAYOUT AND STAKE ALL SITE IMPROVEMENTS AND ELEMENTS. FINAL LAYOUT AND STAKING TO BE FIELD VERIFIED AND APPROVED BY LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL FIELD LOCATE, STAKE AND USE COLOR CODED SPRAY PAINT FOR ALL ABOVE AND BELOW GROUND UTILITIES. CONTRACTOR TO CONFIRM / DETERMINE UTILITY ELEVATIONS PRIOR TO CONSTRUCTION. ANY EXISTING UTILITY CONFLICTS WITH SITE IMPROVEMENTS TO BE REPORTED TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AS STATED IN THE GENERAL NOTES.
4. ALL SITE IMPROVEMENTS REPRESENTED IN THIS SET OF PLANS SHALL BE STAKED AND REVIEWED WITH THE OWNER OR OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES TO BE REPORTED TO THE OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
5. ALL DIMENSIONS ARE TO EDGE OF PAVING AND CENTERLINE OF WALLS AND COLUMNS UNLESS OTHERWISE INDICATED.
6. ALL ANGLES ARE 90 UNLESS OTHERWISE INDICATED.
7. CONTRACTOR SHALL PROVIDE LIGHTING, IRRIGATION AND ANY OTHER CONDUIT NEEDED TO ALL LANDSCAPE AREAS.
8. ANY AND ALL FIELD ADJUSTMENTS SHALL RECEIVE APPROVAL FROM THE OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.

GRADING NOTES:

- 1. CONTRACTOR SHALL VERIFY ALL ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER'S REPRESENTATIVE OF DISCREPANCIES.
2. CROSS SLOPES OF ALL HARDCAPE WALKWAYS / PATHWAYS ARE NOT TO EXCEED 2%.
3. ALL ACCESSIBLE WALKWAYS / PATHWAYS RUNNING SLOPE (GRADIENT) MAY NOT EXCEED 4.9% UNLESS A RAMP IS INSTALLED. IF A RAMP IS INSTALLED THE RUNNING SLOPE (GRADIENT) SHALL NOT EXCEED 8.33% AND HANDRAILS SHALL BE INSTALLED ON BOTH SIDES (MINIMUM 36" CLEARANCE BETWEEN HANDRAILS) WHEN RAMP RISE IS GREATER THAN 6".
4. IF DISCREPANCIES DEVELOP BETWEEN THE PROPOSED GRADES AS SHOWN ON THE PLAN AND THE EXISTING GROUND SURFACE, THE CONTRACTOR, WITH PRIOR APPROVAL FROM THE OWNER'S REPRESENTATIVE, SHALL MAKE GRADING ADJUSTMENTS NECESSARY TO MAINTAIN THE GENERAL INTENT OF THE DESIGN.
5. CONTRACTOR IS RESPONSIBLE FOR ALL PAVED AREAS DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM ALL ADJACENT PROPERTIES, WALLS, WALKS AND PLANTING BEDS AND TOWARDS EXISTING DRAIN INLETS, SWALES, STORMWATER LAGOONS OR ROADS.
7. ALL DISTURBED AREAS INCLUDING SHALLOW SWALES SHALL BE MULCHED OR PLANTED AS INDICATED ON PLANTING PLANS.
8. IF REQUIRED, POP UP EMITTER SHALL BE N.D.S. 6" POP UP DRAINAGE EMITTER BLACK IN COLOR.
9. LANDSCAPE DRAIN SHALL BE AS SPECIFIED ON PLANS.
10. LANDSCAPE DRAINS SHALL BE ADDED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS IN LOW / FLAT AREAS THAT DID NOT SHOW UP ON THE TOPOGRAPHIC SURVEY. LANDSCAPE DRAIN SHALL BE APPROVED BY OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.

LIGHTING NOTES:

- 1. THE INTENT OF THE LIGHTING DESIGN IS TO PROVIDE LOW LEVEL UNOBTUSIVE SITE LIGHTING OR ARCHITECTURAL ELEMENTS. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO CREATE THIS EFFECT BY CLOSE COORDINATION WITH THE LANDSCAPE ARCHITECT AND CAREFUL PLACEMENT OF ALL FIXTURES.
2. THE CONTRACTOR SHALL ENGINEER THE ELECTRICAL SYSTEM BASED ON THE LOCATION AND TYPE OF FIXTURES AS SHOWN ON THE PLAN. PROPERLY SIZED WIRING, TRANSFORMERS, BREAKERS, ACCESSORIES, ETC., SHALL BE PROVIDED BY THE CONTRACTOR AS NECESSARY TO GUARANTEE A COMPLETELY FUNCTIONAL LIGHTING, DISTRIBUTION AND CONTROL SYSTEM.
3. CONTRACTOR TO PROVIDE ELECTRICAL PLANS AND SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
4. ALL LIGHTING EQUIPMENT SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND RECOMMENDATIONS, AND MUST COMPLY WITH ALL APPLICABLE STATE AND COUNTY CODES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ACQUIRING ALL NECESSARY PERMITS AND INSPECTION / APPROVALS REQUIRED.
6. THE CONTRACTOR SHALL STAKE OUT ALL LIGHT FIXTURE AND TRANSFORMER LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT, OWNER, OR OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. EXACT LOCATIONS OF CONTROLLERS, ELECTRICAL PANELS, ETC. TO BE COORDINATED WITH AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
7. FINAL AIMING AND ADJUSTMENT SHALL BE MADE AT NIGHT WITH LANDSCAPE ARCHITECT PRESENT TO GIVE FINAL APPROVAL.
8. THE CONTRACTOR SHALL COORDINATE, STAKE AND FLAG ALL LOCATIONS WHERE ELECTRICAL CONDUIT OR P.V.C. SLEEVEING MAY BE REQUIRED BENEATH WALKS OR OTHER PAVED AREAS PRIOR TO HARDCAPE INSTALLATION.
9. ALL ELECTRICAL WIRING RUNNING UNDER PAVED AREAS SHALL BE PLACED IN ELECTRICAL CONDUIT OR PVC SLEEVES PROVIDED BY CONTRACTOR.
10. CONTRACTOR SHALL RUN ALL NECESSARY ELECTRICAL WIRING TO UTILITY PANEL AND TRANSFORMER.
11. CONTRACTOR SHALL PROVIDE A MINIMUM OF 36" OF BURIES EXCESS CABLE AT EACH FIXTURE TO ALLOW FOR FIXTURE ADJUSTMENT.
12. ALL LIGHTING TO BE PLACED ON AN APPROPRIATE TIMER. THE CONTRACTOR SHALL SELECT AN APPROPRIATE TIMER FOR ALL LIGHTS AND SET THE TIME APPROPRIATELY FOR PROPER NIGHT TIME ILLUMINATION, FOR APPROVAL BY OWNER OR OWNER'S REPRESENTATIVE.
13. CONTRACTOR SHALL PROVIDE GROUND FAULT CIRCUIT BREAKERS FOR ALL CIRCUITS AS REQUIRED BY NATIONAL, STATE AND LOCAL CODES.
14. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT, LABOR, EXCAVATION AND BACKFILL NECESSARY TO COMPLETE THE WORK.
15. ALL FIXTURES PER MODELS SPECIFIED UNLESS CONTRACTOR GETS APPROVAL FROM LANDSCAPE ARCHITECT FOR A SUBSTITUTION.
16. SYSTEM INSTALLATION, INCLUDING PARTS AND LABOR, SHALL BE GUARANTEED AND REPAIRED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
17. CONTRACTOR TO PROVIDE "AS-BUILT" DRAWINGS IMMEDIATELY AFTER FINAL ACCEPTANCE, ALONG WITH ALL INSTRUCTION MANUALS FOR ALL EQUIPMENT INSTALLED.
18. IF POSSIBLE, FIELD MODIFICATIONS WILL BE DIRECTED BY THE LANDSCAPE ARCHITECT, OWNER OR OWNER'S REPRESENTATIVE.

CONSTRUCTION NOTES:

- 1. ALL CONTRACTORS AND ALL TRADES ARE RESPONSIBLE FOR OBTAINING THE CORRECT PERMITS AND INSPECTIONS PRIOR TO CONSTRUCTION AS REQUIRED BY LOCAL PLANNING, ZONING, BUILDING CODE AND OTHER TOWN AUTHORITIES.
2. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL MATERIALS AND OBTAIN APPROVAL FROM OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
3. ON SITE TOPOGRAPHY MAY REQUIRE ADJUSTMENTS OF FINAL SPOT ELEVATIONS ON SITE FOR PROPOSED VERTICAL CONSTRUCTION ELEMENTS. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE PROMPTLY UPON THE DISCOVERY OF ANY SUCH REQUIRED ADJUSTMENTS.
4. THE CONTRACTOR SHALL PROVIDE FILL AS IS REQUIRED TO OBTAIN PROPER RELATIONSHIP OF FOOTING TO FINISH GRADE REQUIREMENTS - FEATHER FILL TO ADJACENT EXISTING GRADE TO ASSURE A COORDINATED AND DESIRED EFFECT.
5. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING CONDITIONS SCHEDULED TO REMAIN DURING CONSTRUCTION.
6. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES AND FOR ANY DAMAGE THAT MAY OCCUR TO EXISTING UTILITIES DURING CONSTRUCTION.
7. "IN-FIELD MODIFICATIONS" MAY BE NECESSARY TO PRODUCE DESIRED EFFECT. MODIFICATIONS TO BE APPROVED BY LANDSCAPE ARCHITECT AND OWNER OR OWNER'S REPRESENTATIVE.
8. ALL WELDS TO BE CONTINUOUS.
9. FOR ALL WOOD MEMBERS, ALL CUTS SHALL BE EVEN AND JOINTS FLUSH. SAND FOUR SIDES AND FILL IMPERFECTIONS, COUNTERSINKS AND NAIL HOLES TO ASSURE EVEN FINISH.
10. CONTRACTOR SHALL VERIFY ALL WOOD MEMBERS FOR APPROPRIATE SIZE, SPACING, ATTACHMENTS AND STRUCTURAL STABILITY PRIOR TO CONSTRUCTION. CONTRACTOR TO REPORT ANY DISCREPANCIES TO OWNER, OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
11. ALL NOTCHES SHALL BE SHOP CUT TO ASSURE TIGHT JOINTS. EACH MEMBER SHALL BE DRIVEN HOME TO ASSURE TIGHT FIT. PILOT HOLES SHALL BE DRILLED FOR EACH CARRIAGE BOLT. PLUG, SEAL AND PRIME.
12. FINISH ALL SIDES AND CAULK ALL JOINTS WITH APPROPRIATE EXTERIOR CAULK PRIOR TO FINISHING.
13. ALL CONNECTORS, UNLESS OTHERWISE SPECIFIED, SHALL BE STAINLESS STEEL. BOLTS, THREADED RODS, WASHERS, NUTS AND ALL BUILDING HARDWARE SHALL BE STAINLESS STEEL AND SUITABLE FOR PRESSURE TREATED WOOD. ALL THROUGH BOLTS TO BE SMOOTH SHAFT WITH STAINLESS STEEL NUTS, BOLTS AND WASHERS. ALL NAILS AND FINISH NAILS SHALL BE ANNULAR STAINLESS STEEL.
14. ALL DECKING SHALL BE SECURED WITH STAINLESS STEEL SCREWS SIZED FOR DECK APPLICATION, MINIMUM 3" APART.

SOIL AMENDMENT NOTES:

- 1. TOPSOIL SHALL CONSIST OF THE NATURAL LOAM, SANDY LOAM, SILT LOAM, OR CLAY LOAM HUMUS BEARING SOILS, ADAPTED TO THE SUSTENANCE OF PLANT LIFE, WITH THE FOLLOWING TEXTURE:
1.1. ORGANIC MATERIAL - TWO (2) TO TWENTY (20) PERCENT BY MASS
1.2. SAND CONTENT - TWENTY (20) TO SIXTY (60) PERCENT BY MASS
1.3. CLAY-SILT CONTENT - THIRTY FIVE (35) TO SEVENTY (70) PERCENT BY MASS.
1.4. TOPSOIL PH SHALL BE BETWEEN FIVE (5) AND SEVEN (7).
2. TOPSOIL SHALL BE OF UNIFORM QUALITY AND FREE FROM FOREIGN MATERIAL SUCH HARD CLODS, SOD, STIFF CLAY, HARD PAN, STONES LARGER THAN ONE (1) INCH DIAMETER, LIME CEMENT, ASHES, SLAG, CONCRETE, TAR RESIDUES, TARRED PAPER, BOARDS, CHIPS, STICKS, OR OTHER UNDESIRABLE MATERIALS. IT SHALL ALSO BE REASONABLY FREE FROM WEEDS AND OBJECTIONABLE PLANT MATERIAL.
3. AFTER ALL DEMOLITION, CLEARING AND DISPOSAL IS COMPLETED, THE CONTRACTOR SHALL STRIP FROM THE TOP OF THE EXISTING GROUND ALL TOPSOIL IN ALL AREAS TO BE GRADED.
4. PRIOR TO STOCKPIILING OF TOPSOIL, TOPSOIL SHALL BE SCREENED WITH A ONE HALF (1/2) INCH SIZE SIEVE. STOCKPILE TOPSOIL IN DESIGNATED OR APPROVED LOCATIONS WITH PROPER DRAINAGE AND WHERE IT WILL NOT INTERFERE WITH THE WORK. AFTER TOPSOIL HAS BEEN STOCKPILED, CONTRACTOR SHALL QUANTIFY THE AMOUNTS AT NO ADDITIONAL COST TO THE OWNER. QUANTITIES SHALL BE GIVEN TO THE ARCHITECT, OWNER AND SITE DESIGN PROFESSIONAL.
5. IF AMOUNT OF SCREENED TOPSOIL STOCKPILED FROM STRIPING OPERATIONS IS INSUFFICIENT TO PROVIDE THE NECESSARY AMOUNTS (4" MINIMUM DEPTH), IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN (FROM OFF-SITE SOURCE) THE NECESSARY AMOUNT OF SCREENED TOPSOIL TO COMPLETE THE PROJECT.
6. SCREENED TOPSOIL SHALL BE DISTRIBUTED WITH A MINIMUM DEPTH OF FOUR (4) INCHES TO ALL GRADED AREAS (NOT INCLUDING BUILDING, PAVED, SYNTHETIC TURF, PERVIOUS PAVEMENT, ETC) AND / OR AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE. GROUND SHALL BE SCARIFIED BEFORE PLACING TOPSOIL. AREAS WHERE SCREENED TOPSOIL IS DISTRIBUTED SHALL BE STABILIZED WITH TEMPORARY AND/OR PERMANENT VEGETATION (SEASON DEPENDENT) OR TEMPORARY MULCH WITHIN FOURTEEN (14) CALENDAR DAYS OF DISTRIBUTION.

PLANTING NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS, INCLUDING UTILITIES, AND PROMPTLY REPORTING ANY DISCREPANCIES OR CONFLICTS WITH PLANTING AREAS. REPORT INFORMATION TO OWNER, OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT.
2. CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE AND MAKE REPAIRS THAT MAY OCCUR TO EXISTING UTILITIES IN ACCORDANCE WITH NATIONAL, STATE AND LOCAL CODES.
3. LANDSCAPE PLANTING AND / OR MULCHED AREAS TO BE FINE GRADED, HAND RAKED SMOOTH AND FREE OF DEBRIS.
4. CONTRACTOR TO PERFORM SOIL TESTS AS NECESSARY TO ASSURE PLANT HEALTH AND GROWTH.
5. MULCH ALL PLANTING BEDS TO A MIN. 3" DEPTH WITH MULCH SPECIFIED IN PLANT SCHEDULE.
6. CONTRACTOR VERIFIES THAT ALL PLANT MATERIAL IS DETERMINED AVAILABLE AS SPECIFIED WHEN BID / PROPOSAL IS SUBMITTED.
7. PLANT SCHEDULE WAS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTOR SHALL MAKE OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO HIS SATISFACTION, REPORTING PROMPTLY ANY DISCREPANCIES WHICH MAY AFFECT BIDDING.
8. GALLON SIZES ARE FOR PRICING PURPOSES ONLY. PLANT MUST MEET HEIGHTS AND WIDTHS SPECIFIED IN PLANT SCHEDULE.
9. ROOT TYPE MAY BE FREELY SUBSTITUTED IN CASE OF BALLED AND BURLAPPED OR CONTAINER GROWN, OTHER SPECIFICATIONS REMAINING UNCHANGED, EXCEPT IN THE CASE OF CONTAINER GROWN SPECIMEN TREES AS INDICATED IN THE TREE PLANTING SCHEDULE.
10. ANY SIGNIFICANT ROOTS ENCOUNTERED 2" DIA. AND LARGER SHALL BE DUG OUT BY HAND AND CLEANLY CUT BACK IN THE FOOTING / FOUNDATION AREA TO PROMOTE ROOT RE-GROWTH AND HELP PREVENT ROOT DIEBACK.
11. ALL PLANT MATERIAL (EXCEPT SEASONAL COLOR) SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR ONE YEAR.
12. ALL SEASONAL COLOR SHALL BE GUARANTEED AND REPLACED AS NECESSARY BY THE CONTRACTOR FOR THREE MONTH TIME FRAMES.

TURF AND GRASSING NOTES:

- 1. GRASS SEED: PROVIDE FRESH, CLEAN, NEW-CROP SEED COMPLYING WITH TOLERANCE FOR PURITY AND GERMINATION ESTABLISHED BY OFFICIAL SEED ANALYSIS OF NORTH AMERICA. PROVIDE SEED MIXTURE COMPOSED OF GRASS SPECIES, PROPORTIONS AND MINIMUM PERCENTAGES OF PURITY, GERMINATION, AND MAXIMUM PERCENTAGE OF WEED SEED, AS SPECIFIED SEED MANUFACTURER.
2. SOD SHALL BE STRONGLY ROOTED AND FREE OF PERNICIOUS WEEDS. ALL NETTING SHALL BE REMOVED FROM SOD BEFORE IT IS LAID.
3. ALL AREAS IN WHICH EARTHWORK SHALL BE SUSPENDED FOR MORE THAN TWO (2) WEEKS SHALL BE GRASSED WITH TEMPORARY GRASS.
4. AFTER TOPSOIL HAS BEEN INSTALLED, AND BEFORE ANY SOD IS LAID, CORRECT ALL SOFT SPOTS AND IRREGULARITIES IN GRADE. THE SOD SHALL BE LAID BY BUTTING THE ENDS AND SIDES UP EVENLY AND STAGGERING THE ROLLS OF SOD. CONTRACTOR SHALL NOT OVERLAP SOD. AS SOON AS THE SOD IS LAID OR AS IT IS BEING LAID ROLL OVER WITH A LIGHT ROLLER, MAKING CERTAIN THAT ALL OF THE SOD IS IN CONTACT WITH THE SOIL. THE COMPLETED SODDED AREAS SHALL BE TRUE TO FINISH GRADE, EVEN AND FIRM AT ALL POINTS.
5. SEED SHALL BE AT A RATE OF 10 POUNDS PER ACRE.
6. THIRTY DAYS AFTER LAST SEEDING/SODDING OPERATION, APPLY 1 POUND OF TYPE A NITROGEN FERTILIZER PER ACRE OF LAWN AREAS AND IMMEDIATELY WATER.
7. UPON COMPLETION OF PLANTINGS ALL EXCESS SOIL, STONES AND DEBRIS WHICH HAS NOT PREVIOUSLY BEEN CLEANED UP SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
8. ALL LAWN AREAS THAT DO NOT SHOW SATISFACTORY GROWTH WITHIN (18) DAYS AFTER PLANTING SHALL BE RE-PLANTED AND RE-FERTILIZED AS SPECIFIED UNTIL A SATISFACTORY LAWN IS ESTABLISHED. THE LAWN SHALL BE CONSIDERED ESTABLISHED WHEN ITS REASONABLY FREE FROM WEED, GREEN IN APPEARANCE AND THE SPECIFIED GRASS IS VIGOROUS AND GROWING WELL ON EACH SQ. FT. OF LAWN AREA.
9. LAWN SHALL BE PROTECTED AND MAINTAINED BY WATERING, MOWING, AND REPLANTING, OVERSEEDING, AS NECESSARY FOR AS LONG AS IS NECESSARY TO ESTABLISH A UNIFORM STAND. SCATTERED BARE SPOTS, NONE OF WHICH IS LARGER THAN ONE SQ. FT., WILL BE ALLOWED UP TO MAXIMUM OF THREE PERCENT OF ANY LAWN AREA. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ANY EROSIONAL DAMAGE TO THE LAWN AREA. FULL COVERAGE IS REQUIRED IN SIXTY DAYS.
10. MAINTENANCE OF GRASSED AREAS SHALL CONSIST OF MOWING, WATERING AND FERTILIZING. ALL GRASSED AREAS SHALL BE MAINTAINED AT A HEIGHT NOT TO EXCEED 6" ABOVE FINISHED GRADE.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN ALL GRASSED AREAS UNTIL ACCEPTANCE BY OWNER AT END OF PROJECT. LAWN MAINTENANCE SHALL OCCUR AT A MINIMUM OF ONCE PER SEVEN CALENDAR DAYS.
12. FINAL SEEDING AND SOD AREAS / SQUARE FOOTAGES TO BE PAINTED IN FIELD AND APPROVED AND ADJUSTED IN FIELD BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
13. SEEDING SHALL TAKE PLACE IMMEDIATELY AFTER FINE GRADING. MAINTAIN SEEDED LAWN UNTIL COMPLETION AND ACCEPTANCE OF ENTIRE PROJECT.
14. SEEDING BED SHALL HAVE TOPSOIL LOOSEN TO A DEPTH OF 4". REMOVE STONE OVER 1" IN ANY DIMENSION, ROOTS, RUBBISH, AND EXTRANEIOUS MATTER.

IRRIGATION NOTES:

- 1. CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEM, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL PIPES, HEADS, PIPES, CONTROLLERS, FITTINGS, BRIGOLLS, AND IRRIGATION METER AND TO PROVIDE 100% COVERAGE FOR ALL NEW PLANTINGS. DRIP IRRIGATION TO BE USED FOR ALL PLANTINGS, EXCEPT LAWNS.
2. NO IRRIGATION COMPONENTS SHALL BE CLOSER THAN 12" TO ANY EDGE OF PAVEMENT OR CURB AND GUTTER. IRRIGATION SHALL NOT SPRAY BEYOND LANDSCAPE AREAS, OR INTO ANY UNDISTURBED BUFFERS. NO OVER SPRAY SHALL BE PERMITTED ONTO ADJACENT PROPERTIES OR PEDESTRIAN SIDEWALK AREAS.
3. LANDSCAPE CONTRACTOR TO FIELD VERIFY ALL COMPONENT LOCATIONS TO ENSURE APPROPRIATE COVERAGE.
4. LANDSCAPE CONTRACTOR SHALL LOCATE WATER SOURCE AND PROVIDE POWER TO CONTROLLER.
5. CONTROLLER LOCATION TO BE SPECIFIED BY OWNERS REPRESENTATIVE IN FIELD PRIOR TO CONSTRUCTION.
6. ALL DRIP TUBING SHALL BE COVERED WITH MIN. 3" OF MULCH.
7. ALL DRIP AND SPRAY ZONES SHALL BE SEPARATE.
8. CONTRACTOR SHALL SUBMIT FINAL IRRIGATION PLANS TO OWNER'S REPRESENTATIVE AND ALL REVIEWING BODIES / AGENCIES FOR FINAL APPROVAL PRIOR TO INSTALLATION.

SHEET INDEX

- CS - COVER SHEET
L00 - EXISTING CONDITIONS
L50 - DEMOLITION / TREE PROTECTION
L200 - LAYOUT PLAN
L500 - PLANTING PLAN
L501 - PLANT SCHEDULE AND DETAILS
L600 - SITE DETAILS

ISSUED:
DECEMBER 10, 2025



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SITE DEVELOPMENT PLANS FOR
ATRIUM BUILDING
840 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: DEC 10, 2025
PROJECT NO.: XXXXX XX
DRAWN BY: SD
CHECKED BY: JC

DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

Table with 2 columns: REVISIONS, and empty rows for revision notes.

DRAWING TITLE
COVER SHEET AND PROJECT NOTES

DRAWING NUMBER
CS





| TREE IMPACT LEGEND | |
|--------------------|---------------------------------------|
| SYMBOL | DESCRIPTION |
| | TREE CANOPY - SPECIMEN |
| | TREE CANOPY - SIGNIFICANT |
| | SPECIMEN TREE IMPACTS - EXISTING |
| | SIGNIFICANT TREE IMPACTS - EXISTING |
| | LOWEST LIMB WITH CLEARANCE FROM GRADE |

NOTE: HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE.

EXISTING CONDITIONS REFERENCE NOTES:

- 1 EXISTING PVIOUS SURFACE (LANDSCAPE AREAS).
- 2 EXISTING IMPERVIOUS SURFACE - ASPHALT.
- 3 EXISTING IMPERVIOUS SURFACE - CONCRETE.
- 4 ENTRY LANE - ONE WAY.
- 5 EXIT LANE - ONE WAY.
- 6 PROPERTY SIGN.
- 7 PARKING EASEMENT.
- 8 EXISTING GRAVEL PARKING
- 9 EXISTING SPECIMEN TREE.
- 10 EXISTING SIGNIFICANT TREE.

PROJECT INFORMATION:

ZONING
 ZONING DISTRICT: LIGHT COMMERCIAL (LC)
 OVERLAY DISTRICT: ROW-ARTERIAL (COR)
 USE OF PROPERTY: OTHER COMMERCIAL USE

SITE
 GROSS SITE ACREAGE: 1.95 AC.
 NET SITE ACREAGE: 1.95 AC.
 AREA OF DISTURBANCE: 0.5 AC.

DENSITY
 ALLOWED TOTAL DENSITY: 19,500 GFA (10,000 GFA PER ACRE)
 EXISTING BUILDING SQUARE FOOTAGE: 18,850 GFA
 PROPOSED BUILDING SQUARE FOOTAGE: 18,850 GFA

BUILDING HEIGHT
 MAXIMUM HEIGHT ALLOWED: 45'
 PROPOSED BUILDING HEIGHT: AS EXISTING <45'

SITE IMPERVIOUS
 MAXIMUM ALLOWED IMPERVIOUS AREA: 50,838 SF (60% OF SITE)
 CURRENT IMPERVIOUS AREA: 52,597 SF (62% OF SITE)
 PROPOSED IMPERVIOUS AREA: 52,571 SF (62% OF SITE)

PARKING
 MINIMUM NUMBER OF PARKING SPACES REQUIRED: 113 (5 ACCESSIBLE SPACES)
 EXISTING NUMBER OF PARKING SPACES: 96 (5 ACCESSIBLE)
 PROPOSED NUMBER OF PARKING SPACES: 119 (5 ACCESSIBLE)

FLOOD ZONE
 ZONE 'X' SHOWN ON MAP 45013C0461G, DATED 03/23/21



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 THIS SHEET TO SCALE AT 24"X36"

SITE DEVELOPMENT PLANS FOR
ATRIUM BUILDING
 840 WILLIAM HILTON PARKWAY
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: DEC 10, 2025
 PROJECT NO.: XXXXXX
 DRAWN BY: SD
 CHECKED BY: JC

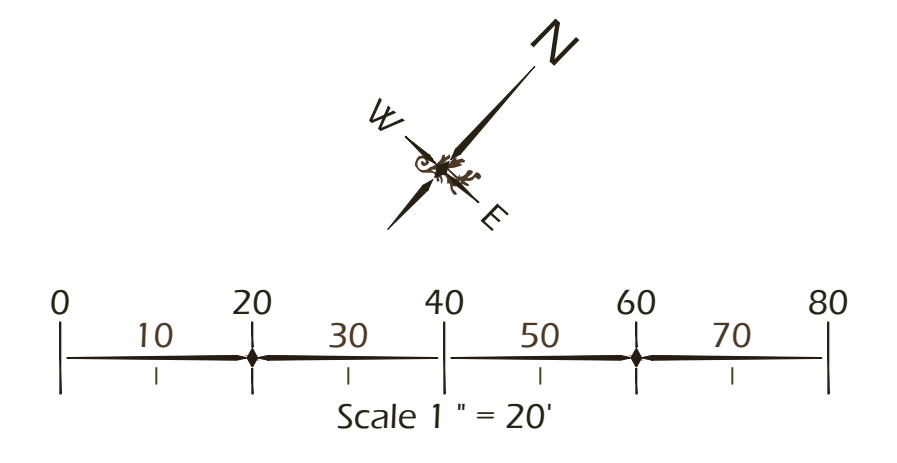
DPR SUBMITTAL
 PLAN, NOT FOR
 CONSTRUCTION

REVISIONS:

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DRAWING TITLE
SITE ANALYSIS PLAN

DRAWING NUMBER
L00





| PLANT PROTECTION LEGEND | | | |
|-------------------------|-------|--------------------------------------|--------|
| CALL-OUT | SYMB. | DESCRIPTION | DETAIL |
| 1.1 | | TREE PROTECTION FENCE - WOOD | 1/L50 |
| 1.2 | | TREE PROTECTION FENCE - ALT (ORANGE) | 1/L50 |

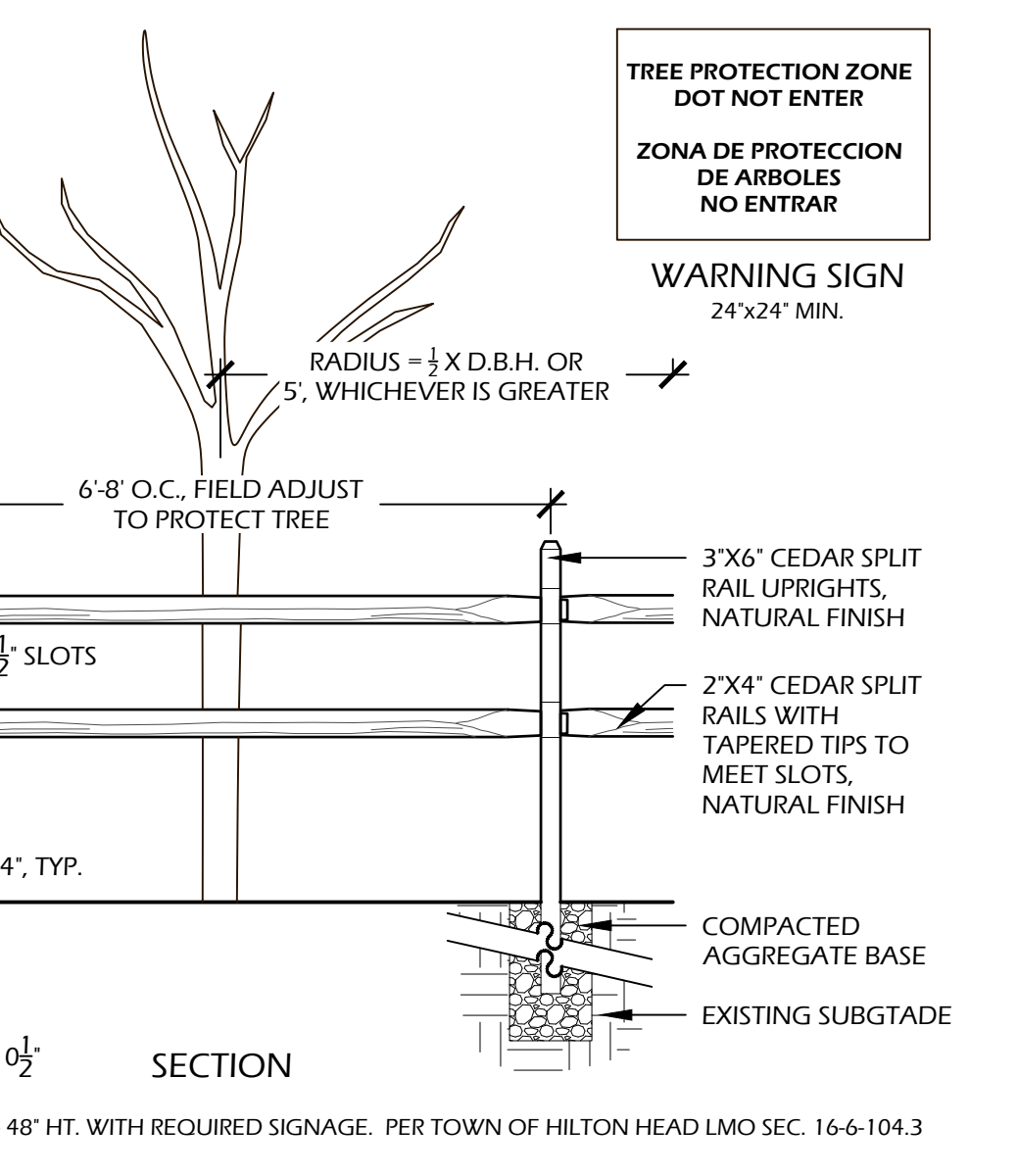
| TREE IMPACT LEGEND | |
|--------------------|---------------------------------------|
| SYMBOL | DESCRIPTION |
| | TREE CANOPY - SPECIMEN |
| | TREE CANOPY - SIGNIFICANT |
| | SPECIMEN TREE IMPACTS - EXISTING |
| | SIGNIFICANT TREE IMPACTS - EXISTING |
| | SPECIMEN TREE IMPACTS - PROPOSED |
| | SIGNIFICANT TREE IMPACTS - PROPOSED |
| | LOWEST LIMB WITH CLEARANCE FROM GRADE |

NOTE: HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE.

| SITE DEMOLITION LEGEND | | |
|------------------------|-------|---|
| CALL-OUT | SYMB. | DESCRIPTION |
| 2.1 | | TREE TO BE REMOVED - SEE SHEET L500 & L501 FOR MITIGATION |
| 2.2 | | SILT FENCE - SEE CIVIL ENGINEERS PLANS |

NOTE: DEMOLITION HATCHES ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE.

- DEMOLITION REFERENCE NOTES:**
- PROTECT EXISTING PAVEMENT(S) DURING CONSTRUCTION. PAVEMENT TO BE MAINTAINED AND INTEGRATED WITH NEW CONSTRUCTION.
 - EXISTING TREE TO REMAIN, DO NOT DISTURB, PROTECT IN PLACE.
 - EXISTING PAVEMENT, INCLUDING SUB-BASES AND ALL ASSOCIATED MATERIAL (REBAR, ETC.) TO BE REMOVED. LEGALLY DISPOSE OF OFF SITE. *PROPOSED HARDSCAPE SHOWN IN GREY.
 - EXISTING TREE TO BE REMOVED INCLUDING ROOTS AND STUMP, LEGALLY DISPOSE OF OFF SITE.
 - EXISTING STRIPING TO BE STRIPPED / REMOVED.
 - MITIGATE SOIL COMPACTION WITH 12" OF HARDWOOD MULCH BETWEEN TREE PROTECTION FENCE AND STRUCTURE.



1 L50 TREE PROTECTION FENCE
SCALE: 1" = 1'-0"

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THIS SHEET TO SCALE AT: 24"x36"

SITE DEVELOPMENT PLANS
FOR
ATRIUM BUILDING
840 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND, SOUTH CAROLINA

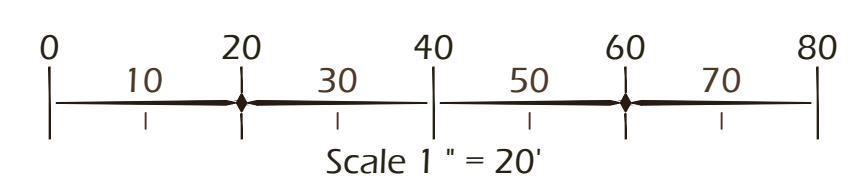
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PROJECT NO.: XXXXXX
DRAWN BY: SD
CHECKED BY: JC

**DPR SUBMITTAL
PLAN, NOT FOR
CONSTRUCTION**

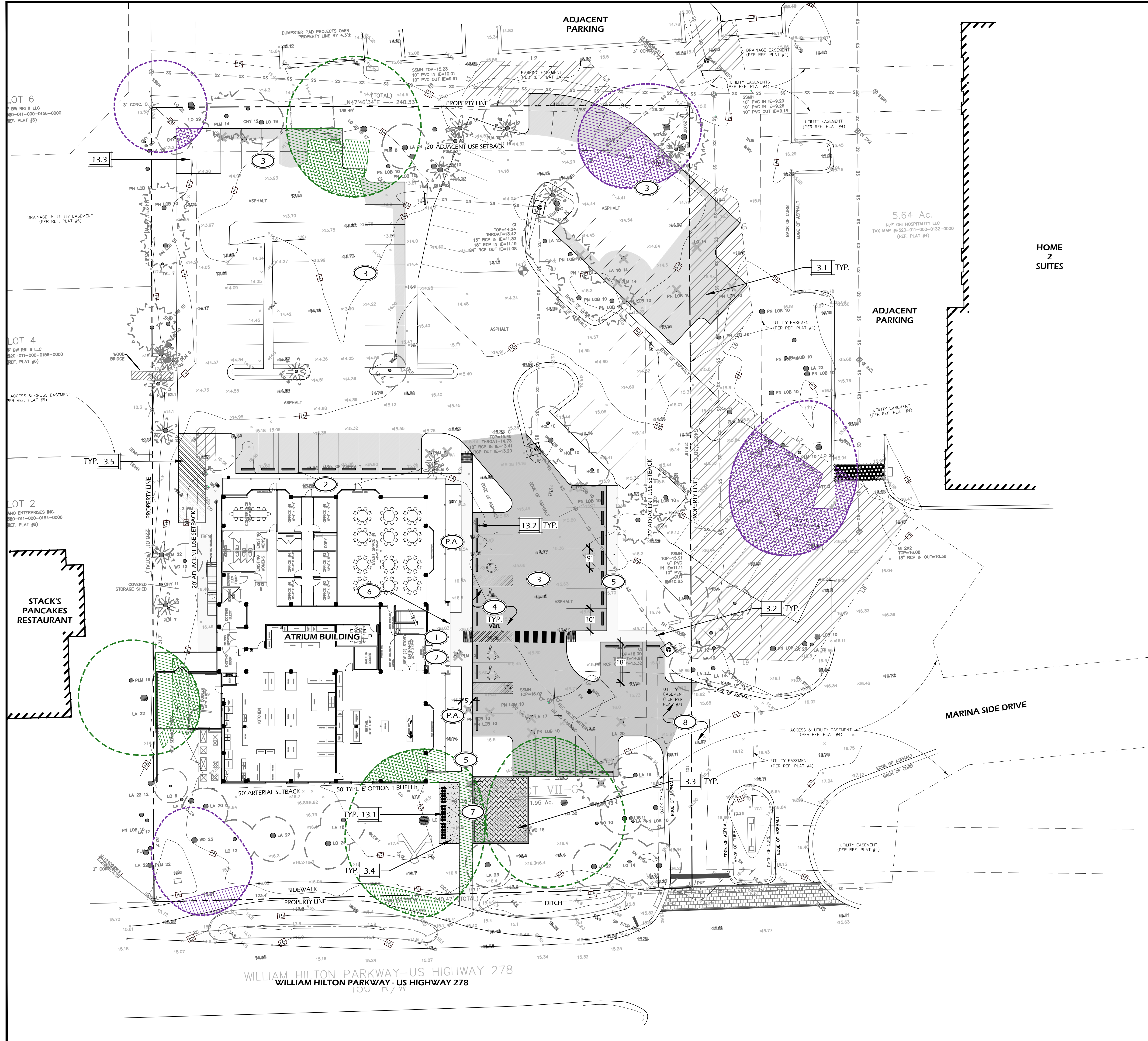
REVISIONS:

DRAWING TITLE
**DEMOLITION PLAN /
TREE PROTECTION**

DRAWING NUMBER
L50



WILLIAM HILTON PARKWAY - US HIGHWAY 278
WILLIAM HILTON PARKWAY - US HIGHWAY 278



| SITE HARDSCAPE LEGEND | | | |
|-----------------------|----------|----------------------------------|--------|
| CALL-OUT | SYMB. | DESCRIPTION | DETAIL |
| 3.1 | [Symbol] | ASPHALT (ROAD) - SEE CIVIL PLANS | NA |
| 3.2 | [Symbol] | CONCRETE (SIDEWALK) | 1/L600 |
| 3.3 | [Symbol] | BRICK (PATIO / SEATING AREA) | 2/L600 |
| 3.4 | [Symbol] | GRAVEL FINES (BIKE PARKING) | 3/L600 |
| 3.5 | [Symbol] | LOADING ZONE | NA |

| SITE FURNISHINGS SCHEDULE | | | |
|---------------------------|----------|------|--|
| CALL-OUT | SYMB. | QTY. | DESCRIPTION |
| 13.1 | [Symbol] | 3 | BIKE RACK |
| 13.2 | [Symbol] | 33 | WHEEL STOP |
| 13.3 | [Symbol] | 1 | DUMPSTER ENCLOSURE- SEE ARCHITECTURE PLANS |

NOTE: SITE FURNISHING SYMBOLS ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO BE TO SCALE. REFER TO SITE DETAILS FOR SIZES AND DIMENSIONS.

| PARKING OVERVIEW | |
|----------------------------------|-----------|
| DESCRIPTION | QUANTITY |
| EXISTING | 95 |
| PROPOSED (INCLUDING 5 ADA SPOTS) | 119 (+24) |
| BIKE PARKING | +/- 30 |

KEY SHEET REFERENCE NOTES:

- P.A. PLANTING AREA, TYP., REFER TO PLANTING PLANS
- 1 MAINTAIN EXISTING ENTRANCE ACCESS.
- 2 MAINTAIN EXISTING CONCRETE AT ENTRY AND UNDER EXISTING STRUCTURE.
- 3 PARKING LOT TO BE RESTRIPTED.
- 4 A.D.A. ACCESSIBLE PARKING.
- 5 NEW CONCRETE WALK SHALL BE KEPT AT SAME ELEVATION AND SLOPE AS EXISTING CONCRETE WALK.
- 6 TIE PROPOSED CONCRETE INTO EXISTING CONCRETE EVENLY AND SMOOTHLY.
- 7 TIE PROPOSED BRICK INTO EXISTING CONCRETE EVENLY AND SMOOTHLY.
- 8 TIE PROPOSED ASPHALT INTO EXISTING ROAD.

PROJECT INFORMATION:

ZONING
 ZONING DISTRICT: LIGHT COMMERCIAL (LC)
 OVERLAY DISTRICT: ROW-ARTERIAL (COR)
 USE OF PROPERTY: OTHER COMMERCIAL USE

SITE
 GROSS SITE ACREAGE: 1.95 AC.
 NET SITE ACREAGE: 1.95 AC.
 AREA OF DISTURBANCE: 0.5 AC.

DENSITY
 ALLOWED TOTAL DENSITY: 19,500 GFA (10,000 GFA PER ACRE)
 EXISTING BUILDING SQUARE FOOTAGE: 18,850 GFA
 PROPOSED BUILDING SQUARE FOOTAGE: 18,850 GFA

BUILDING HEIGHT
 MAXIMUM HEIGHT ALLOWED: 45'
 PROPOSED BUILDING HEIGHT: AS EXISTING <45'

SITE IMPERVIOUS
 MAXIMUM ALLOWED IMPERVIOUS AREA: 50,838 SF (60% OF SITE)
 CURRENT IMPERVIOUS AREA: 52,597 SF (62% OF SITE)
 PROPOSED IMPERVIOUS AREA: 52,571 SF (62% OF SITE)

PARKING
 MINIMUM NUMBER OF PARKING SPACES REQUIRED: 113 (5 ACCESSIBLE SPACES)
 EXISTING NUMBER OF PARKING SPACES: 96 (5 ACCESSIBLE)
 PROPOSED NUMBER OF PARKING SPACES: 119 (5 ACCESSIBLE)

FLOOD ZONE
 ZONE 'X' SHOWN ON MAP 45013C046 I.G, DATED 03/23/21



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 THIS SHEET TO SCALE AT 24"x36"

SITE DEVELOPMENT PLANS
 FOR
ATRIUM BUILDING
 840 WILLIAM HILTON PARKWAY
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: DEC 10, 2025
 PROJECT NO.: XXXXXX
 DRAWN BY: SD
 CHECKED BY: JC

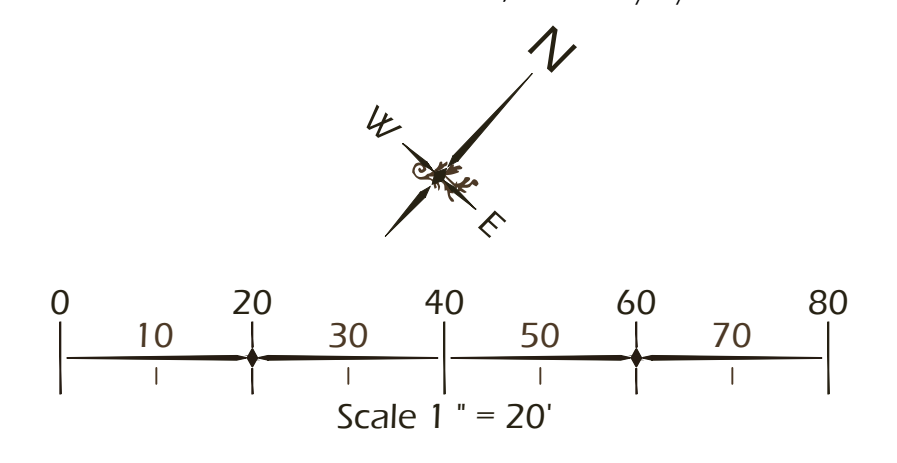
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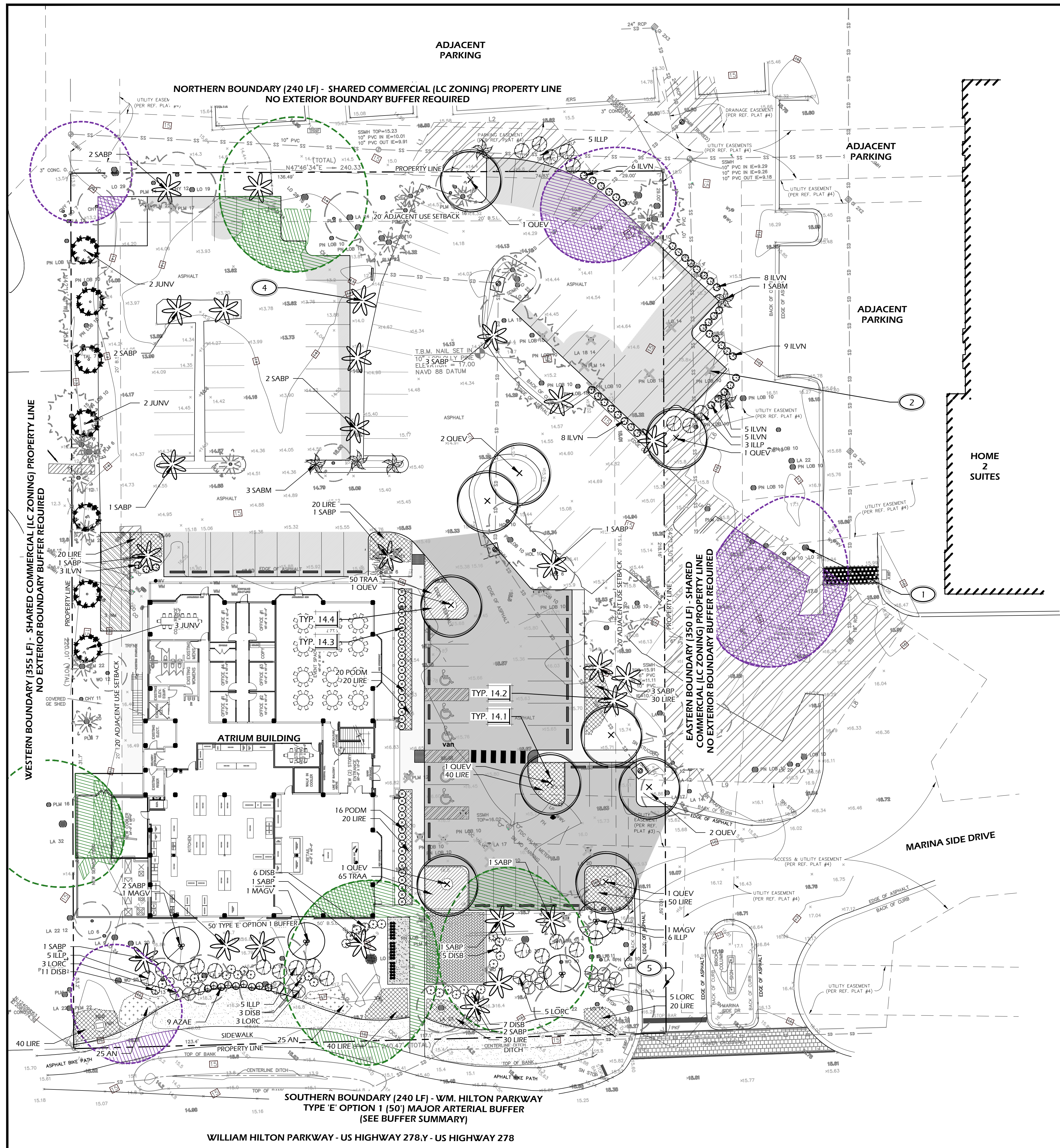
REVISIONS:

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DRAWING TITLE
LAYOUT PLAN

DRAWING NUMBER
L200





| PLANTING DETAILS | | |
|------------------|-----------------------|--------|
| CALL-OUT | DESCRIPTION | DETAIL |
| 14.1 | TREE PLANTING | 1/L501 |
| 14.2 | PALM TREE PLANTING | 2/L501 |
| 14.3 | SHRUB PLANTING | 3/L501 |
| 14.4 | GROUND COVER PLANTING | 4/L501 |
| 14.5 | ROOT BARRIER | NA |

| PLANT KEY LEGEND | | |
|--|---|-------------------------|
| Abbrev | Botanical Name | Common Name |
| TREES | | |
| JUNV | Juniperus virginiana | Eastern Red Cedar |
| QUEV | Quercus virginiana | Live Oak |
| SABP | Sabal palmetto | Cabbage Palm |
| UNDERSTORY TREES | | |
| MAGV | Magnolia virginiana | Sweetbay Magnolia |
| SABM | Sabal minor | Dwarf Palmetto |
| SHRUBS | | |
| AZAE | Azalea x encore | Encore Azalea |
| DISB | Distylium 'Blue Cascade' (PIIDIST-II PP24409) | Blue Cascade Distylium |
| ILVN | Ilex vomitoria 'Nana' | Dwarf Yaupon Holly |
| ILLP | Illicium parviflorum | Yellow Anise |
| LORC | Loropetalum chinense 'Chang Nian Hong' | Ever Red Fringe Flower |
| PODM | Podocarpus macrophyllus | Podocarpus |
| GROUND COVERS, VINES & PERENNIALS | | |
| LIRE | Liriope muscari 'Evergreen Giant' | Evergreen Giant Liriope |
| TRAA | Trachelospermum asiaticum | Asiatic Jasmine |

- PLANTING REFERENCE NOTES:**
- EXISTING TREES TO REMAIN.
 - EXISTING TREES TO BE REMOVED.
 - MULCH DISTURBED AREAS DUE TO CONSTRUCTION.
 - ALL PARKING LOT PALM TREES SHALL BE PLACED IN LINE WITH EACH OTHER CENTERED IN THE MEDIAN.
 - CAREFULLY EXCAVATE SHRUB PITS IN VICINITY OF EXISTING TREES, WITHOUT DISTURBING TREE ROOTS.

BUFFER SUMMARY:

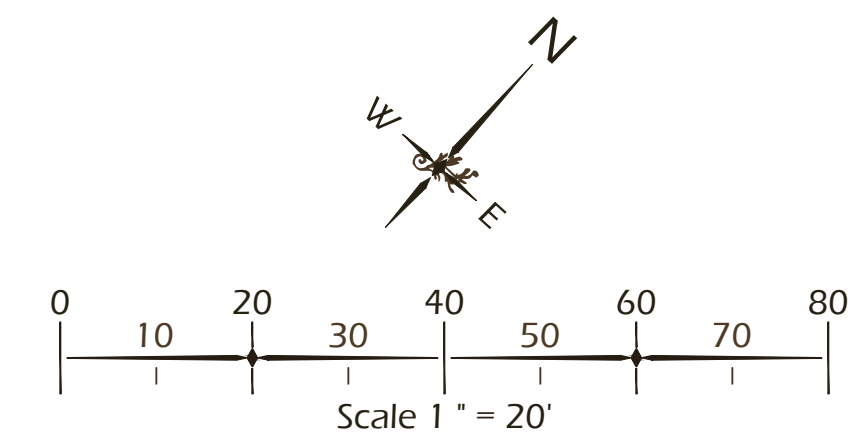
NORTHERN BOUNDARY (240 LF) - SHARED COMMERCIAL (LC ZONING) PROPERTY LINE
 20' ADJACENT USE SETBACK
 NO EXTERIOR BOUNDARY BUFFER REQUIRED

EASTERN BOUNDARY (350 LF) - SHARED COMMERCIAL (LC ZONING) PROPERTY LINE
 20' ADJACENT USE SETBACK
 NO EXTERIOR BOUNDARY BUFFER REQUIRED

SOUTHERN BOUNDARY (240 LF) - W.M. HILTON PARKWAY
 50' ADJACENT STREET SETBACK - MAJOR ARTERIAL
 TYPE 'E' OPTION 1 (50') MAJOR ARTERIAL BUFFER:

OVERSTORY TREES: 4 TREES PER 100 LF - 10 TREES REQUIRED (21 EXISTING)
 UNDERSTORY TREES: 5 TREES PER 100 LF - 12 TREES REQUIRED (X PROPOSED)
 EVERGREEN SHRUBS: 20 SHRUBS PER 100 LF - 48 SHRUBS REQUIRED

WESTERN BOUNDARY (355 LF) - SHARED COMMERCIAL (LC ZONING) PROPERTY LINE
 20' ADJACENT USE SETBACK
 NO EXTERIOR BOUNDARY BUFFER REQUIRED



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SITE DEVELOPMENT PLANS FOR
ATRIUM BUILDING
 840 WILLIAM HILTON PARKWAY
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: DEC 10, 2025
 PROJECT NO.: XXXXX.XX
 DRAWN BY: SD
 CHECKED BY: JC

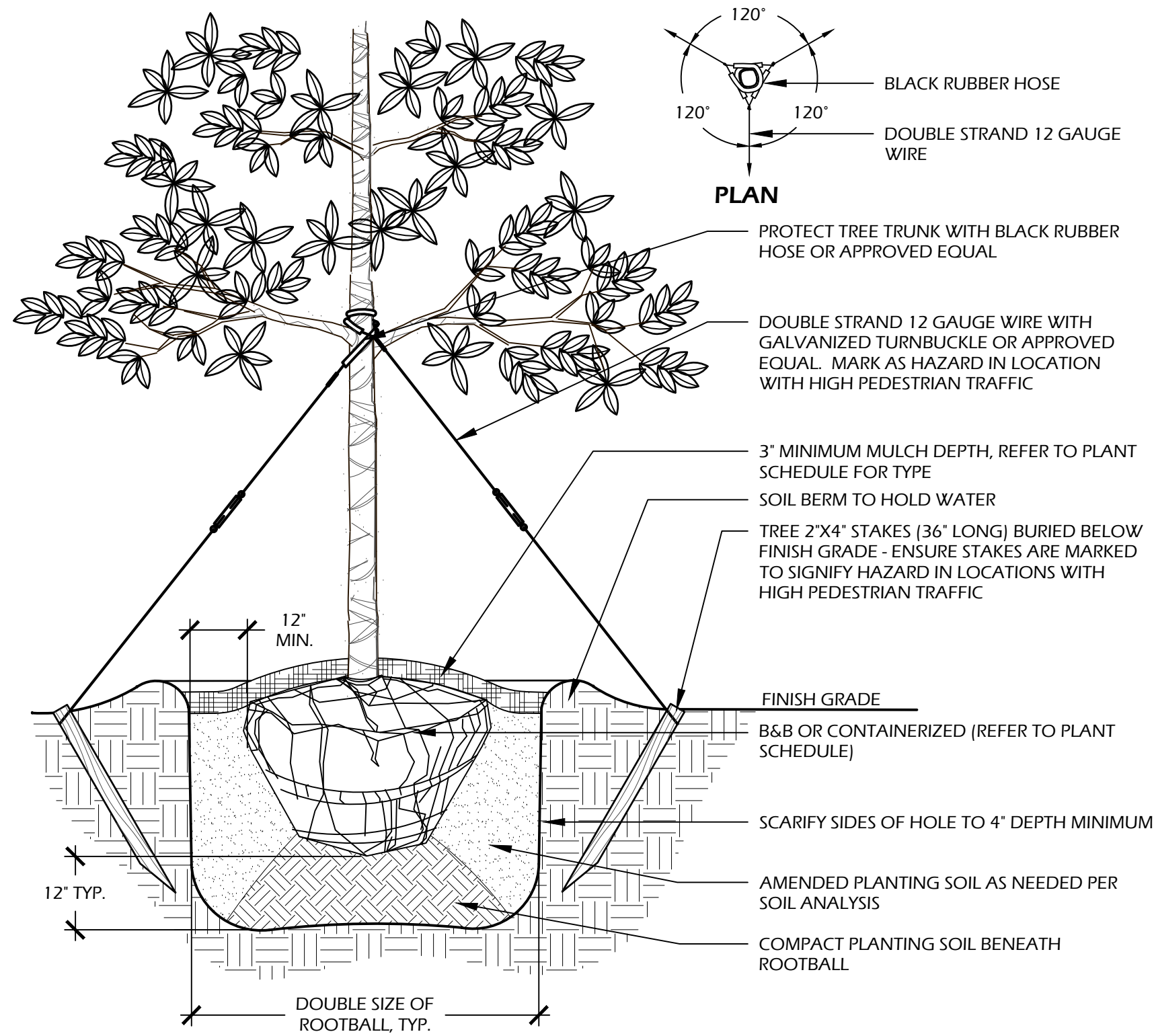
DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

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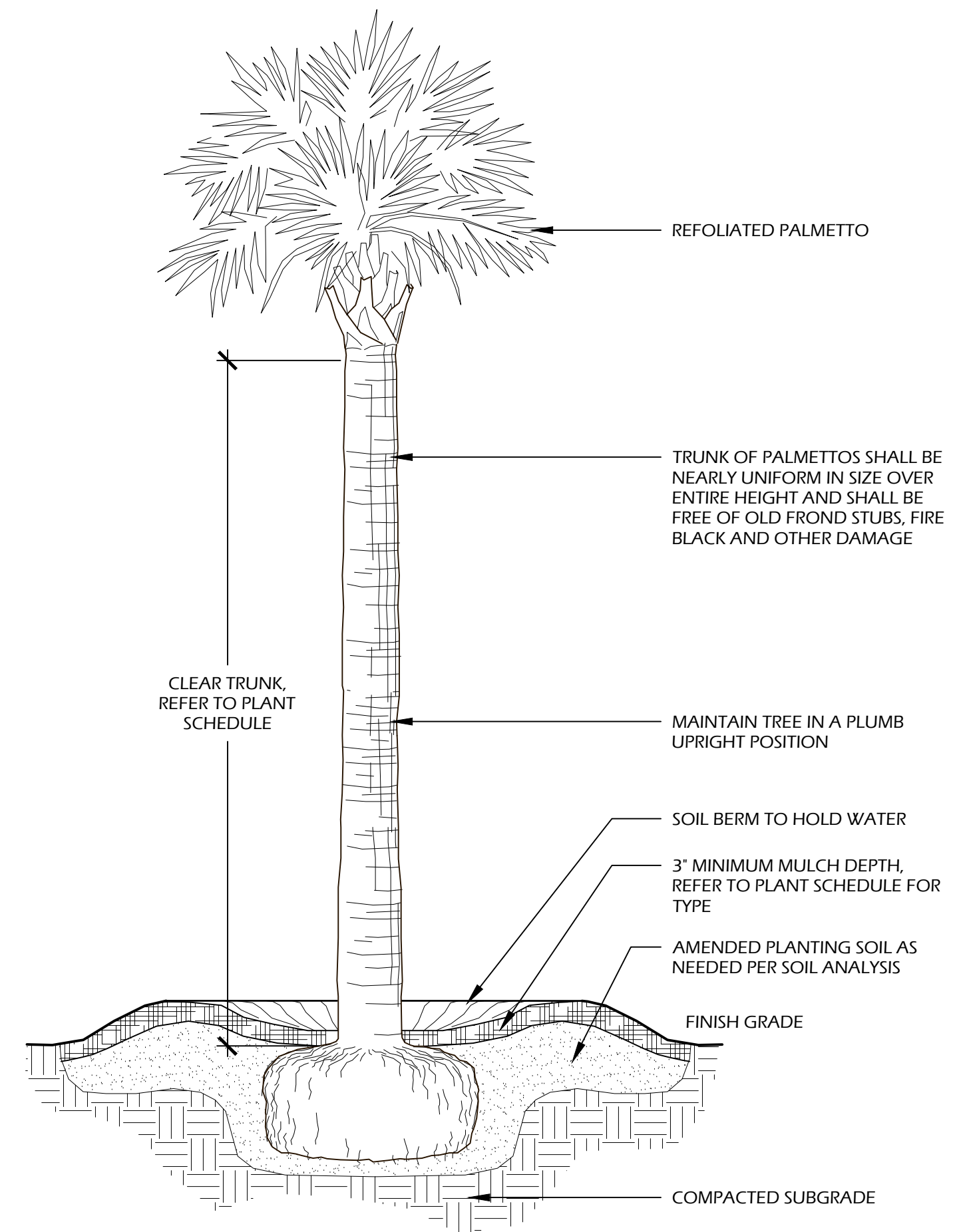
DRAWING TITLE
PLANTING PLAN

DRAWING NUMBER
L500



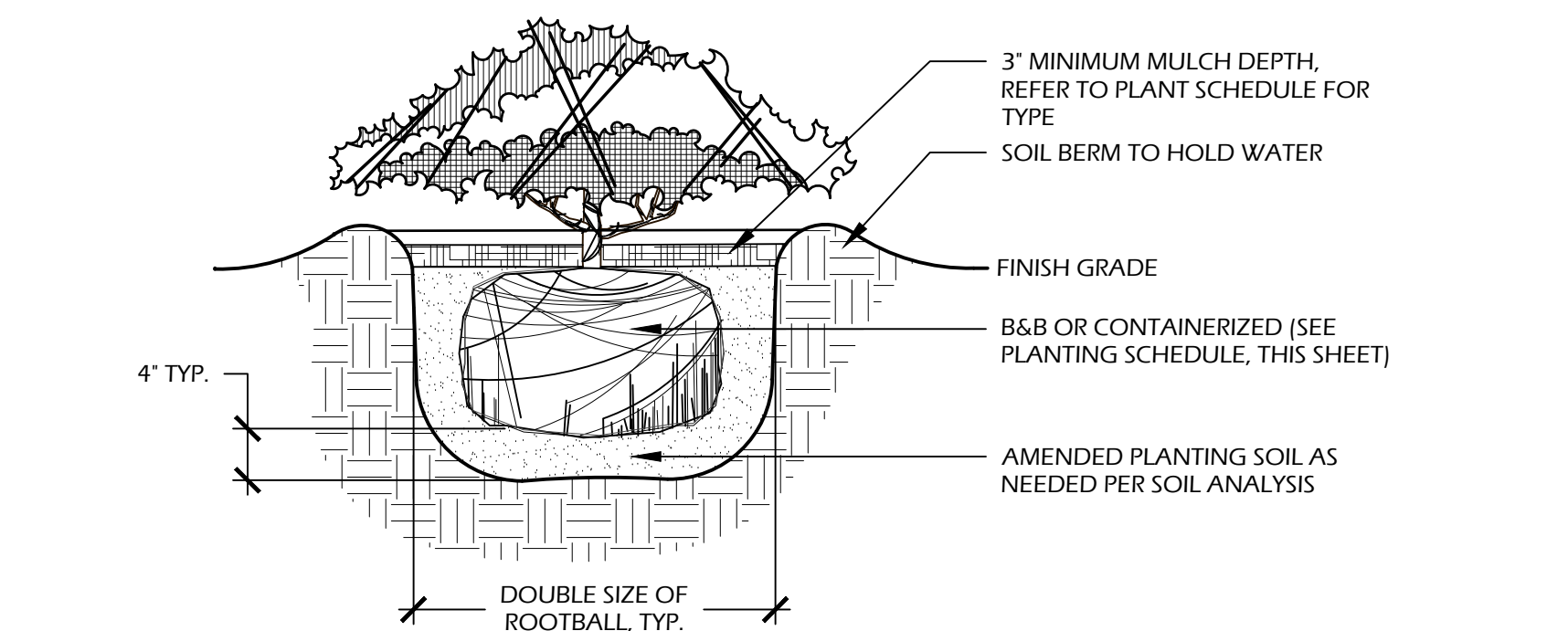
- NOTES:**
- TREE STAKING OPTIONAL. HOWEVER, LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING TREES IN AN UPRIGHT (90 DEGREE/ PERPENDICULAR) POSITION FOR 1 YEAR AFTER PLANTING IS COMPLETE OR UNTIL TREE ROOT SYSTEM IS FULLY ESTABLISHED AND STURDY. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE 2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

1 // L501 TREE PLANTING
SCALE: N.T.S.



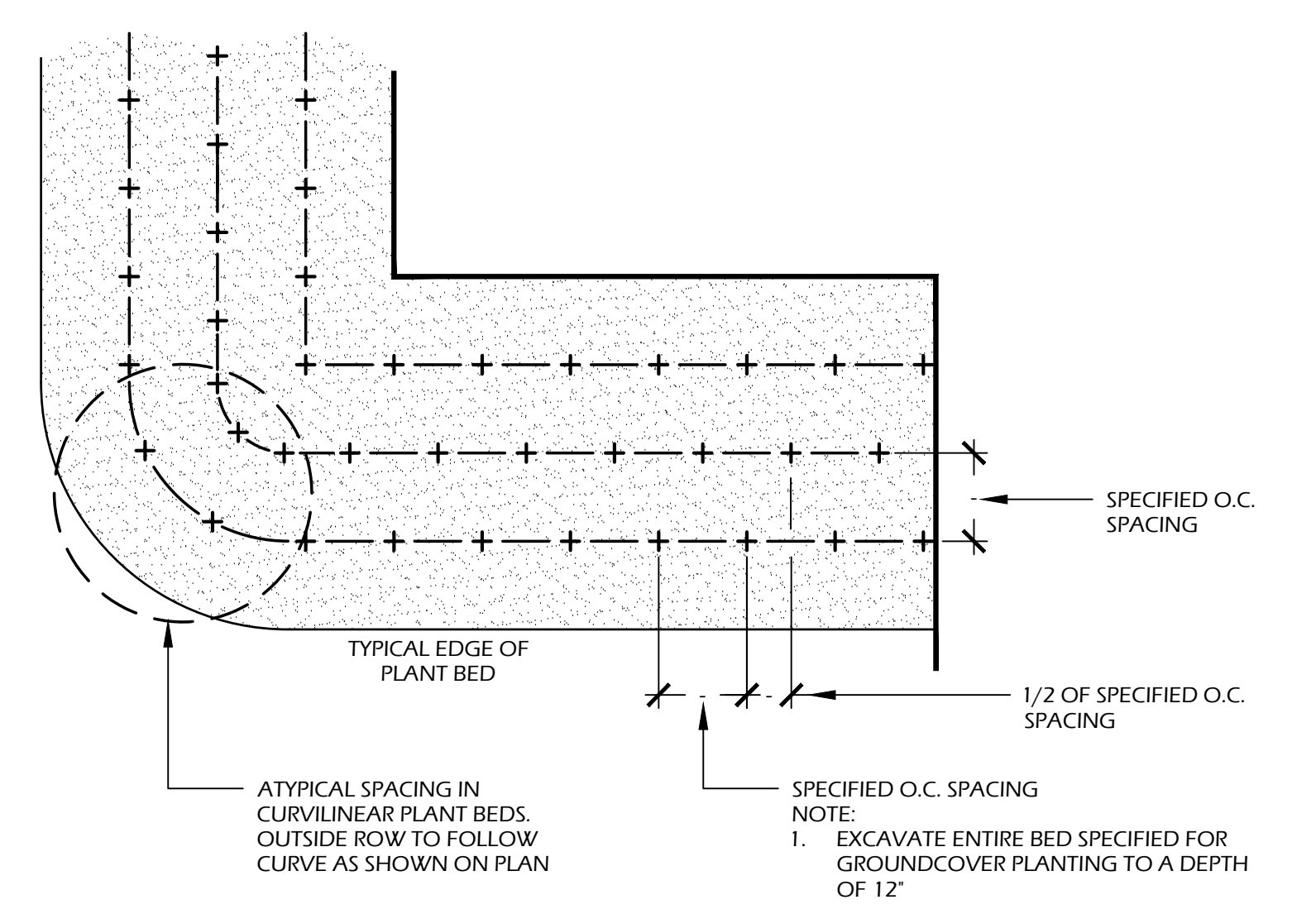
- NOTES:**
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER OR OWNER'S REPRESENTATIVE.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - SABAL PALMETTOS SHALL BE REFOOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE.

2 // L501 PALM TREE PLANTING
SCALE: N.T.S.



- NOTES:**
- WHEN GROUNDCOVERS AND SHRUBS ARE USED IS MASSES, ENTIRE BED TO BE EXCAVATED TO RECEIVE PLANTING SOIL AND PLANT MATERIAL.
 - CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 - IN SEMI-IMPERVIOUS SOIL CONDITIONS, ROOTBALL ELEVATION SHALL BE +2" ABOVE FINISH GRADE. COORDINATE WITH OWNER'S REPRESENTATIVE PRIOR TO SETTING ROOTBALL ELEVATIONS.

3 // L501 SHRUB PLANTING
SCALE: N.T.S.



4 // L501 GROUND COVER PLANTING
SCALE: N.T.S.

PLANT SCHEDULE:

| Quantity | Abbrev | Botanical Name | Common Name | Height | Spread | Container | Cal./Spacing | Notes |
|--|--------|---|-------------------------|---------|-------------|-----------|--------------|---|
| TREES | | | | | | | | |
| 7 | JUNV | Juniperus virginiana | Eastern Red Cedar | 6'-8' | 2'-3' | Cont. | - | Full to ground |
| 10 | QUEV | Quercus virginiana | Live Oak | 14'-16' | 6'-8' | Cont. | 4' | Full |
| ** | SABP | Sabal palmetto | Cabbage Palm | 12'-16' | - | Cont. | - | Refoliated, full clear trunk, refer to plan for heights |
| UNDERSTORY TREES | | | | | | | | |
| 4 | MAGV | Magnolia virginiana | Sweetbay Magnolia | 8'-10' | 4'-5' | 30 gal. | - | Full |
| 6 | SABM | Sabal minor | Dwarf Palmetto | 4'-5' | 4'-5' | 15 gal. | - | Full |
| SHRUBS | | | | | | | | |
| 9 | AZAE | Azalea x encore | Encore Azalea | 24'-30" | 24'-30" | 7 gal. | - | Full |
| 32 | DISB | Distylium 'Blue Cascade' (PIDIST-4 PP24409) | Blue Cascade Distylium | 24'-30" | 24'-30" | 7 gal. | - | Full |
| 39 | ILVN | Ilex vomitoria 'Nana' | Dwarf Yaupon Holly | 18'-24" | 18'-24" | 7 gal. | - | Full |
| 24 | ILLP | Illicium parviflorum | Yellow Anise | 30'-36" | 24'-30" | 7 gal. | - | Full |
| 16 | LORC | Loropetalum chinense 'Chang Nian Hong' | Ever Red Fringe Flower | 30'-36" | 24'-30" | 7 gal. | - | Full |
| 36 | PODM | Podocarpus macrophyllus | Podocarpus | 18'-24" | 24" | 7 gal. | - | Full |
| GROUND CO GROUND COVERS, VINES & PERENNIALS | | | | | | | | |
| 290 | LIRE | Liriope muscari 'Evergreen Giant' | Evergreen Giant Liriope | 12'-16" | 8'-12" | 1 gal. | 24" O.C. | Full |
| 115 | TRAA | Trachelospermum asiaticum | Asiatic Jasmine | 4'-6" | 12" runners | 1 gal. | 18" O.C. | Full |

PLANT TABLE:

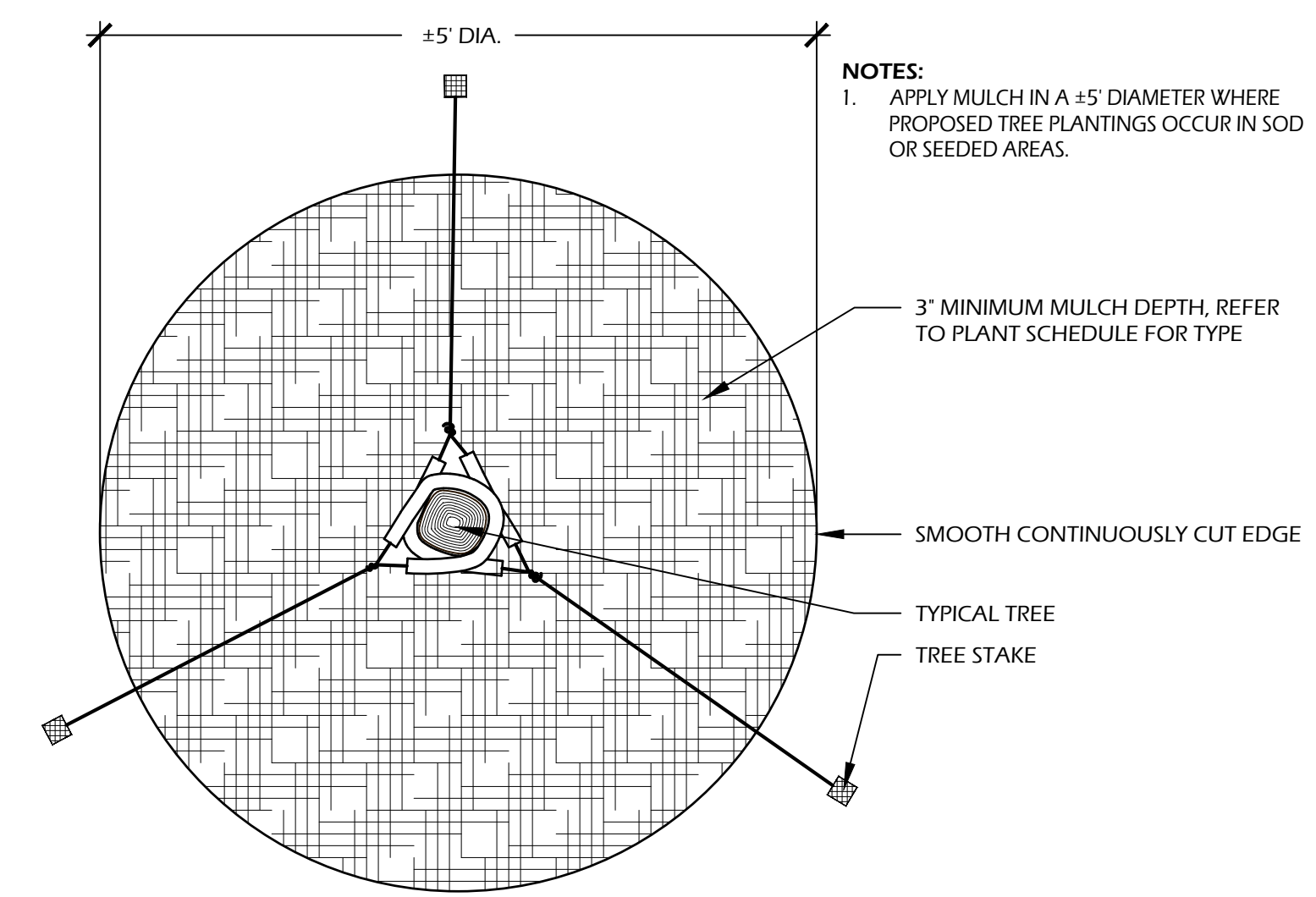
| Species Abbrev. | Trees Removed | | | | |
|--------------------------|---------------|---------|----------|-----|--------|
| | CAT. I | CAT. II | CAT. III | PLM | PN LOB |
| Caliper Inches | 14 | 18 | 15 | 22 | 10 |
| | | 20 | | 17 | 10 |
| | | 17 | | 14 | 10 |
| | | 14 | | 11 | 10 |
| | | | | 11 | 10 |
| | | | | 14 | 10 |
| | | | | 6 | 10 |
| | | | | 10 | 10 |
| | | | | 10 | 10 |
| | | | | 10 | 10 |
| Species DBH Totals | 14 | 69 | 15 | 95 | 110 |
| Total DBH Inches Per CAT | 83 | 15 | 205 | | |

TREE LEGEND: LO-Live Oak, LA-Laurel Oak, WO-Water Oak, PLM-Palmetto, PN LOB-Loblolly Pine

Tree Mitigation Calculations

| | CAT. I | CAT. I | CAT. III |
|--------------------------|---------------|---------------|-----------------|
| # OF TREES TO BE REMOVED | 5 | 1 | 18 |
| TOTAL # OF DBH INCHES | 83 | 15 | 205 |
| CALCULATION | 83 ÷ 10 = 8.3 | 15 ÷ 10 = 1.5 | 205 ÷ 10 = 20.5 |
| # OF NEW TREES REQUIRED | 8 | 2 | 21 |
| # OF NEW TREES PROVIDED | 8 | 2 | 21 |

- NOTE:**
- CAT. I AND CAT. II TREE MITIGATION SATISFIED BY PLANTING OF 10 LIVE OAKS (QUEV) SEE PLANT SCHEDULE - *
- CAT. II MITIGATION SATISFIED BY PLANTING OF 23 SABAL PALMETTO (SABP) SEE PLANT SCHEDULE - **



5 // L501 TREE STAKING
SCALE: N.T.S.



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THIS SHEET TO SCALE AT 24"x36"

SITE DEVELOPMENT PLANS FOR
ATRIUM BUILDING
840 WILLIAM HILTON PARKWAY
HILTON HEAD ISLAND, SOUTH CAROLINA

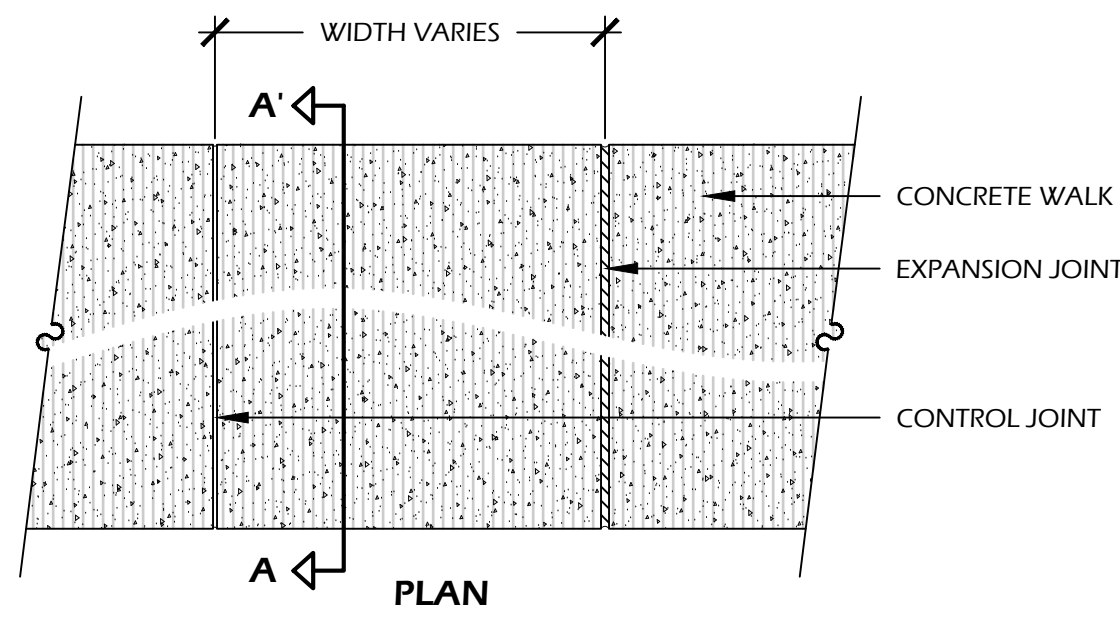
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PROJECT NO.: XXXXX.XX
DRAWN BY: SD
CHECKED BY: JC

DPR SUBMITTAL PLAN, NOT FOR CONSTRUCTION

REVISIONS:

DRAWING TITLE
PLANT SCHEDULE AND DETAILS

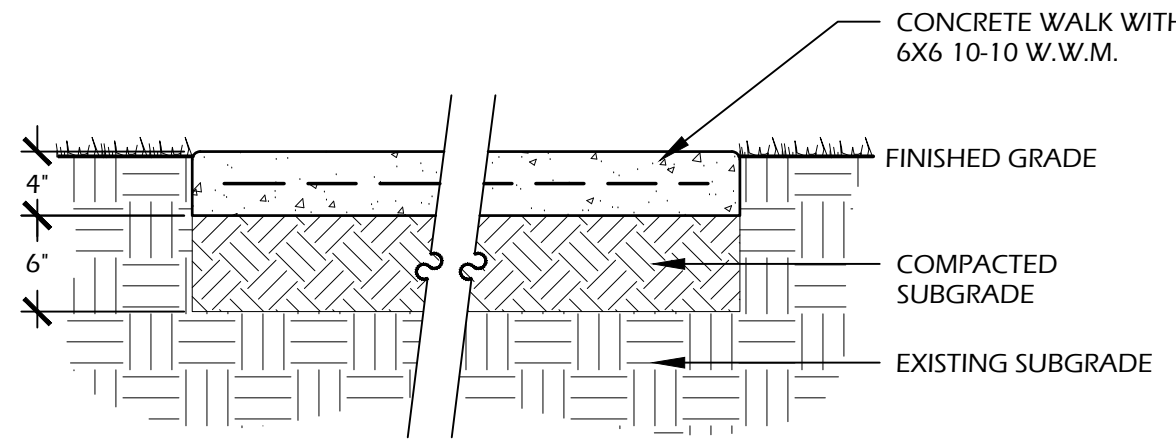
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L501



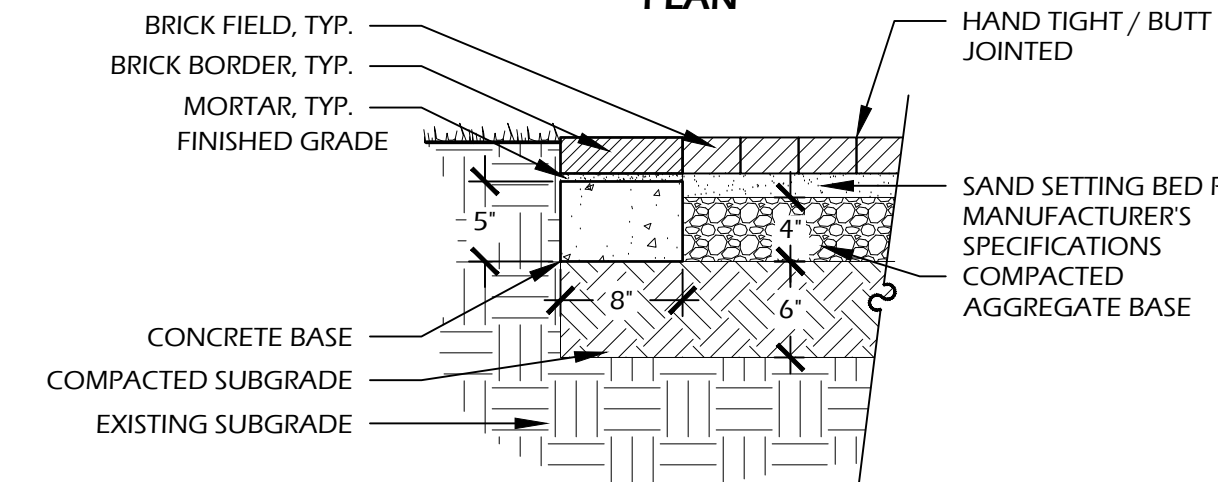
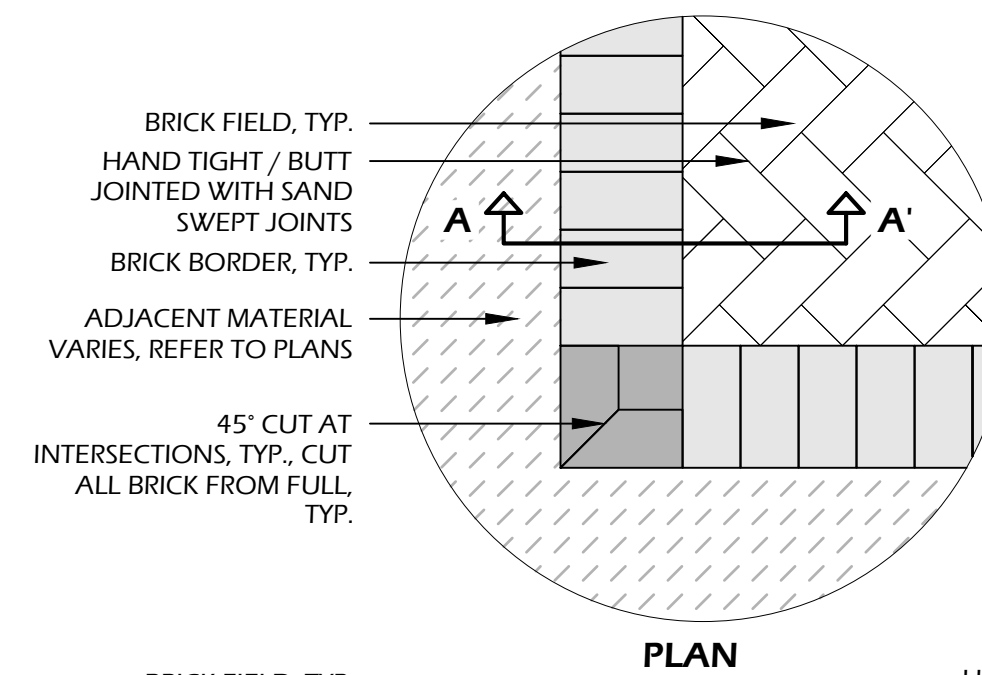
CONCRETE INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS
FINISH: LIGHT BROOM FINISH

SOIL INFORMATION:
SOIL COMPACTION: 95% STANDARD PROCTOR

- NOTES:**
1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 2. REFER TO PLAN **(SHEET L200)** FOR WIDTHS OF WALK.
 3. CONSTRUCT EXPANSION JOINTS WHERE WALK MEETS CURBS, STEPS, WALLS OR FIXED SLABS.
 4. CONTROL JOINTS TO BE 5' O.C., TYP. CONTROL JOINTS TO BE ADJUSTED IN FIELD AS NECESSARY.



SECTION A-A'



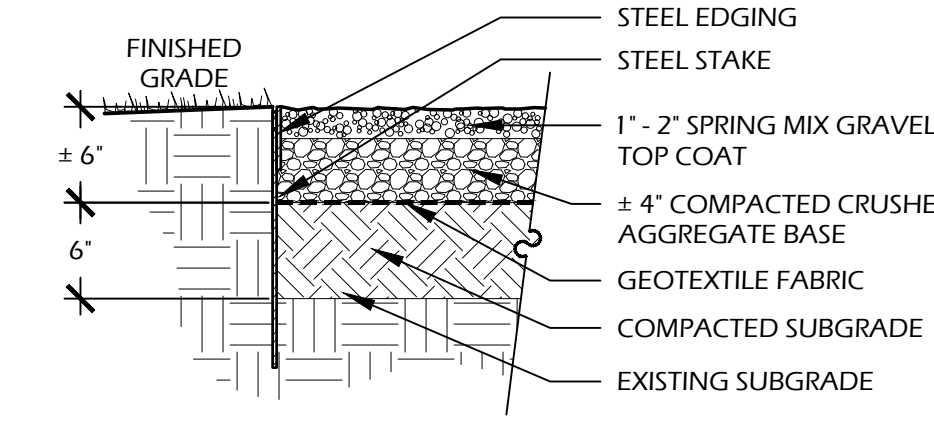
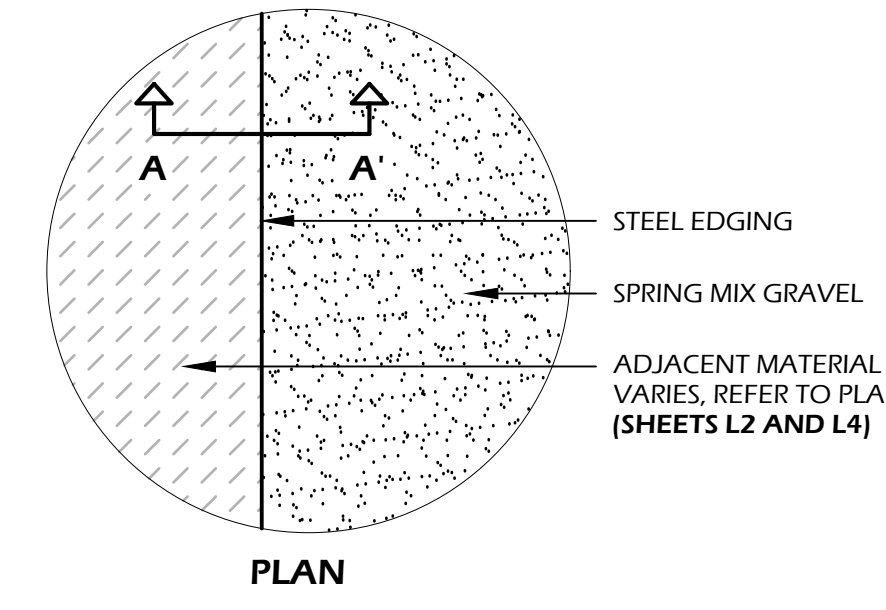
SECTION A-A'

BRICK MANUFACTURER INFORMATION:
MANUFACTURER: LOW/COUNTRY PAVER

BRICK: HYDRASHED PERMEABLE PAVER
COLOR: BATTERY GREY WITH TABBY
FINISH: BONFIRE PAVER BORDER
PATTERN: HERRINGBONE FIELD (REFER TO PLAN, **SHEET L200**, FOR DIRECTION) WITH SINGLE HEADER COURSE BORDER
JOINTS: HAND TIGHT CRUSHED STONE

OTHER INFORMATION:
CONCRETE: 3,000 P.S.I. AT 28 DAYS
SOIL COMPACTION: 95% STANDARD PROCTOR

- NOTES:**
1. PROVIDE 1% MIN., 2% MAX. CROSS SLOPE ON ALL PAVED SURFACES FOR POSITIVE DRAINAGE.
 2. REFER TO PLAN **(SHEET L200)** FOR WIDTHS OF WALKS AND LOCATION OF BRICK BORDERS.
 3. CONTRACTOR SHALL COORDINATE BORDERS AND PATTERN WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
 4. UPON REQUEST, CONTRACTOR SHALL PROVIDE 4'X4' PAVING PANELS OF ALTERNATIVE COLORS PRIOR TO CONSTRUCTION FOR APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.



SECTION A-A'

EDGING AND STAKE INFORMATION:

MANUFACTURER:
 BORDER CONCEPTS, INC.
 7621 LITTLE AVE., SUITE 426
 CHARLOTTE, NC. 28226
PHONE: (800) 845.3343
WEB: WWW.BORDERCONCEPTS.COM

STEEL EDGE: BORDER GUARD 3/16" X 4" X 16"
STAKES: STANDARD STAKE 3/16" THICK X 15" LONG (6 PER 16')
COLOR: BLACK

NOTE: INSTALL FLUSH PER MANUFACTURER'S SPECIFICATIONS

OTHER INFORMATION:
GEOTEXTILE FABRIC: TYPAR 3401 OR APPROVED EQUAL
SOIL COMPACTION: 95% STANDARD PROCTOR

1 // L600 CONCRETE SIDEWALK
 SCALE: 1" = 1'-0"

2 // L600 BRICK PATIO / SEATING AREA
 SCALE: 1" = 1'-0"

3 // L600 GRAVEL FINES BIKE PARKING
 SCALE: 1" = 1'-0"



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 THIS SHEET TO SCALE AT: 24"X36"

SITE DEVELOPMENT PLANS
 FOR
ATRIUM BUILDING
 840 WILLIAM HILTON PARKWAY
 HILTON HEAD ISLAND, SOUTH CAROLINA

DATE: DEC 10, 2025
 PROJECT NO.: XXXXXX
 DRAWN BY: SD
 CHECKED BY: JC

DPR SUBMITTAL
 PLAN, NOT FOR
 CONSTRUCTION

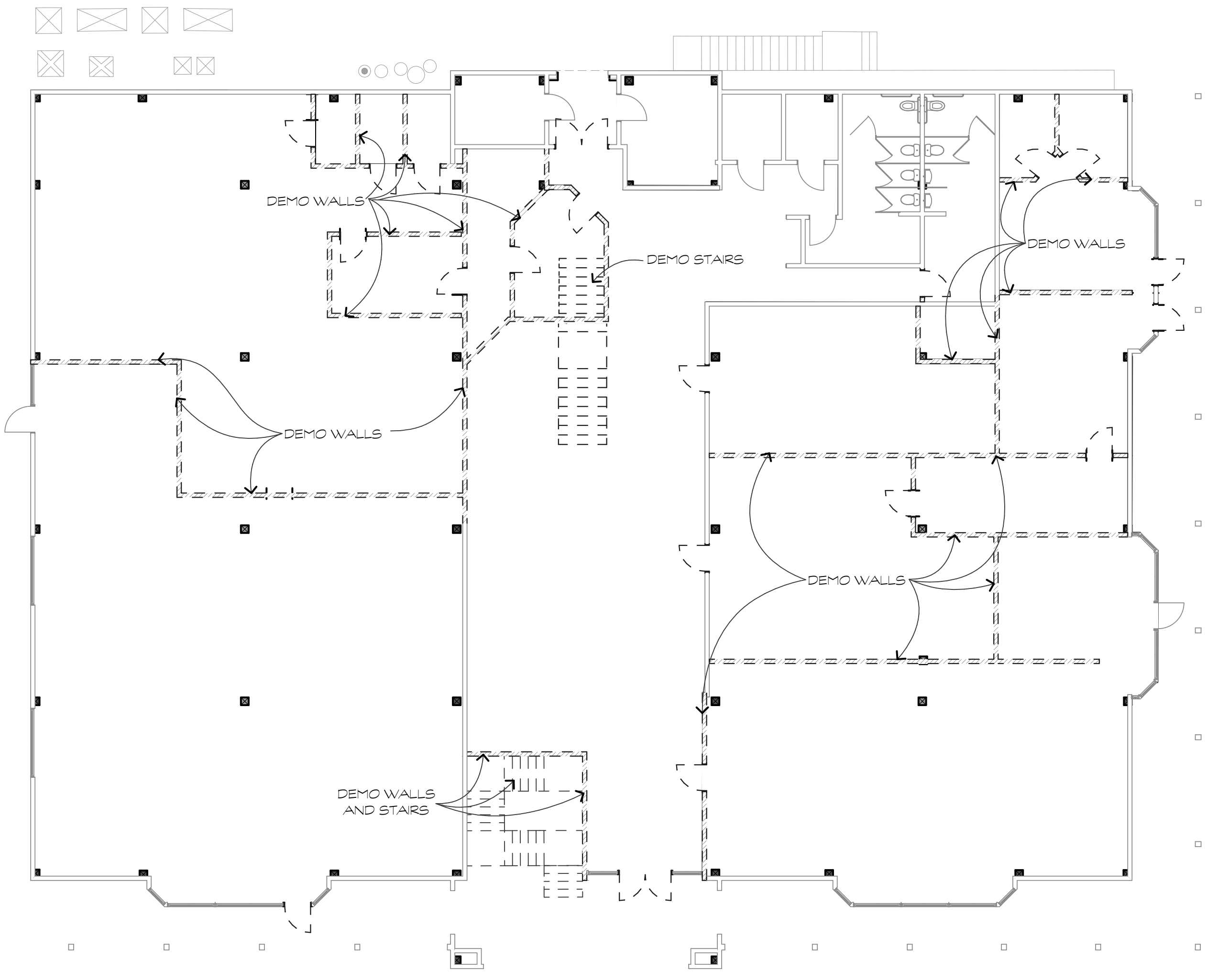
REVISIONS:

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DRAWING TITLE
 SITE DETAILS

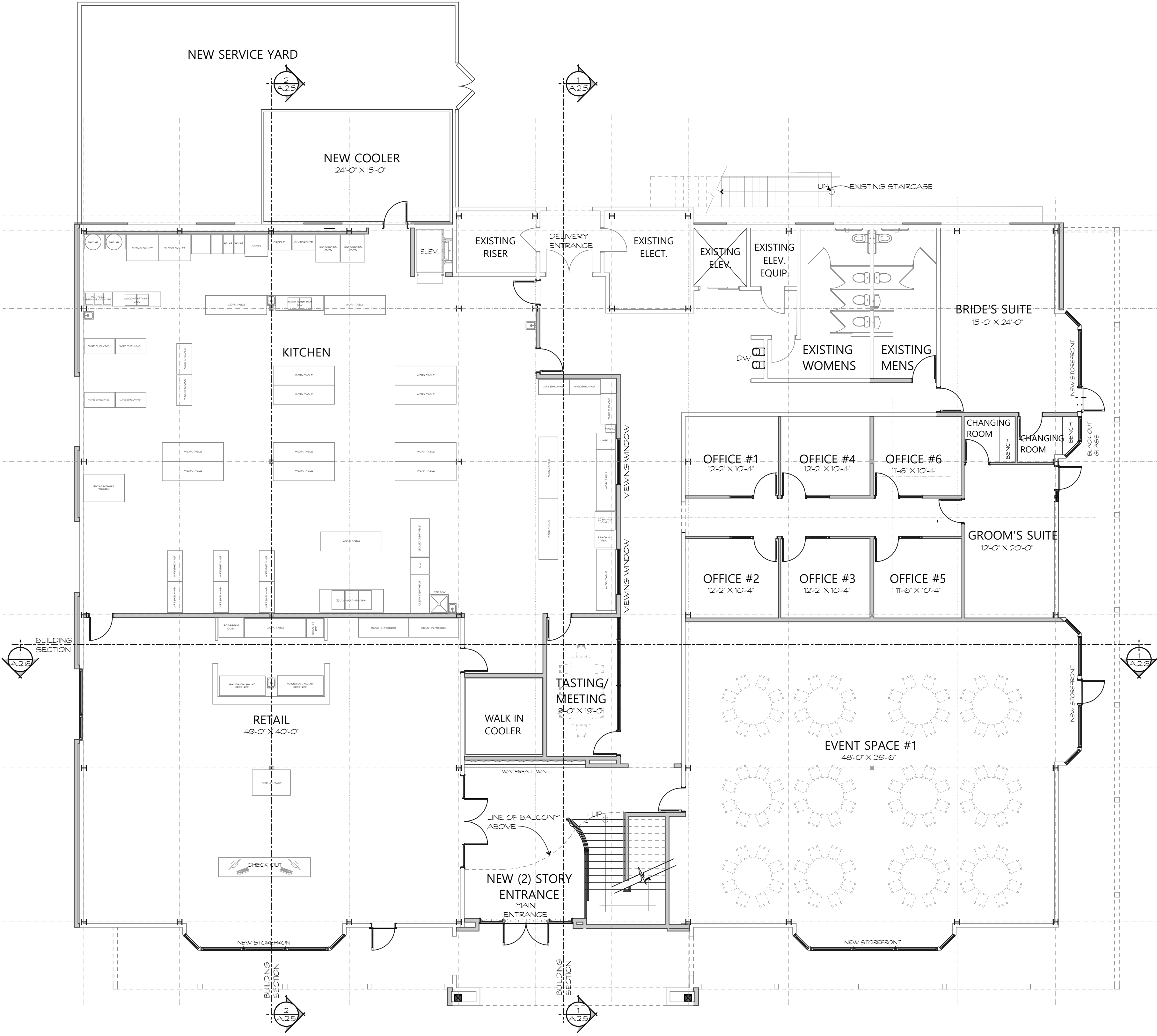
DRAWING NUMBER
L600

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DEMO PLAN
SCALE: 3/32" = 1'-0"

1
A.1.1



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

2
A.1.1

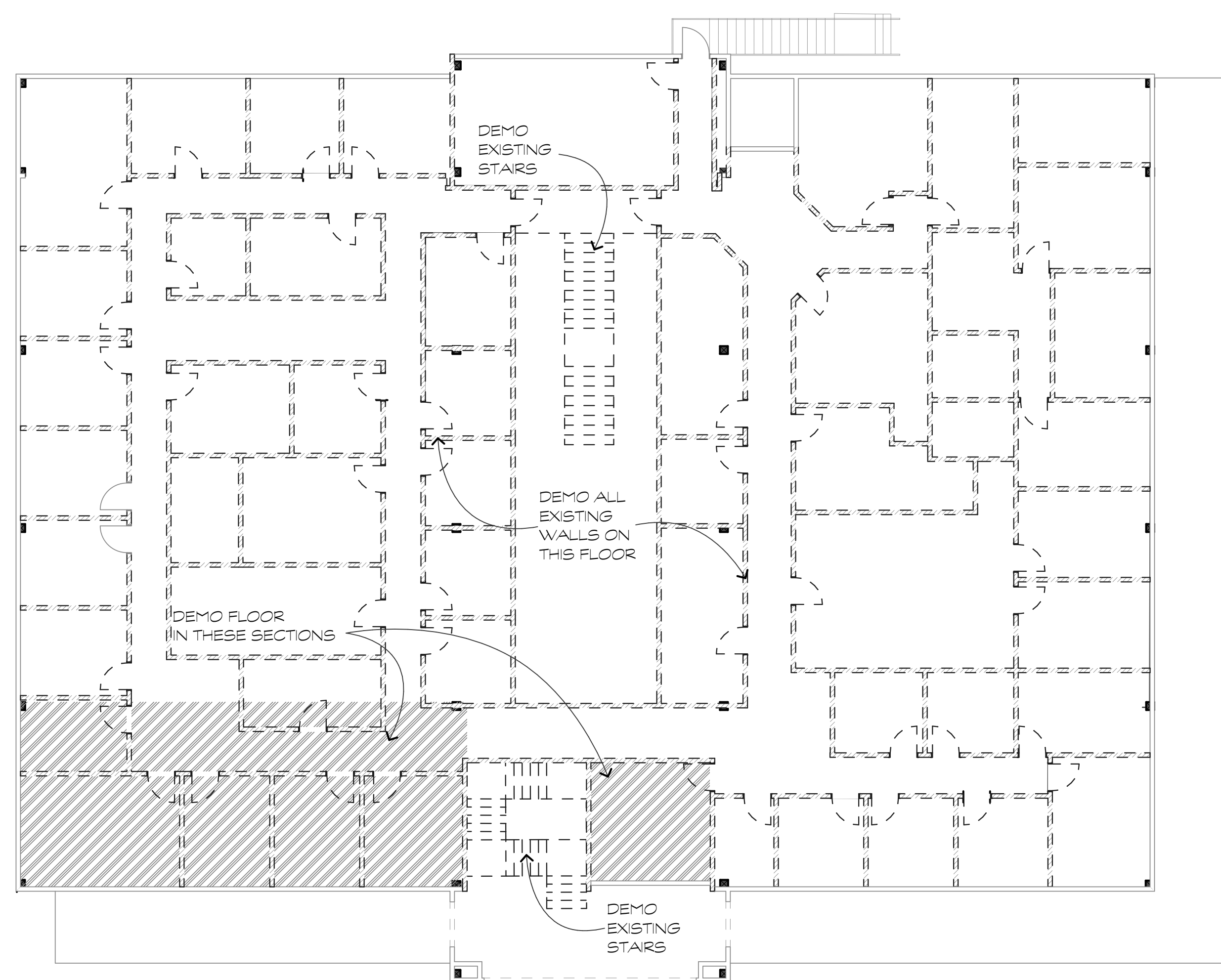
A RENOVATION FOR:
SERG GROUP
THE ATRIUM BUILDING
HILTON HEAD, S.C.

| REVISIONS | |
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CHECKED BY: TP
DATE OF ISSUE: 1/21/26
SCALE:
JOB NO.
SHEET

A.1.1
OF SHEETS

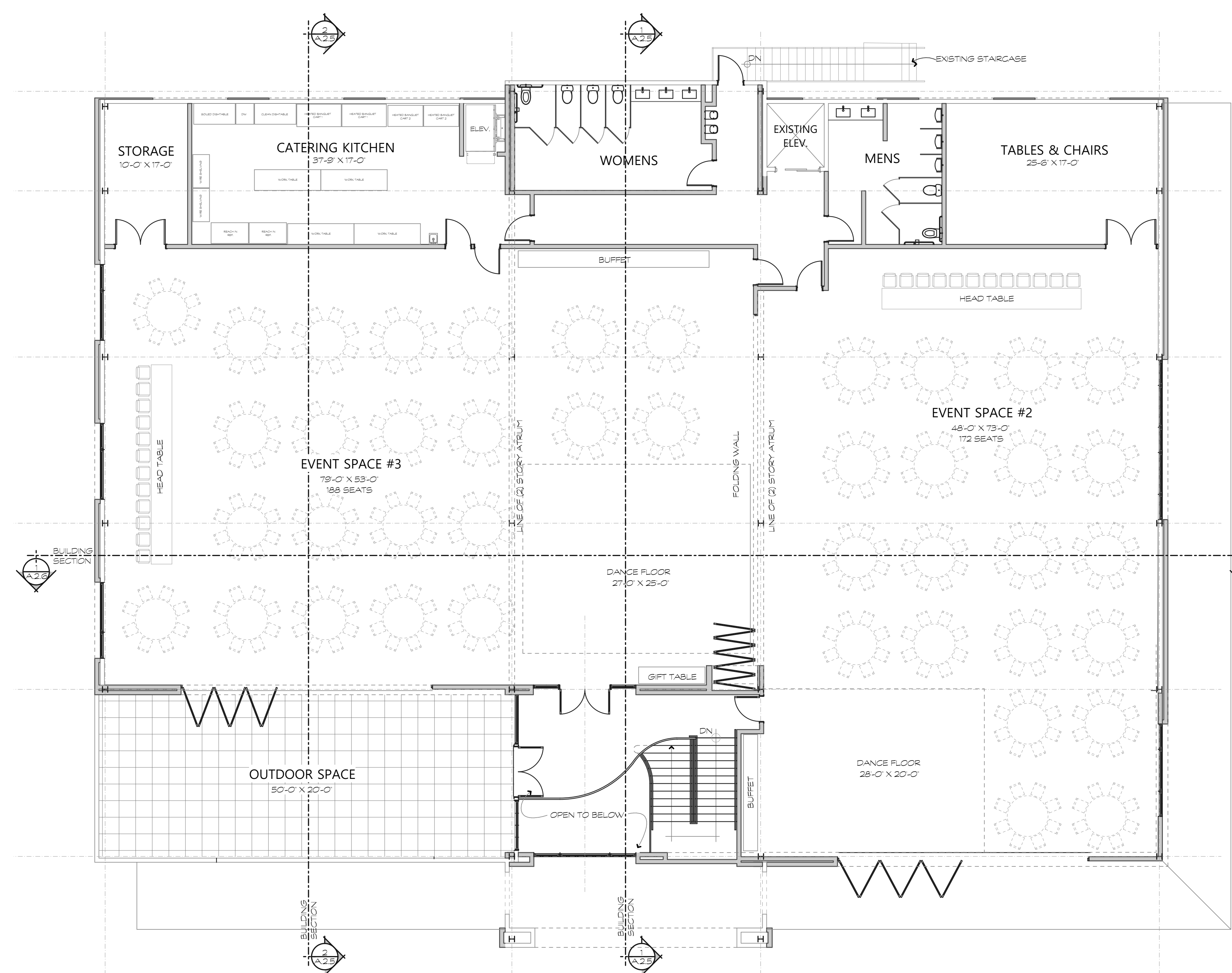
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SECOND FLOOR DEMO PLAN

SCALE: 3/32" = 1'-0"

1
A.1.2



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

2
A.1.2

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A.1.2

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NEW ENTRANCE ELEV.

SCALE: 3/16" = 1'-0"

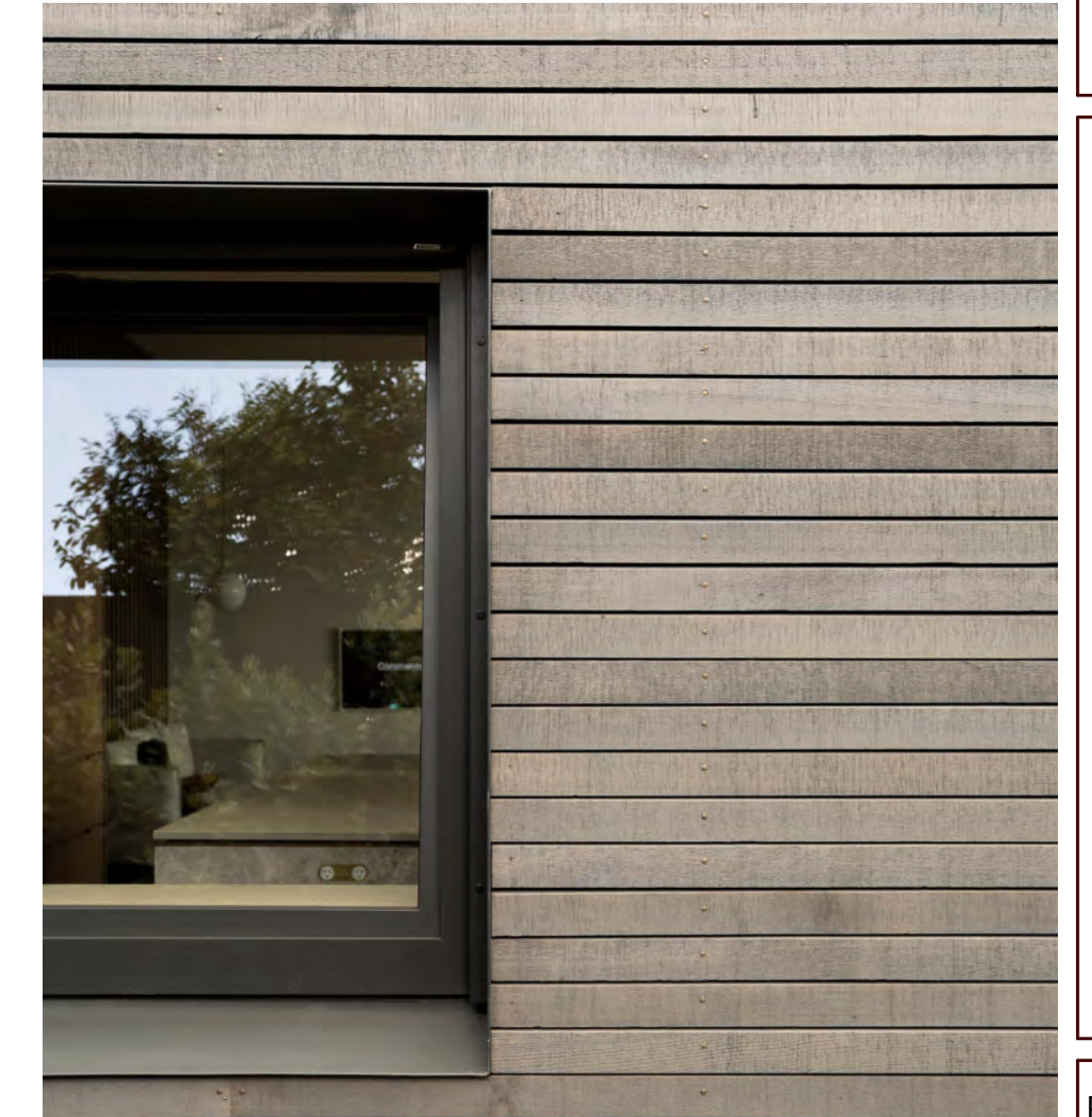
2
A.2.1



EXISTING ENTRANCE ELEV.

SCALE: 3/16" = 1'-0"

1
A.2.1



INSPIRATIONAL PHOTOS



EXISTING ENTRY PHOTO

parkerdesigngrouparchitects
843.785.5171 POST OFFICE BOX 9100 HILTON HEAD ISLAND, SC 29928

pdg
ARCHITECTS

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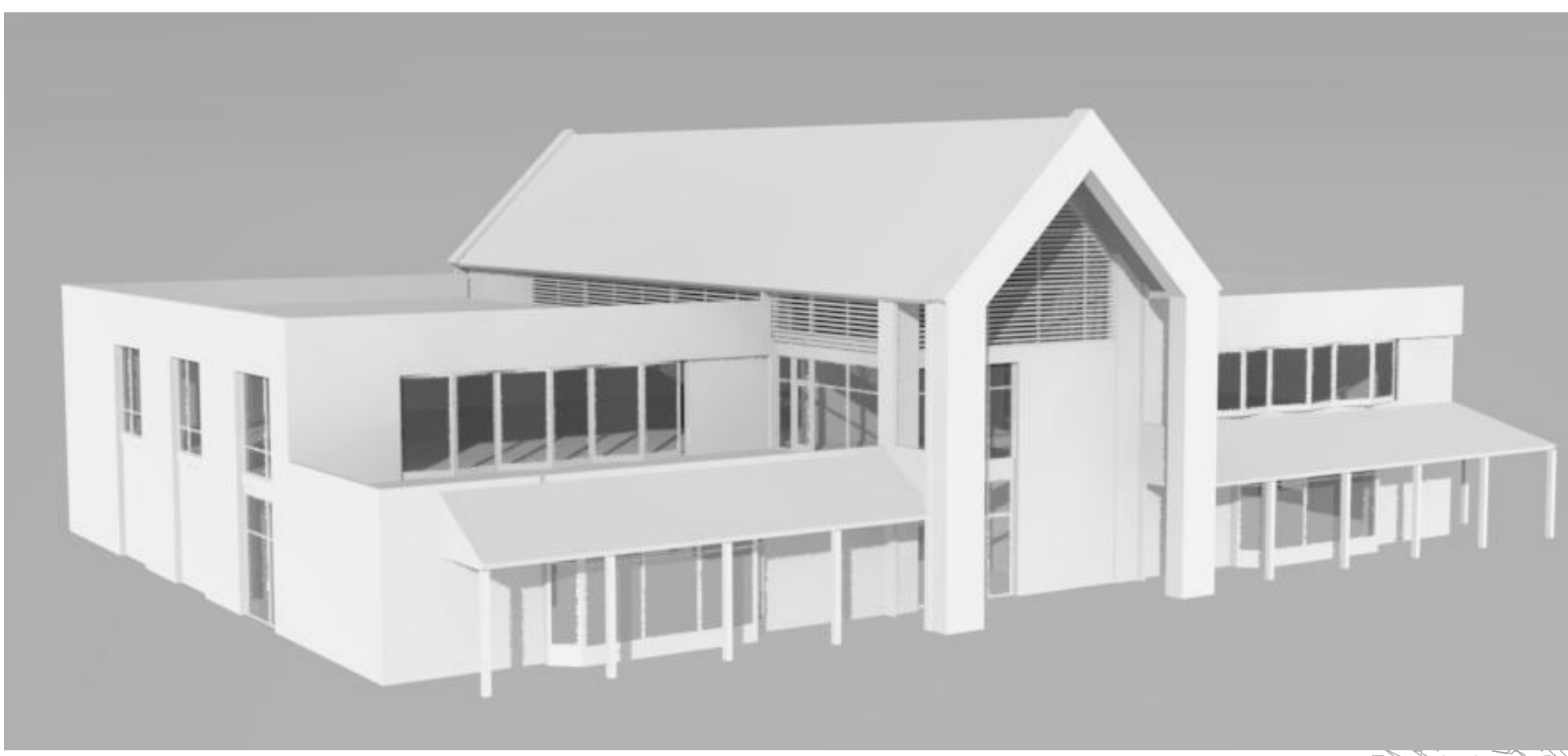
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OF SHEETS



MASSING MODEL



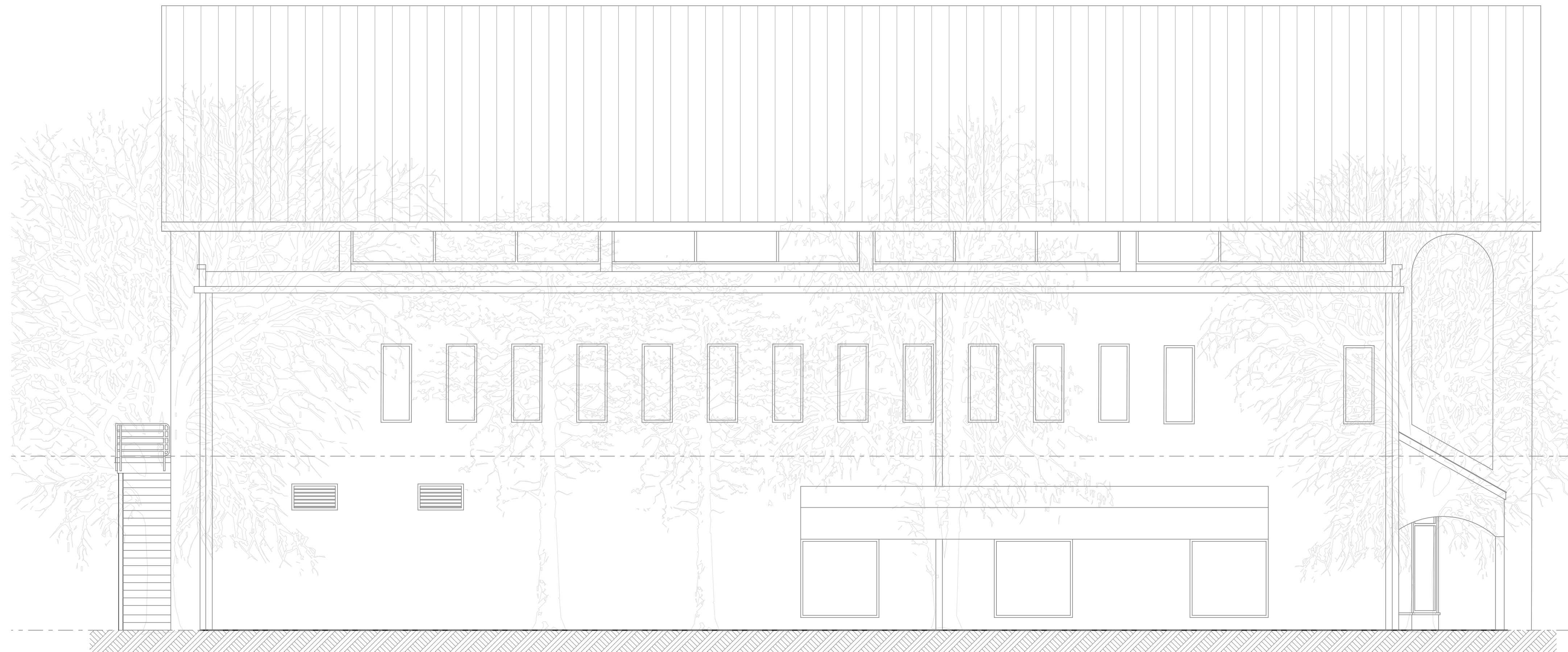
NEW WILLIAM HILTON PKWY. ELEV.

SCALE: 3/16" = 1'-0"

2
A.2.2



EXISTING WILLIAM HILTON PKWY PHOTOS



EXISTING WILLIAM HILTON PKWY. ELEV.

SCALE: 3/16" = 1'-0"

1
A.2.2

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 SHEET
A.2.3
 OF SHEETS



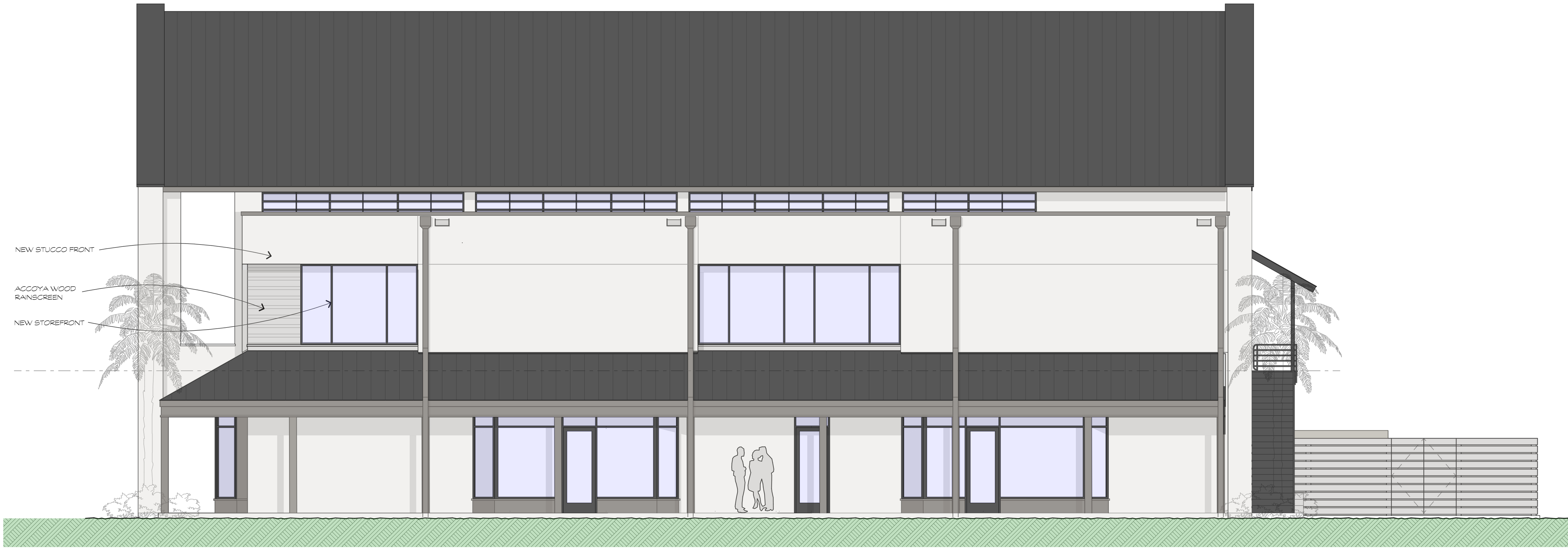
EXISTING REAR PHOTOS



NEW REAR ELEV.
 SCALE: 3/16" = 1'-0"
 2
 A.2.3



EXISTING REAR ELEV.
 SCALE: 3/16" = 1'-0"
 1
 A.2.3



NEW RIGHT SIDE ELEV.
SCALE: 3/16" = 1'-0"

2
A.2.4



EXISTING RIGHT SIDE ELEV.
SCALE: 3/16" = 1'-0"

1
A.2.4



EXISTING RIGHT SIDE ELEVATION PHOTOS

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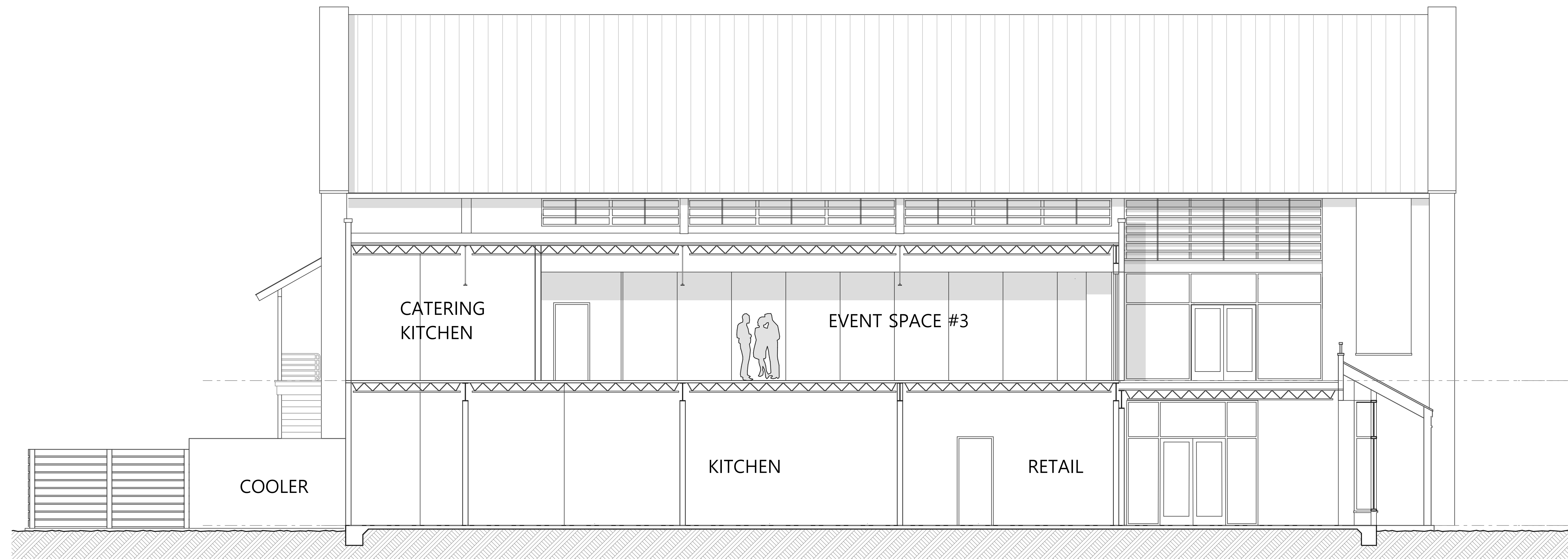
A.2.4
OF SHEETS



BUILDING SECTION

SCALE: 3/16" = 1'-0"

1
A.2.5



BUILDING SECTION

SCALE: 3/16" = 1'-0"

2
A.2.5

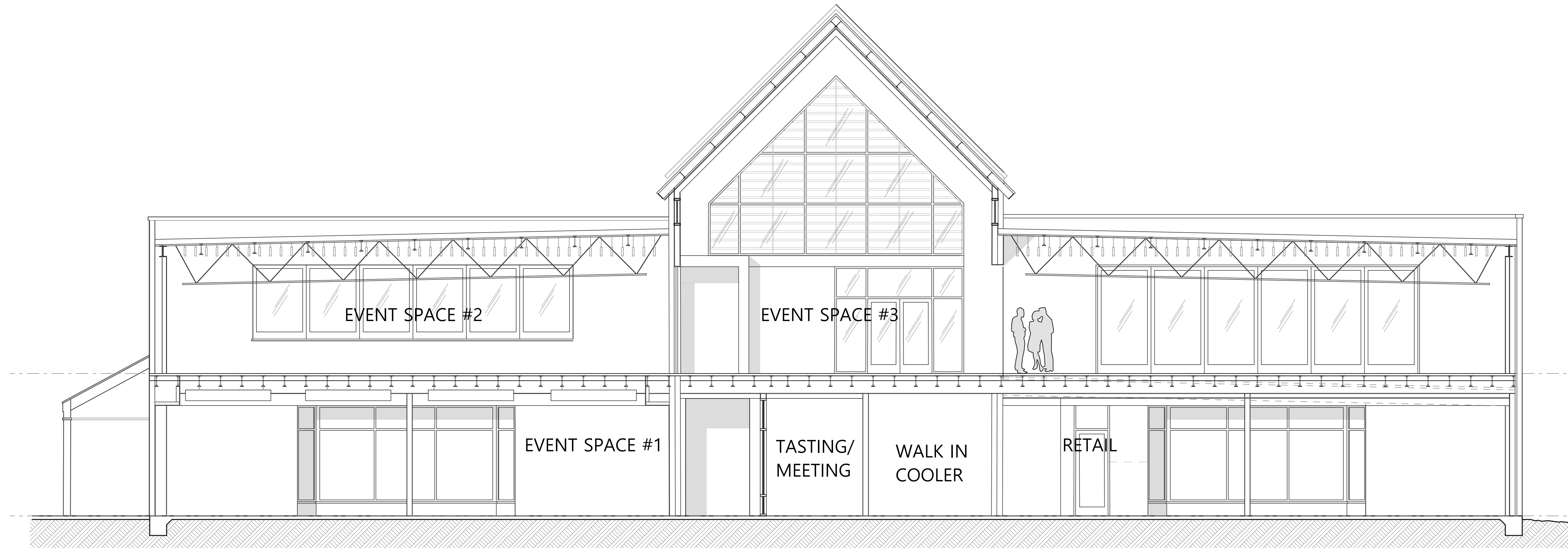
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SHEET
A.2.5
 OF SHEETS



BUILDING SECTION

SCALE: 3/16" = 1'-0"

1
A.2.6

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SHEET
A.2.6
 OF SHEETS

**840 William Hilton Parkway
The Atrium Building
Staff Comments
January 28, 2026
DRB-001208-2025**

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 840 William Hilton Parkway – The Atrium Building

DRB-001208-2025

DATE: 1/28/2026

CATEGORY: Conceptual

RECOMMENDATION: Approval Approval with Conditions Denial

APPLICATION MATERIAL

| DRB REQUIREMENTS | Complies Yes | No | Not Applicable | Comments or Conditions |
|--|-------------------------------------|-------------------------------------|-------------------------------------|--|
| Demolition Plan if needed | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Existing Conditions match As-Built | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Dimensioned Details and of Sections | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Please provide dimensioned details and sections. |
| Detail Illustrating Connection to Existing Structure | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| New Building Details Match Existing Building Details | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |

ARCHITECTURAL DESIGN

| DESIGN GUIDE/LMO CRITERIA | Complies Yes | No | Not Applicable | Comments or Conditions |
|---|-------------------------------------|--------------------------|--------------------------|-----------------------------------|
| Structure is designed to be appropriate to the neighborhood | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Promotes pedestrian scale and circulation | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Design is unobtrusive and set into the natural environment | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Utilizes natural materials and colors | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Please provide a materials board. |
| Avoids distinctive vernacular styles | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Design is appropriate for its use | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| All facades shall have equal design characteristics | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

| | | | | |
|---|-------------------------------------|-------------------------------------|--------------------------|---|
| Avoids monotonous planes or unrelieved repetition | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Has a strong roof form with enough variety to provide visual interest | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Overhangs are sufficient for the façade height. | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Forms and details are sufficient to reduce the mass of the structure | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Human scale is achieved by the use of proper proportions and architectural elements | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Utilizes a variety of materials, textures and colors | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Please provide a materials board as well as color and materials indicated in the proposed elevations. |
| Incorporates wood or wood simulating materials | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Windows are in proportion to the facade | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Details are clean, simple and appropriate while avoiding excessive ornamentation | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Please provide details. |
| Utilities and equipment are concealed from view | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Indicate utilities and equipment are concealed from view. |
| Decorative lighting is limited and low wattage and adds to the visual character | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | Please indicate if you are proposing exterior lighting. If so, please provide them with the elevations, site plans, and cut sheets. |
| Accessory elements are designed to coordinate with the primary structure | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

| LANDSCAPE DESIGN | | | | |
|---|-------------------------------------|--------------------------|--------------------------|-------------------------------|
| DESIGN GUIDE/LMO CRITERIA | Complies Yes | No | Not Applicable | Comments or Conditions |
| Treats the Landscape as a major element of the project | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Provides Landscaping of a scope and size that is in proportion to the scale of the development | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Landscape is designed so that it may be maintained in its natural shape and size | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Preserves a variety of existing native trees and shrubs | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Provides for a harmonious setting for the site's structures, parking areas or other construction | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s) | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable elements of the project | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

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|--|-------------------------------------|--------------------------|--------------------------|--|
| A variety of species is selected for texture and color | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Provides overall order and continuity of the Landscape plan | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Native plants or plants that have historically been prevalent on the Island are utilized | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Proposed groundcovers are evergreen species with low maintenance needs | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Large, grassed lawn areas encompassing a major portion of the site are avoided | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Ornamentals and Annuals are limited to entrances and other focal points | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |

NATURAL RESOURCE PROTECTION

| DESIGN GUIDE/LMO CRITERIA | Complies Yes | No | Not Applicable | Comments or Conditions |
|---|-------------------------------------|--------------------------|-------------------------------------|-------------------------------|
| An effort has been made to preserve existing trees and under story plants | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Supplemental and replacement trees meet LMO requirements for size, species and number | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | |
| Wetlands if present are avoided and the required buffers are maintained | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |
| Sand dunes if present are not disturbed | <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | |

COMMENTS & CONDITIONS

Staff recommend approval of the Conceptual submittal for the 840 William Hilton Parkway, The Atrium Building with the following conditions:

1. Please provide dimensioned details and sections.
2. Please provide a materials board as well as color and materials indicated in the proposed elevations.
3. Indicate utilities and equipment are concealed from view.
4. Please indicate if you are proposing exterior lighting. If so, please provide them with the elevations, site plans, and cut sheets.

5. Any additional information as required by the Board.