



Town of Hilton Head Island

Design Review Board Meeting

Tuesday, November 25, 2025, 2:30 PM

**1 Town Center Court, Hilton Head Island, SC
Benjamin M. Racusin Council Chambers**

The Design Review Board meeting will be held in person at Town Hall in the Benjamin M. Racusin Council Chambers.

- 1. Call to Order**
- 2. Adoption of the Agenda**
- 3. Approval of the Minutes**
 - a. Regular Meeting Minutes of November 12, 2025
- 4. Unfinished Business**
 - a. DRB-001095-2025 - 70 Beach City Road — First African Baptist Church - Final
- 5. New Business**
 - a. DRB-001104-2025 - 2 Lafayette Place — Chase Bank - Alteration
- 6. Public Comment - Non Agenda Items**
- 7. Board Business**
- 8. Staff Reports**
- 9. Adjournment**

FOIA Compliance: Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Hilton Head Island will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Hilton Head Island ADA Coordinator as

soon as possible but no later than 48 hours before the scheduled event.

Municipal Association of South Carolina (MASC) Civility Pledge:

“I pledge to build a stronger and more prosperous community by advocating for civil engagement, respecting others and their viewpoints, and finding solutions for the betterment of my city or town.”



Town of Hilton Head Island DESIGN REVIEW BOARD MEETING Wednesday, November 12, 2025, 2:30 PM Minutes

1. Call to Order

Chair Carstens called the meeting to order at 2:33 pm.

In attendance: Chairman Judd Carstens, Megan Fitzpatrick, Todd Theodore, Cathy Foss. Vice Chair Annette Lippert, Patty Pastor and Tom Parker (recused) were excused.

2. Adoption of the Agenda

Mr. Theodore made a motion to adopt the agenda. Ms. Fitzpatrick seconded. The motion passed unanimously.

3. Approval of the Minutes

a. Regular Meeting Minutes of October 28, 2025

Ms. Foss made a motion to approve the meeting minutes of October 28, 2025. Mr. Theodore seconded. The motion passed unanimously.

4. Unfinished Business

a. DRB-001075-2025 - Sandalwood Food Pantry - 8 August Lane - Final

Melissa Paul-Leto presented the Sandalwood Food Pantry for final review. The applicant answered questions from the Board. Ms. Fitzpatrick motioned to approve with the following conditions: include exterior lighting cut sheet; add gravel to connect pathway; ensure gates and hardware on barn doors will be dark bronze. Ms. Foss seconded. The motion passed unanimously.

5. New Business

6. Public Comment - Non Agenda Items

7. Board Business

The Board called for confirmation at the earliest opportunity that the next meeting will be held on the 25th. A follow-up discussion on signage and window pane color for One Hot Mama's was requested.

8. Staff Reports

9. Adjournment

The meeting adjourned at 2:50pm.

**First African Baptist Church
70 Beach City Road
Final
November 25, 2025
DRB-001095-2025**



Town of Hilton Head Island
 Community Development Department
 One Town Center Court
 Hilton Head Island, SC 29928
 Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY	
Date Received:	_____
Accepted by:	_____
DRB #:	_____
Meeting Date:	_____

Applicant/Agent Name: Megan Smith, PE Company: LJA Engineering, INC.
 Mailing Address: 171 Church St, Charleston, SC 29401 City: Charleston State: SC Zip: 29401
 Telephone: 843-886-1871 Fax: _____ E-mail: mesmith@lja.com
 Project Name: First African Baptist Church Project Address: 70 Beach City Rd, Hilton Head Island, SC 29926
 Parcel Number [PIN]: R510-008-000-001B-0000 _____
 Zoning District: Light Commercial (LC) Overlay District(s): Corridor (COR)

**CORRIDOR REVIEW, MAJOR
 DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.

Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:
 N/A Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- _____ All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- _____ A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- _____ Photographs of existing structure.

Additional Submittal Requirements:

Signs

- _____ Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- _____ Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- _____ Proposed landscaping plan.

For wall signs:

- _____ Photograph or drawing of the building depicting the proposed location of the sign.
- _____ Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.



SIGNATURE

10-27-2025

DATE

**First African Baptist Church
70 Beach City Road
Final
Narrative
November 25, 2025
DRB-001095-2025**

October 31, 2025

Town of Hilton Head
Community Development Department
One Town Center Court
Hilton Head Island, South Carolina 29926

RE: Project Narrative
First African Baptist Church – Major Site Development Application
70 Beach City Rd.
Hilton Head Island, South Carolina 29926

To whom this may concern:

LJA Engineering, Inc. is submitting the following Project Narrative on behalf of FIRST AFRICAN BAPTIST CHURCH TRUSTEES (“Owner / Developer”), for a proposed religious institution on approximately 1.56 -acres within the jurisdiction of the Town of Hilton Head, Beaufort County, South Carolina (“Town”). The lot is zoned in the Light Commercial Zoning District (LC) per the Town Zoning Map which allows the proposed residential land use. The associated Tax Map number is listed as TMS No. R510-008-000-001B-0000 per GIS Maps. The lot is located along Beach City Road (SCDOT). The lot is currently developed with an existing religious institution, the Historic First African Baptist Church (1-story) with approximately 7 gravel parking spaces, a grassed parking area, two (2)-driveways, and several protected trees. A pre-application meeting was held on August 7, 2025. 3 (PAPP-000750-2025).

The project is proposing a 4,560 sq. ft. building that will serve as the main sanctuary for First African Baptist Church. The existing building will then be used as a fellowship area for the congregation. The project is disturbing less than 0.813-acres and is greater than 0.5-miles from a receiving coastal water body. The sections below summary the various aspects of the project.

Building Improvement Summary

- The project proposes a 4,560 SF fellowship building.
- The new building includes a sanctuary, several offices, and restrooms.
- The building is proposed with a height of 26’-10 5/8”, and maximum steeple height of approximately 21’.

Site Improvement Summary

- Provide drives and associated parking throughout the site.
- Pervious parking area will serve as an infiltration basin to treat both water quantity and quality.
- Install accessible walkways leading from the exterior doors to the parking lot around the proposed building.
- Provide a new fire hydrant and new fire lanes to meet current IFC requirements.
- The project offers 67 parking spaces, 3 of which are ADA parking spaces.

- The project proposes 4 bicycle parking spaces.
- Removal of 18 of the 74 surveyed trees currently on the site.
- The existing driveway which ties into Beach City Road will provide access to both the proposed and existing buildings.

Utilities

Fire service will be provided by Hilton Head Public Service District (HHPSD) via the construction of a 6" water line that will connect to an existing 8" main that runs parallel to Beach City Rd. In addition to supplying the building with water for its sprinkler system, the fire line will also serve the new fire hydrant. Private water service will be provided through the construction of a new 1" water line, which will stem off the proposed 6" fire line. The fire line, hydrant, FDC, and private/irrigation meters will be placed in a 10' HHPSD easement. Sewer service will also be provided by HHPSD via the construction of a 6" sewer line and E-One grinder pump that will service both the existing and proposed buildings. The sewer line will carry effluent to the proposed grinder pump, which will connect to the existing 2" force main.

Impervious Cover

The project will have a net removal (or reduction) of 1,218 -SF of impervious cover (for a total of 19,307-SF of IC).

Drainage

Compliance to mitigate the risk of flooding and other applicable Town drainage criteria is provided through the reduction of peak flow rates from the subject property. This is achieved by reducing impervious cover on the site and avoiding changes to existing drainage patterns in the developed condition drainage study. The enclosed Engineering Report details the drainage study and how reduction in peak flow rates was achieved without any permanent BMPs on-site. Overall, this project will enhance the drainage conditions of the site and surrounding area and does not have any adverse impacts between current existing conditions and proposed final conditions.

Environmental Issues / Floodplain

No environmental features have been identified on site. The tract is located outside of a FEMA 100-year floodplain according to FEMA FIRM 45013C0452G for the Town of Hilton Head Island, effective on March 23, 2021

Buffers

The adjacent street buffer for Beach City Road (Minor Arterial) is a 15'-25' Type B. No adjacent use buffer is required per the Town of Hilton Head Land Management Ordinance. The buffers and setbacks are delineated and labeled all plan sheets.

We trust this information will help in your evaluation of the project. If you have any questions, do not hesitate to call or email at (843)-886-1871 or email at mesmith@lja.com

Sincerely,

Megan E. Smith, P.E.
Sr. Project Manager
LJA Engineering, Inc.

**Fist African Baptist Church
70 Beach City Road
Final
Response Letter to Conditions
November 25, 2025
DRB-001095-2025**

VACCARO ARCHITECTURE, INC.

Friday, November 14, 2025

Mellisa Paul- Leto

RE: HISTORIC First African Baptist Church

Dear Melissa:

Per your letter, the Conceptual submittal for DRB-000809-2025 at 70 Beach City Road for the First African Baptist Church Sanctuary has been approved with the following conditions:

Please see our responses below.

1. Study the proportion of the windows in comparison with the shutters.
 - a. Shutters were removed. All of the windows will be stained glass. Pilasters were added to in between the windows to match the existing building.
2. Show the downspouts.
 - a. Downspouts have been shown.
3. Study the addition of corner pilasters to be similar to the pilaster of the existing church.
 - a. Corner pilasters have been added.
4. Show the existing church in elevation with the proposed sanctuary for comparison with the correct floor elevations on both.
 - a. The existing church elevation is shown.
5. The awning over the side entry door seems too large, so please take a look at that.
 - a. The awning was minimized
6. Show the entry door detail (head, jamb, sill).
 - a. Entry door detail is shown
7. Include foundation plantings in the front and around the building, along with palm trees added to the entry.
 - a. See the landscape plans
8. Provide the spec on new steeple.
 - a. A steeple cut sheet is included
9. Indicate the proper grading on the complete elevations.
 - a. Proper grading is shown
10. Indicate if the steeple is being kept on the existing structure.
 - a. Existing steeple will be removed
11. Study the number of outriggers in the front.
 - a. An extensive study was done on the outriggers
12. Provide a materials board.
 - a. Per discussion with Mellisa Paul-Leto no board will be provided. All aspects of the new building will match the existing in texture and color as shown in photos.
13. Indicate that the utilities will be screened and provide the spec of that screening.
 - a. Utilites will be screened
14. Provide lighting specs for the exterior lighting on the building.
 - a. Lighting spec sheets will be provided
15. Provide an existing and proposed landscape plan.
 - a. An existing and new landscape plan is provided.

Please feel free to contact me to discuss.

Sincerely,



Michael A. Vaccaro, AIA, NCARB
President | VACCARO ARCHITECTURE, INC.
SC Registered Architect #6618

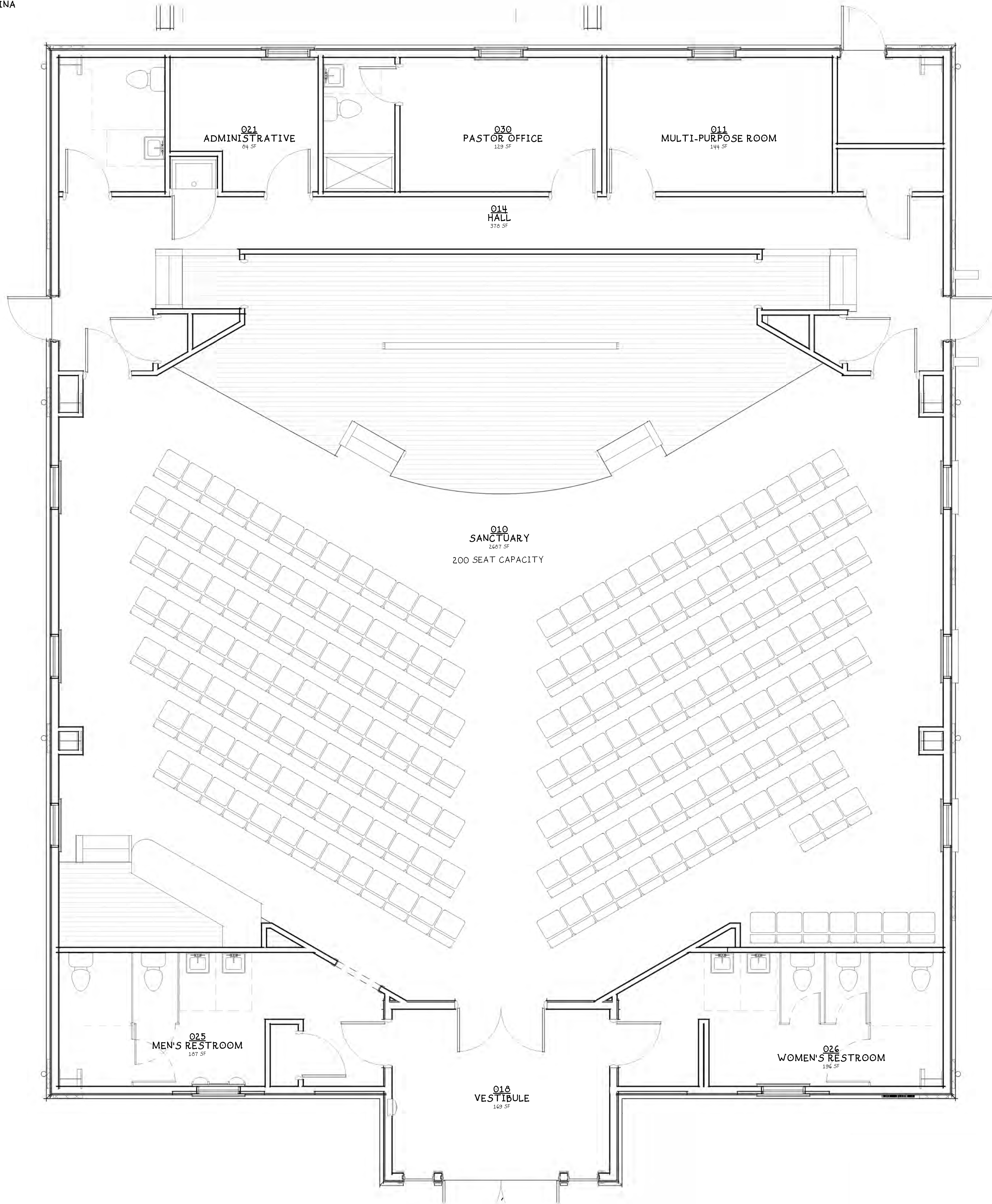
31 Oglethorpe Lane, Hilton Head Island, SC 29926
Phone: (843) 290-3076 • Email: mikevaccaro7@yahoo.com

**First African Baptist Church
70 Beach City Road
Final Set Plan Set
November 25, 2025
DRB-001095-2025**

The HISTORIC FIRST AFRICAN BAPTIST CHURCH

70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

Sheet List	
Sheet Number	Sheet Name
A-001	COVER
A-010	SITE PLAN
A-101	FOUNDATION PLAN
A-110	FIRST FLOOR
A-111	FIRST FLOOR RCP
A-190	ROOF PLAN
A-200	ELEVATIONS
A-201	ELEVATIONS - FRONT
A-202	ELEVATIONS - REAR
A-203	ELEVATIONS - LEFT
A-204	ELEVATIONS - RIGHT
A-300	BUILDING SECTIONS
A-301	BUILDING SECTIONS
A-330	WALL SECTIONS
A-331	STEEPLE
A-401	DOOR & WINDOW SCHEDULES
A-402	DOOR & WINDOW DETAILS
A-601	ADA and ANSI Standard Details
A-602	ADA & ANSI DETAILS
A-603	ADA & ANSI DETAILS
A-700	3D VIEWS
Grand total: 21	



CODE COMPLIANCE SUMMARY (NEW BUILDING)

PROJECT IS A NEW CHURCH BUILDING ON THE SAME PROPERTY AS THE EXISTING CHURCH BUILDING

PRIMARY USE IS ASSEMBLY

MAIN USE GROUP A-3 ASSEMBLY
CONSTRUCTION TYPE VB UNPROTECTED -

NOTE BUILDING IS FULLY SPRINKLERED

ALLOWABLE BUILDING HEIGHT / STORIES N/A (EXISTING BUILDING)
HEIGHT MODIFICATIONS N/A

ALLOWABLE BUILDING AREA (INCLUDING ALLOWABLE AREA INCREASES FOR FULLY SPRINKLERED BUILDING & OPEN SPACES) N/A (EXISTING BUILDING)

PER FLOOR ALLOWABLE AREA N/A

ACTUAL BUILDING AREA, GROSS, INCLUDES USABLE EXTERIOR AREAS UNDER ROOF N/A (EXISTING BUILDING)

TOTAL GROSS AREA OF BUILDING 4466 SQUARE FEET

OCCUPANT LOADS

BUSINESS GROUP (1/150 GROSS SF) # OF OCCUPANTS = 3 (331/150)
A3 CHURCH WITH FIXED SEATING = 200 (ACTUAL SEAT COUNT)
A2 UNCONCENTRATED (1/15 NET SF) # OF OCCUPANTS = 12 (169/15)

215 OCCUPANTS = TOTAL OCCUPANT LOAD

EGRESS

EGRESS WIDTH 44" REQUIRED / (44"+ PROVIDED)
NUMBER OF EXITS 2 REQUIRED / (3 PROVIDED)
SPRINKLERED YES
MAXIMUM TRAVEL DISTANCE LESS THAN 100 FEET

FIRE RESISTANCE

STRUCTURAL FRAME ...
BEARING WALLS - EXTERIOR ...
BEARING WALLS - INTERIOR CLASS "B"
NON BEARING EXTERIOR PARTITION WALLS NONE
NON BEARING INTERIOR PARTITION WALLS CLASS "C"
FLOORS ...
ROOF CONSTRUCTION ...
ROOF CLASSIFICATION ...
INTERIOR ROOM FINISH CLASSIFICATION CLASS "C"

PLUMBING FIXTURES

PLACES OF WORSHIP
WATER CLOSETS 1/150 MALE = (263/2)/150=1 WATER CLOSET MALE
WATER CLOSETS 1/150 FEMALE = (263/2)/75 =2 WATER CLOSETS FEMALE
LAVATORIES 1/200 = (263/200) = 2 LAVATORIES
DRINKING FOUNTAIN 1/1000 = 1 DRINKING FOUNTAIN
OTHER = 1 SERVICE SINK REQUIRED

CODE COMPLIANCE SUMMARY (EXISTING BUILDING)

EXISTING CHURCH BUILDING TO REMAIN UNALTERED

PRIMARY USE IS ASSEMBLY

MAIN USE GROUP A-3 ASSEMBLY
CONSTRUCTION TYPE VB UNPROTECTED -

TOTAL AREA 4365 SQUARE FEET

OCCUPANT LOADS

BUSINESS GROUP (1/150 GROSS SF) # OF OCCUPANTS = 1 (64/150)
A3 UNCONCENTRATED (1/15 NET SF) # OF OCCUPANTS = 132 (1974/15)

133 OCCUPANTS = TOTAL OCCUPANT LOAD

FIRE RESISTANCE

EXISTING UNCHANGED

PLUMBING FIXTURES

ACTUAL COUNT UNCHANGED

TOTAL OCCUPANT LOAD OF BOTH BUILDINGS COMBINED IS 348 OCCUPANTS

OCCUPANCY FOR PARKING CALCULATIONS:
THIS IS A RELIGIOUS INSTITUTION WITH 200 SEATS

FOR:
The Historic First African Baptist Church
70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

VACCARO
ARCHITECTURE, INC.

A-001
COVER

843.290.3076

email: mikevaccaro7@yahoo.com

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PRINT DATE
10/26/2023 11:10:16 AM



CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	194.21'	10050.32'	97.11'	184.20'	S50° 19' 12" W	001° 06' 26"



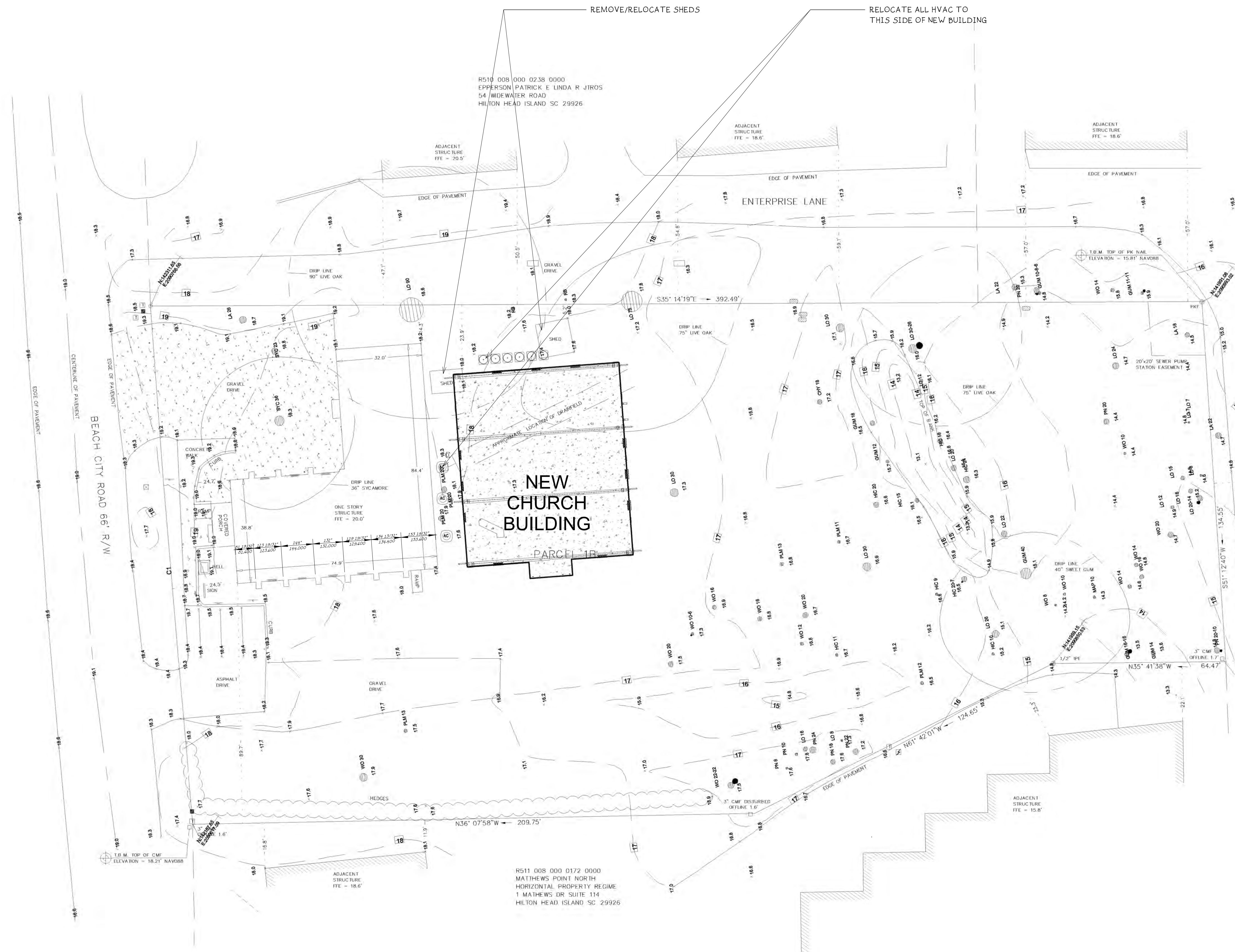
BUFFER AND SETBACK STANDARDS:

From Beach City Road
Buffer = Type B
Setback = 40 ft / 70°

From R511 008 000 0172 0000
Buffer = n/a
Setback = 20 ft / 75°

From R510 008 000 0236 0000
Buffer = Type A
Setback = 20 ft / 75°

From R510 008 000 0001 0000
Buffer = Type A
Setback = 20 ft / 75°



- LEGEND & SYMBOLS:**
- SPOT ELEVATION
 - CONTOUR
 - 3" CMF 3" CONCRETE MONUMENT FOUND
 - PKF PK NAIL FOUND
 - 1/2" IPF 1/2" IRON PIN FOUND
 - FFE FINISHED FLOOR ELEVATION
 - TBM TEMPORARY BENCH MARK
 - LO LIVE OAK
 - LA LAUREL OAK
 - SYC SYCAMORE
 - HIC HICKORY
 - PN PINE
 - PLM PALM
 - WO WATER OAK
 - GUM SWEET GUM
 - ELEC ELECTRIC TRANSFORMER
 - TEL TELEPHONE SERVICE
 - TV TELEVISION SERVICE
 - WM WATER METER
 - SKN SKIN
 - CLEANOUT CLEANOUT
 - MB MAIL BOX
 - AC UNIT AIR CONDITIONING UNIT

REFERENCE PLAT

1) A PLAT OF 1.559 ACRES, BEACH CITY ROAD, A SECTION OF PALMETTO HEADLANDS AREA DRAWN: 10/18/2024 RECORDING INFORMATION NOT FOUND ROD, BEAUFORT COUNTY, SC BY: JERRY L RICHARDSON S.C.R.L.S. # 4784

PROPERTY AREA = 1.56 Ac. 68,037 Sq. Ft.
ADDRESS: 70 BEACH CITY ROAD
DISTRICT: 510, MAP: 8, PARCEL: 1B
THIS PROPERTY LIES IN F.E.M.A. ZONE X
BASE FLOOD ELEVATION = N/A
COMMUNITY NO. 450250, PANEL 0452G, DATED: 3/23/2021

1 ARCHITECTURAL SITE PLAN

1" = 20'-0"

- NOTES:**
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
 - NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BACK FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
 - SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
 - HORIZONTAL DATUM IS S.C. STATE PLANE NAD 83.
 - VERTICAL DATUM IS NAVD83.
 - CONTOUR INTERVAL IS 1'.
 - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY.
 - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
 - THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
 - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

The Historic First African Baptist Church

VACCARO
ARCHITECTURE, INC.

A-010
SITE PLAN

843.290.3076
email: mikevaccaro@yahoo.com

PRINT DATE: 10/29/2025 11:19:19 AM

ASBUILT, TREE AND TOPOGRAPHIC SURVEY OF:
PARCEL R510 008 000 001B 0000, FIRST AFRICAN BAPTIST CHURCH, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA
PREPARED FOR: FIRST AFRICAN BAPTIST CHURCH

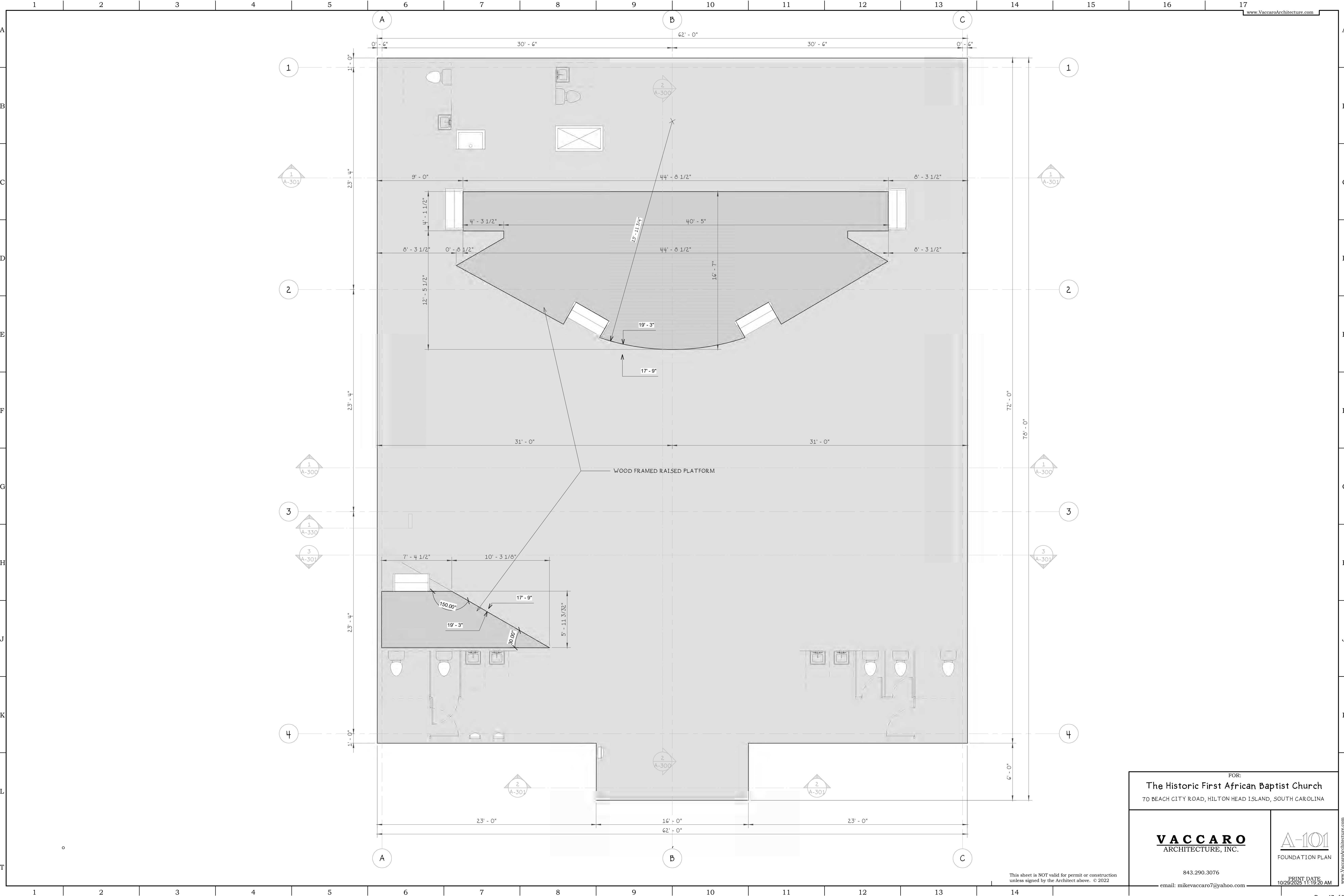
DATE: 1/30/2024 SCALE: 1" = 20'

NANDINA

d.b.a. Sea Island Land Survey, Inc.
10 Oak Park Drive, Unit C1,
Hilton Head Island, SC 29926
Tel (843) 681-3248
E-mail: admin@nandinainc.com

THIS DOCUMENT ORIGINALLY ISSUED AND SEALED BY JUSTIN R. KESSELRING S.C.R.L.S. # 29901 THIS ELECTRONIC MEDIA SHALL NOT BE CONSIDERED A CERTIFIED DOCUMENT. A CERTIFIED HARDCOPY MAY BE OBTAINED FROM NANDINA, INC. UPON REQUEST.

FILE No : 02200.5 DWG No. : 4-02200.5



FOR:
The Historic First African Baptist Church
 70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

VACCARO
 ARCHITECTURE, INC.

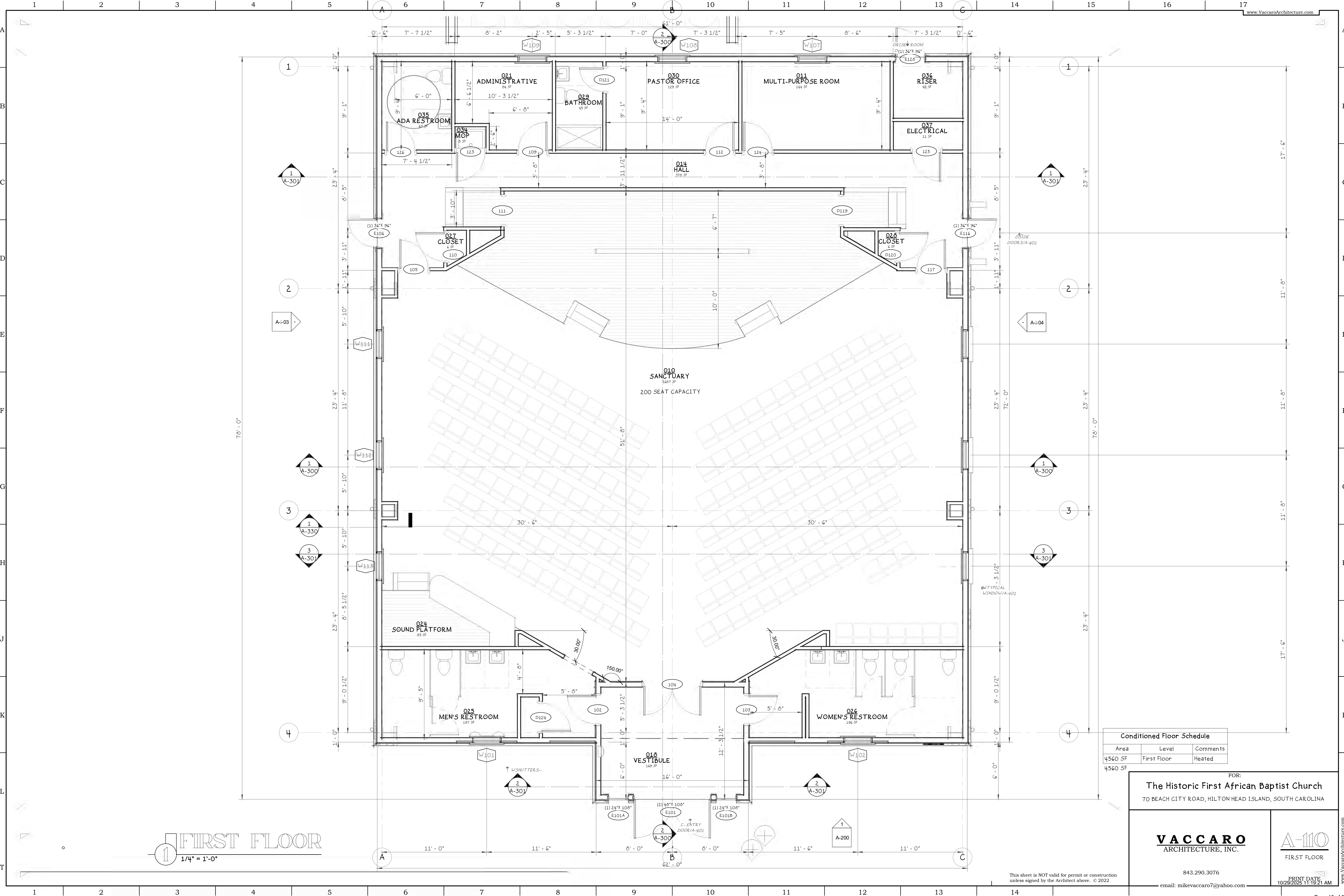
A-101
 FOUNDATION PLAN

843.290.3076

email: mikevaccaro7@yahoo.com

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FIRST FLOOR
 1/4" = 1'-0"

Conditioned Floor Schedule		
Area	Level	Comments
4560 SF	First Floor	Heated
4560 SF		

FOR:
The Historic First African Baptist Church
 70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

VACCARO
 ARCHITECTURE, INC.

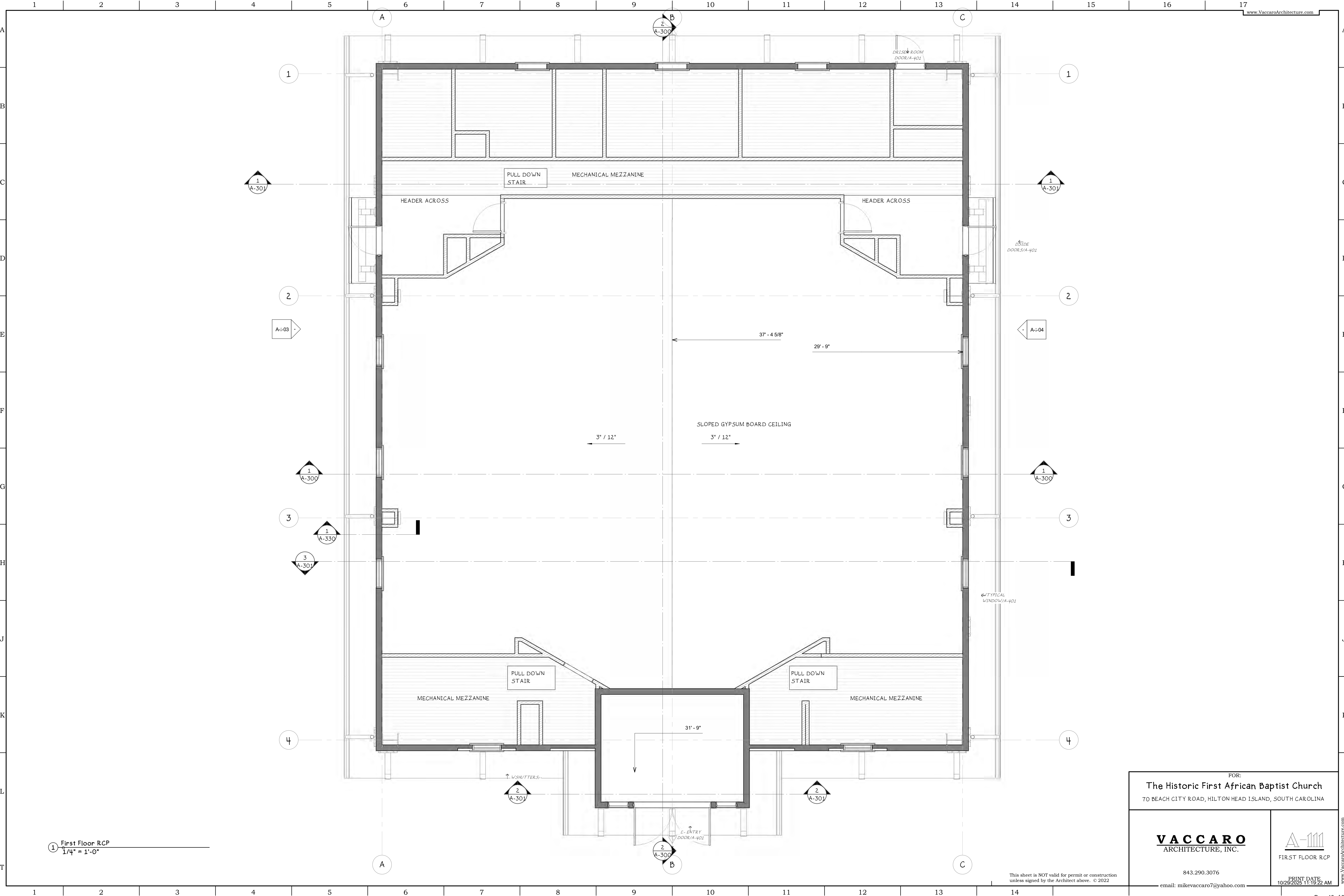
A-110
 FIRST FLOOR

843.290.3076

email: mikevaccaro7@yahoo.com

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① First Floor RCP
 1/4" = 1'-0"

FOR:
The Historic First African Baptist Church
 70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

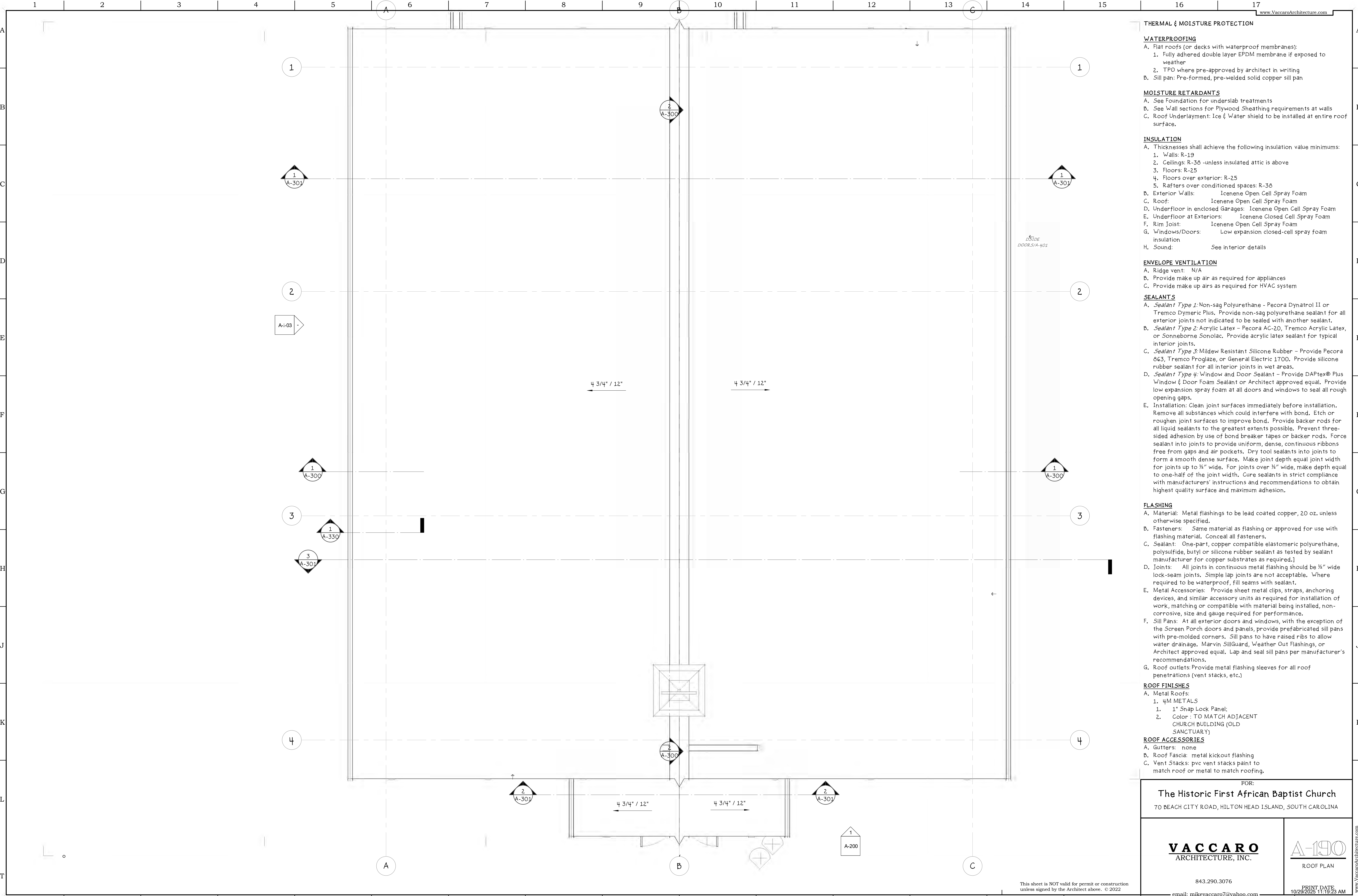
VACCARO
 ARCHITECTURE, INC.

A-111
 FIRST FLOOR RCP

843.290.3076
 email: mikevaccaro7@yahoo.com

PRINT DATE
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THERMAL & MOISTURE PROTECTION

WATERPROOFING

A. Flat roofs (or decks with waterproof membranes):

1. Fully adhered double layer EPDM membrane if exposed to weather
2. TPO where pre-approved by architect in writing

B. Sill pan: Pre-formed, pre-welded solid copper sill pan

MOISTURE RETARDANTS

A. See Foundation for underslab treatments

B. See Wall sections for Plywood Sheathing requirements at walls

C. Roof Underlayment: Ice & Water shield to be installed at entire roof surface.

INSULATION

A. Thicknesses shall achieve the following insulation value minimums:

1. Walls: R-19
2. Ceilings: R-36 -unless insulated attic is above
3. Floors: R-25
4. Floors over exterior: R-25
5. Rafters over conditioned spaces: R-36

B. Exterior Walls: Icenene Open Cell Spray Foam

C. Roof: Icenene Open Cell Spray Foam

D. Underfloor in enclosed Garages: Icenene Open Cell Spray Foam

E. Underfloor at Exteriors: Icenene Closed Cell Spray Foam

F. Rim Joist: Icenene Open Cell Spray Foam

G. Windows/Doors: Low expansion closed-cell spray foam insulation

H. Sound: See interior details

ENVELOPE VENTILATION

A. Ridge vent: N/A

B. Provide make up air as required for appliances

C. Provide make up airs as required for HVAC system

SEALANTS

A. *Sealant Type 1:* Non-sag Polyurethane - Pecora Dynatrol II or Tremco Dymeric Plus. Provide non-sag polyurethane sealant for all exterior joints not indicated to be sealed with another sealant.

B. *Sealant Type 2:* Acrylic Latex - Pecora AC-20, Tremco Acrylic Latex, or Sonneborne Sonolac. Provide acrylic latex sealant for typical interior joints.

C. *Sealant Type 3:* Mildew Resistant Silicone Rubber - Provide Pecora 663, Tremco Proglaze, or General Electric 1700. Provide silicone rubber sealant for all interior joints in wet areas.

D. *Sealant Type 4:* Window and Door Sealant - Provide DAPTEx® Plus Window & Door Foam Sealant or Architect approved equal. Provide low expansion spray foam at all doors and windows to seal all rough opening gaps.

E. Installation: Clean joint surfaces immediately before installation. Remove all substances which could interfere with bond. Etch or roughen joint surfaces to improve bond. Provide backer rods for all liquid sealants to the greatest extents possible. Prevent three-sided adhesion by use of bond breaker tapes or backer rods. Force sealant into joints to provide uniform, dense, continuous ribbons free from gaps and air pockets. Dry tool sealants into joints to form a smooth dense surface. Make joint depth equal joint width for joints up to 1/2" wide. For joints over 1/2" wide, make depth equal to one-half of the joint width. Cure sealants in strict compliance with manufacturers' instructions and recommendations to obtain highest quality surface and maximum adhesion.

FLASHING

A. Material: Metal flashings to be lead coated copper, 20 oz. unless otherwise specified.

B. Fasteners: Same material as flashing or approved for use with flashing material. Conceal all fasteners.

C. Sealant: One-part, copper compatible elastomeric polyurethane, polysulfide, butyl or silicone rubber sealant as tested by sealant manufacturer for copper substrates as required.

D. Joints: All joints in continuous metal flashing should be 1/2" wide lock-seam joints. Simple lap joints are not acceptable. Where required to be waterproof, fill seams with sealant.

E. Metal Accessories: Provide sheet metal clips, straps, anchoring devices, and similar accessory units as required for installation of work, matching or compatible with material being installed, non-corrosive, size and gauge required for performance.

F. Sill Pans: At all exterior doors and windows, with the exception of the Screen Porch doors and panels, provide prefabricated sill pans with pre-molded corners. Sill pans to have raised ribs to allow water drainage, Marvin SillGuard, Weather Out Flashings, or Architect approved equal. Lap and seal sill pans per manufacturer's recommendations.

G. Roof outlets: Provide metal flashing sleeves for all roof penetrations (vent stacks, etc.)

ROOF FINISHES

A. Metal Roofs:

1. 1/4" METALS
1. 1" Snap Lock Panel;
2. Color : TO MATCH ADJACENT CHURCH BUILDING (OLD SANCTUARY)

ROOF ACCESSORIES

A. Gutters: none

B. Roof Fascia: metal kickout flashing

C. Vent Stacks: pvc vent stacks paint to match roof or metal to match roofing.

FOR:
The Historic First African Baptist Church
 70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

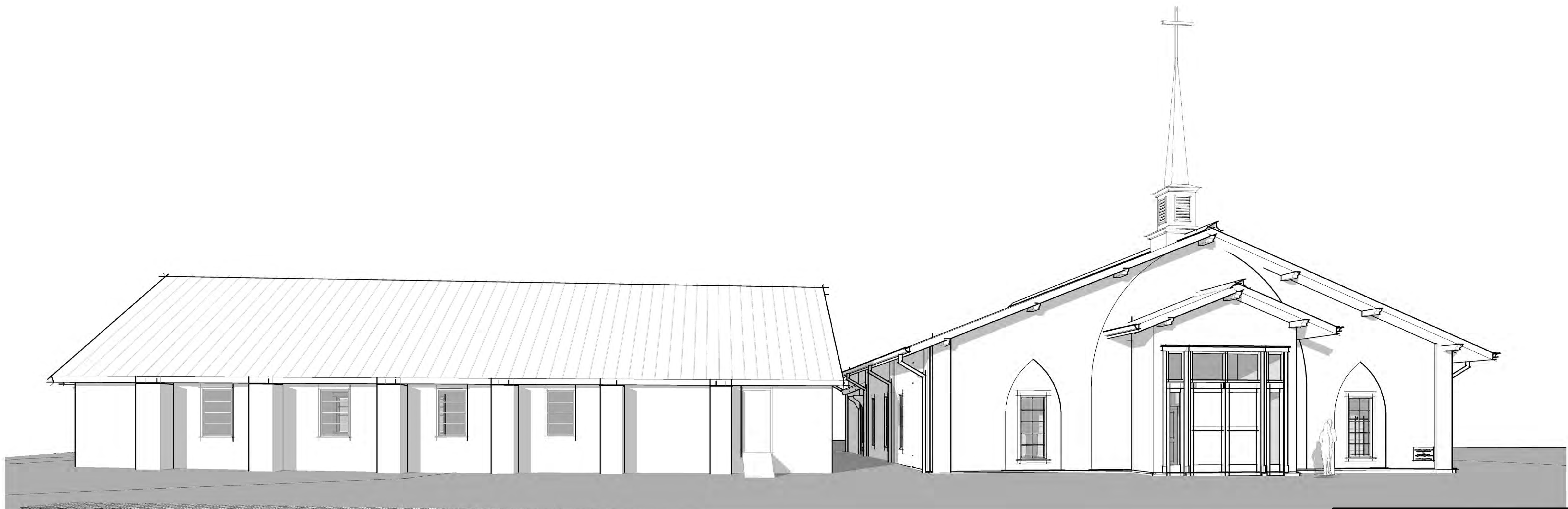
VACCARO ARCHITECTURE, INC.	A-190 ROOF PLAN
--------------------------------------	---------------------------

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 email: mikevaccaro7@yahoo.com
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① FRONT Copy 1
1/8" = 1'-0"



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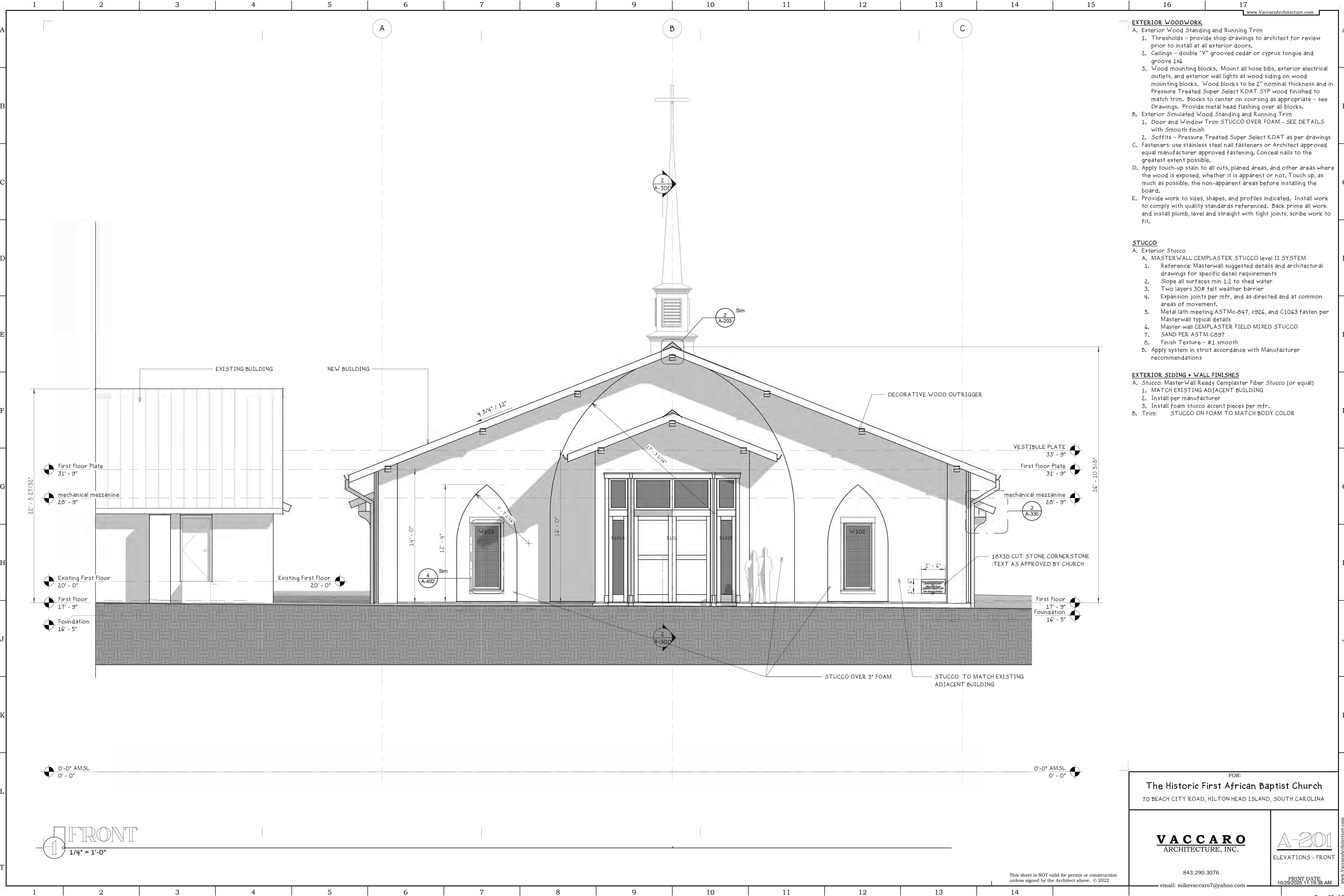
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A-200
ELEVATIONS

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- EXTERIOR WOODWORK**
- A. Exterior Wood Standing and Running Trim
1. Thresholds - provide shop drawings to architect for review prior to install at all exterior doors.
 2. Ceilings - double "V" grooved cedar or cyprus tongue and groove 1x6
 3. Wood mounting blocks. Mount all hose bibs, exterior electrical outlets, and exterior wall lights at wood siding on wood mounting blocks. Wood blocks to be 2" nominal thickness and in Pressure Treated Super Select KDAT SYP wood finished to match trim. Blocks to center on coursing as appropriate - see Drawings. Provide metal head flashing over all blocks.
- B. Exterior Simulated Wood Standing and Running Trim
1. Door and Window Trim STUCCO OVER FOAM - SEE DETAILS with Smooth finish
 2. Soffits - Pressure Treated Super Select KDAT as per drawings
- C. Fasteners: use stainless steel nail fasteners or Architect approved equal manufacturer approved fastening. Conceal nails to the greatest extent possible.
- D. Apply touch-up stain to all cuts, planed areas, and other areas where the wood is exposed, whether it is apparent or not. Touch up, as much as possible, the non-apparent areas before installing the board.
- E. Provide work to sizes, shapes, and profiles indicated. Install work to comply with quality standards referenced. Back prime all work and install plumb, level and straight with tight joints; scribe work to fit.
- STUCCO**
- A. Exterior Stucco
- A. MASTERWALL CEMPLASTER STUCCO level II SYSTEM
1. Reference: Masterwall suggested details and architectural drawings for specific detail requirements
 2. Slope all surfaces min 1:2 to shed water
 3. Two layers 30# felt weather barrier
 4. Expansion joints per mfr, and as directed and at common areas of movement.
 5. Metal lath meeting ASTM C-647, c926, and C1063 fasten per Masterwall typical details
 6. Master wall CEMPLASTER FIELD MIXED STUCCO
 7. SAND PER ASTM C697
 8. Finish Texture - #1 smooth
- B. Apply system in strict accordance with Manufacturer recommendations

- EXTERIOR SIDING + WALL FINISHES**
- A. Stucco: MasterWall Ready Cemplaster Fiber Stucco (or equal)
1. MATCH EXISTING ADJACENT BUILDING
 2. Install per manufacturer
 3. Install foam stucco accent pieces per mfr.
- B. Trim: STUCCO ON FOAM TO MATCH BODY COLOR

- First Floor Plate 31' - 9"
- mechanical mezzanine 26' - 9"
- Existing First Floor 20' - 0"
- First Floor 17' - 9"
- Foundation 16' - 5"

- VESTIBULE PLATE 33' - 9"
- First Floor Plate 31' - 9"
- mechanical mezzanine 26' - 9"
- 16X30 CUT STONE CORNERSTONE :TEXT AS APPROVED BY CHURCH
- First Floor 17' - 9"
- Foundation 16' - 5"

FRONT
1/4" = 1'-0"

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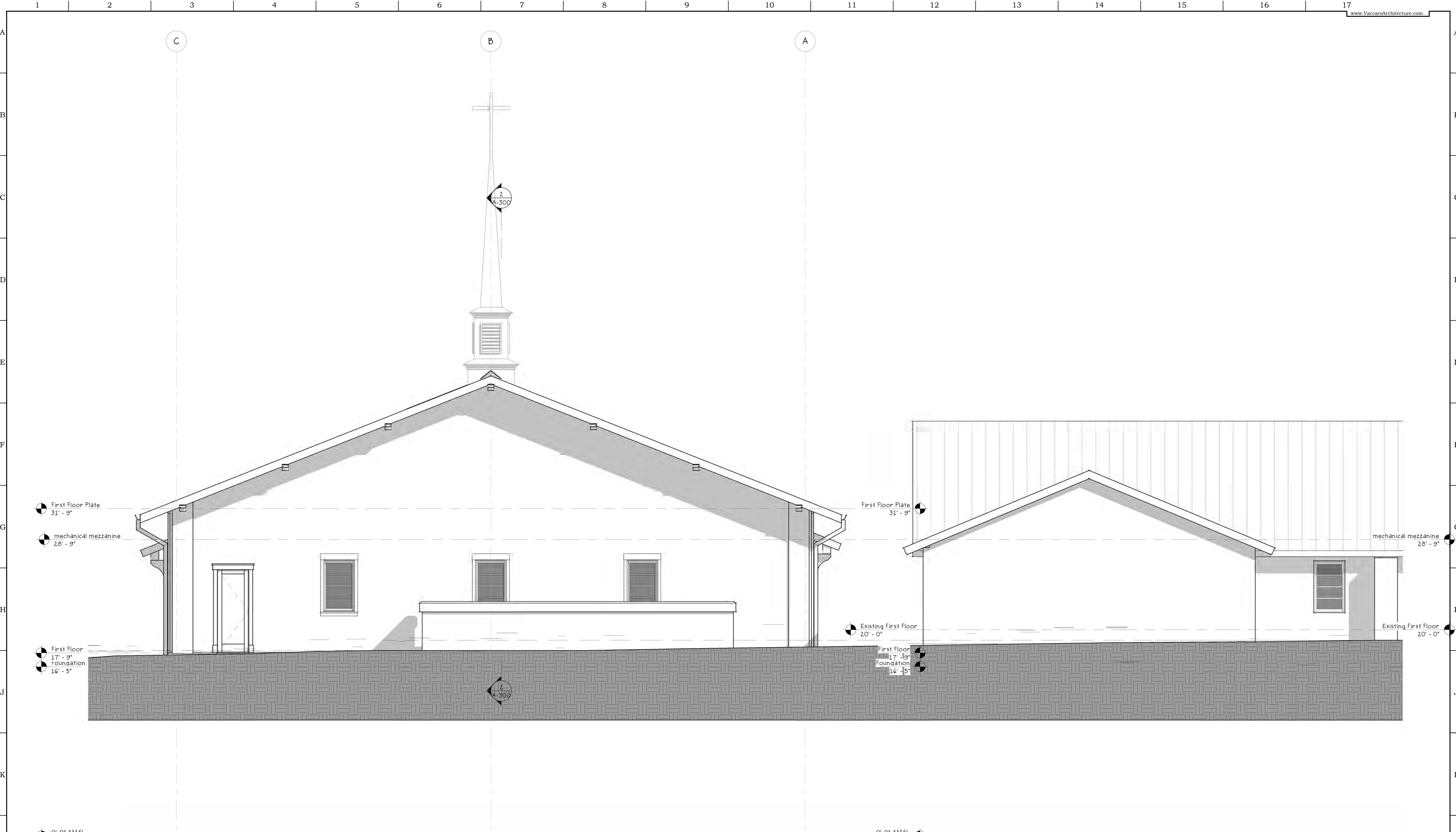
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A-201
ELEVATIONS - FRONT

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First Floor Plate
31' - 9"

mechanical mezzanine
26' - 9"

First Floor
17' - 9"
Foundation
16' - 5"

0'-0" AMSL
0' - 0"

First Floor Plate
31' - 9"

Existing First Floor
20' - 0"

First Floor
17' - 9"
Foundation
16' - 5"

0'-0" AMSL
0' - 0"

mechanical mezzanine
26' - 9"

Existing First Floor
20' - 0"

1 REAR
1/4" = 1'-0"

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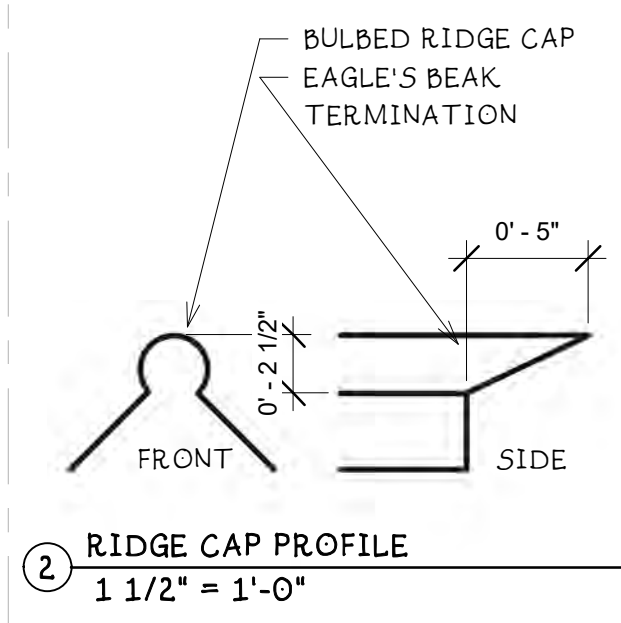
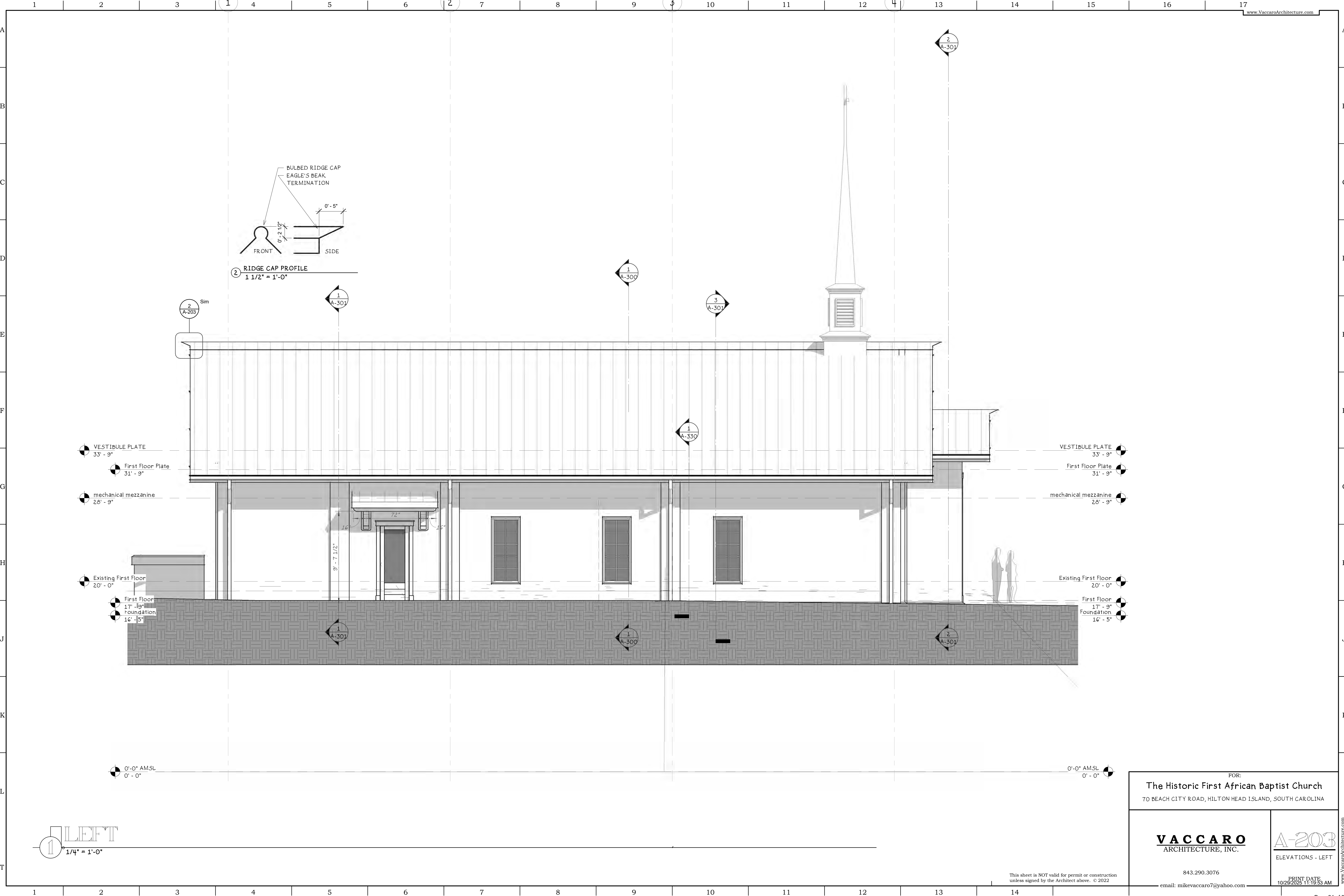
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A-202
ELEVATIONS - REAR

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② RIDGE CAP PROFILE
1 1/2" = 1'-0"

② Sim
A-203

①
A-301

①
A-300

③
A-301

①
A-330

- VESTIBULE PLATE 33' - 9"
- First Floor Plate 31' - 9"
- mechanical mezzanine 26' - 9"
- Existing First Floor 20' - 0"
- First Floor 17' - 9"
- Foundation 16' - 5"
- 0'-0" AM.SL 0' - 0"

- VESTIBULE PLATE 33' - 9"
- First Floor Plate 31' - 9"
- mechanical mezzanine 26' - 9"
- Existing First Floor 20' - 0"
- First Floor 17' - 9"
- Foundation 16' - 5"
- 0'-0" AM.SL 0' - 0"

① LEFT
1/4" = 1'-0"

FOR:
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70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

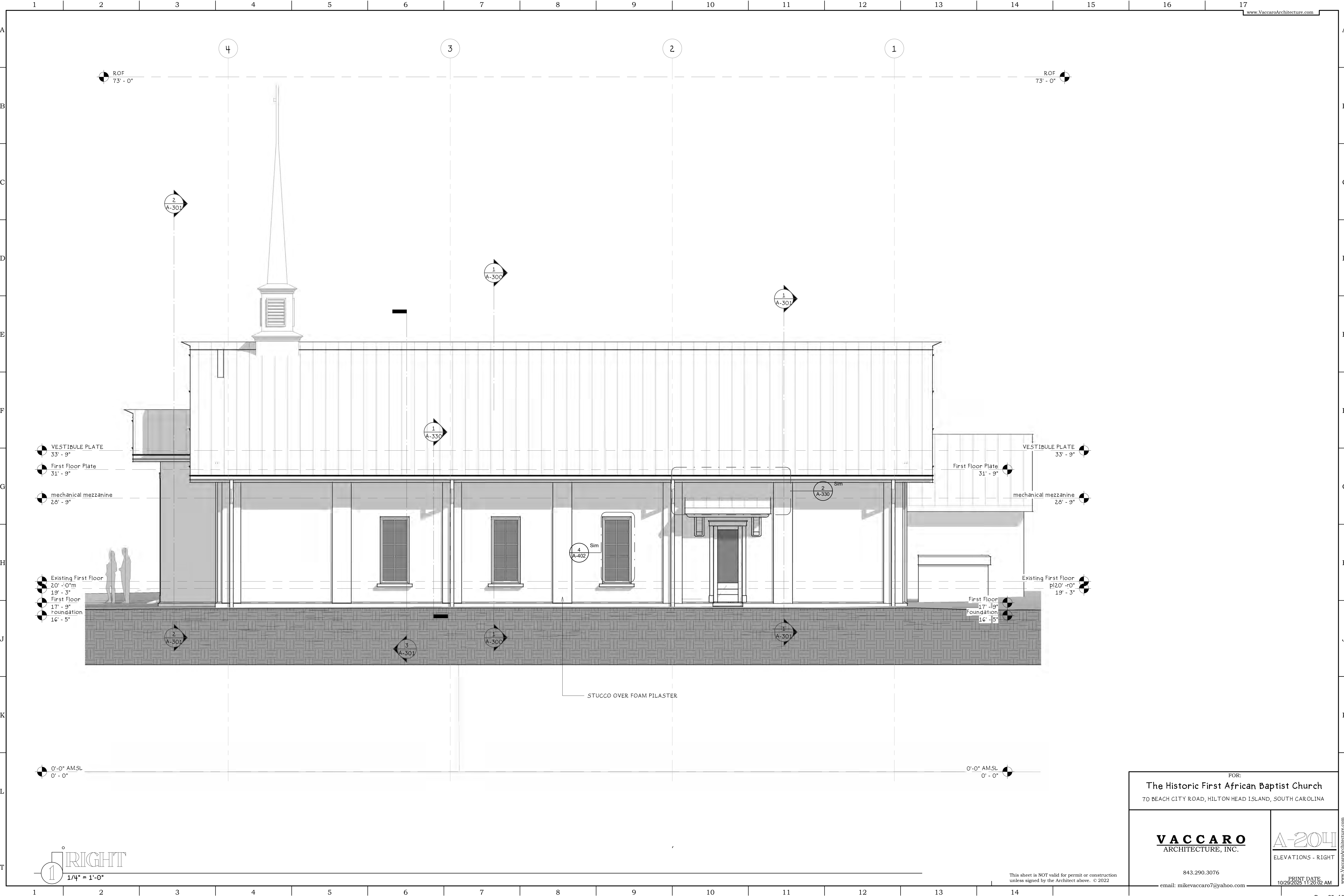
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A-203
ELEVATIONS - LEFT

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● ROOF 73' - 0"
 ● VESTIBULE PLATE 33' - 9"
 ● First Floor Plate 31' - 9"
 ● mechanical mezzanine 26' - 9"
 ● Existing First Floor 19' - 3"
 ● Foundation 16' - 5"
 ● 0'-0" AMSL
 ● 0'-0"

● ROOF 73' - 0"
 ● VESTIBULE PLATE 33' - 9"
 ● First Floor Plate 31' - 9"
 ● mechanical mezzanine 26' - 9"
 ● Existing First Floor 19' - 3"
 ● Existing First Floor 19' - 3"
 ● Foundation 16' - 5"
 ● 0'-0" AMSL
 ● 0'-0"

STUCCO OVER FOAM PILASTER

1
 RIGHT
 1/4" = 1'-0"

FOR:
The Historic First African Baptist Church
 70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

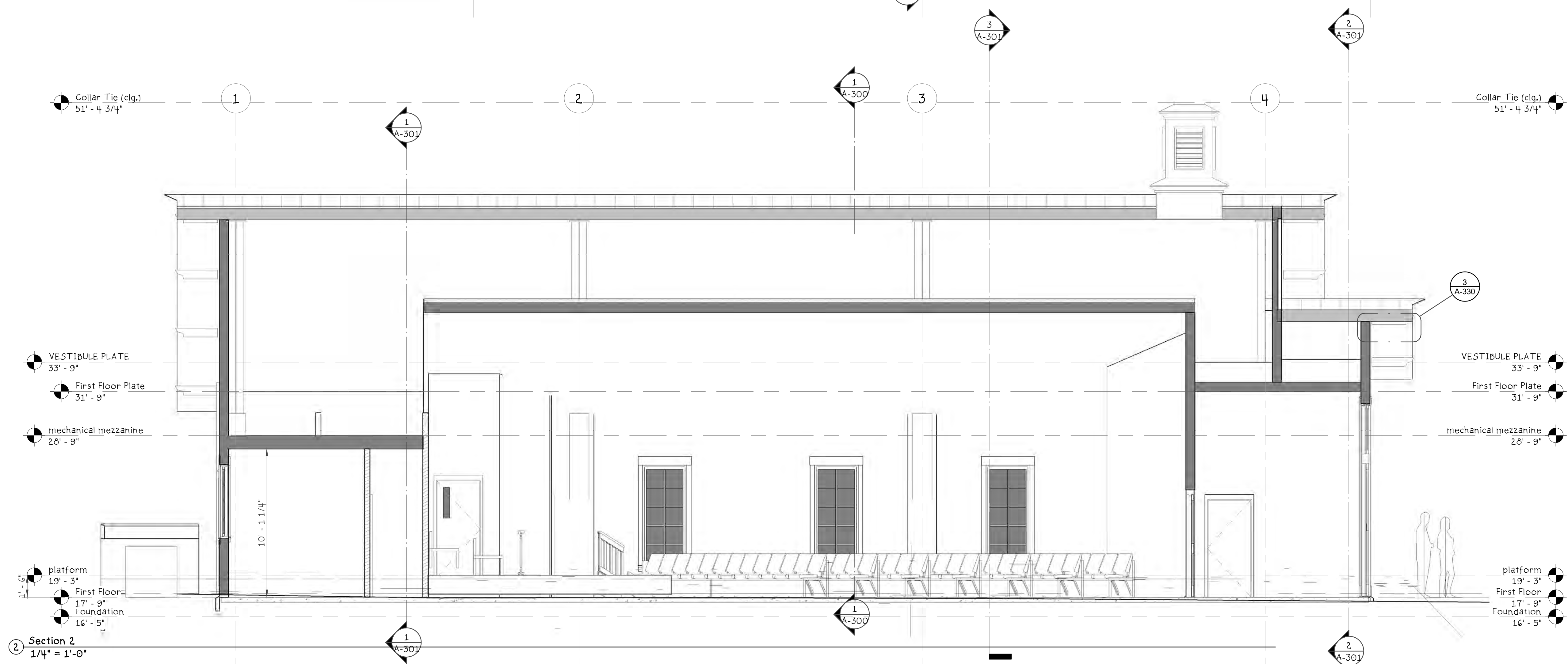
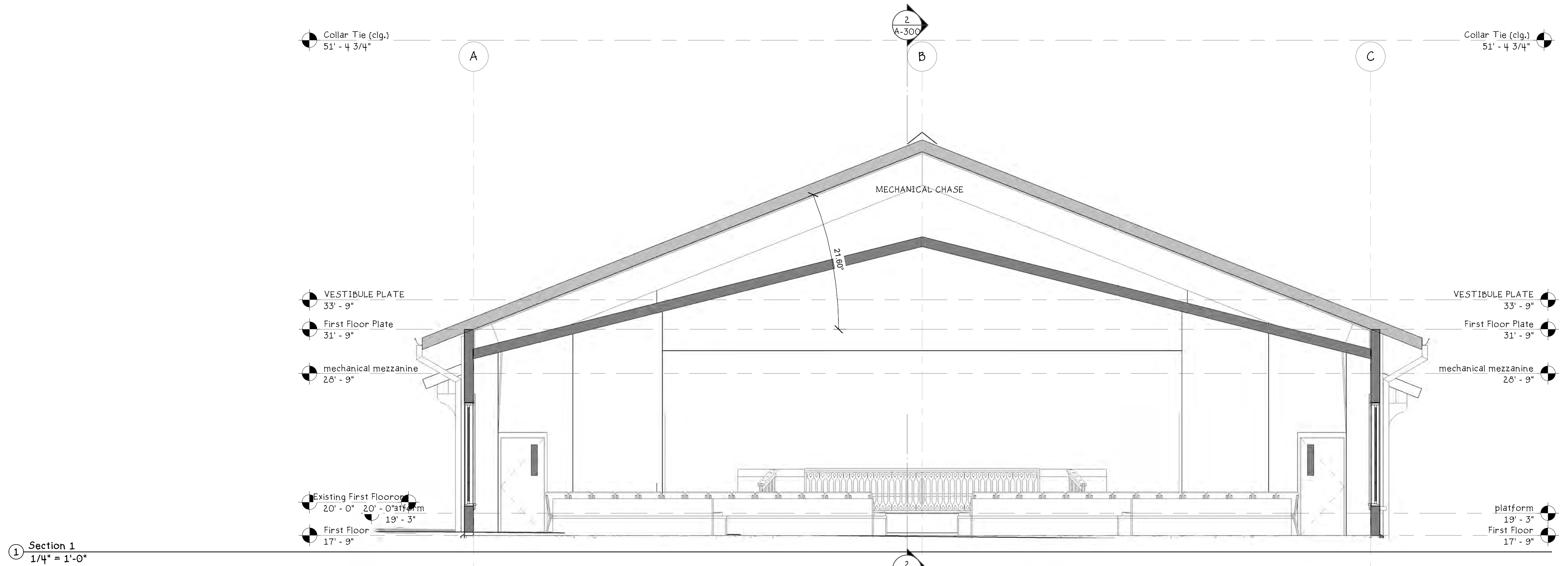
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A-204
 ELEVATIONS - RIGHT

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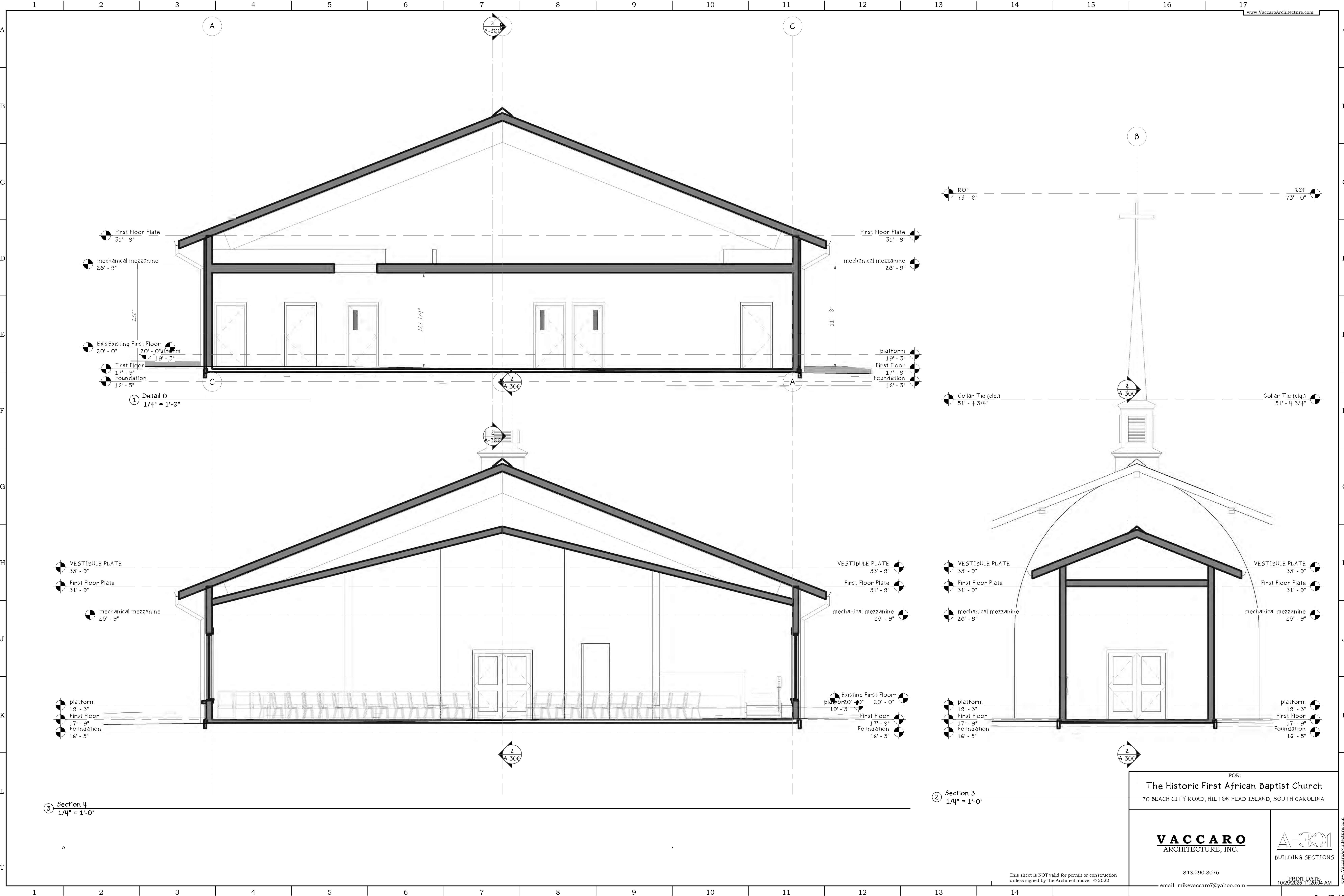
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A-300
 BUILDING SECTIONS

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1 Detail 0
1/4" = 1'-0"

3 Section 4
1/4" = 1'-0"

2 Section 3
1/4" = 1'-0"

FOR:
The Historic First African Baptist Church
70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

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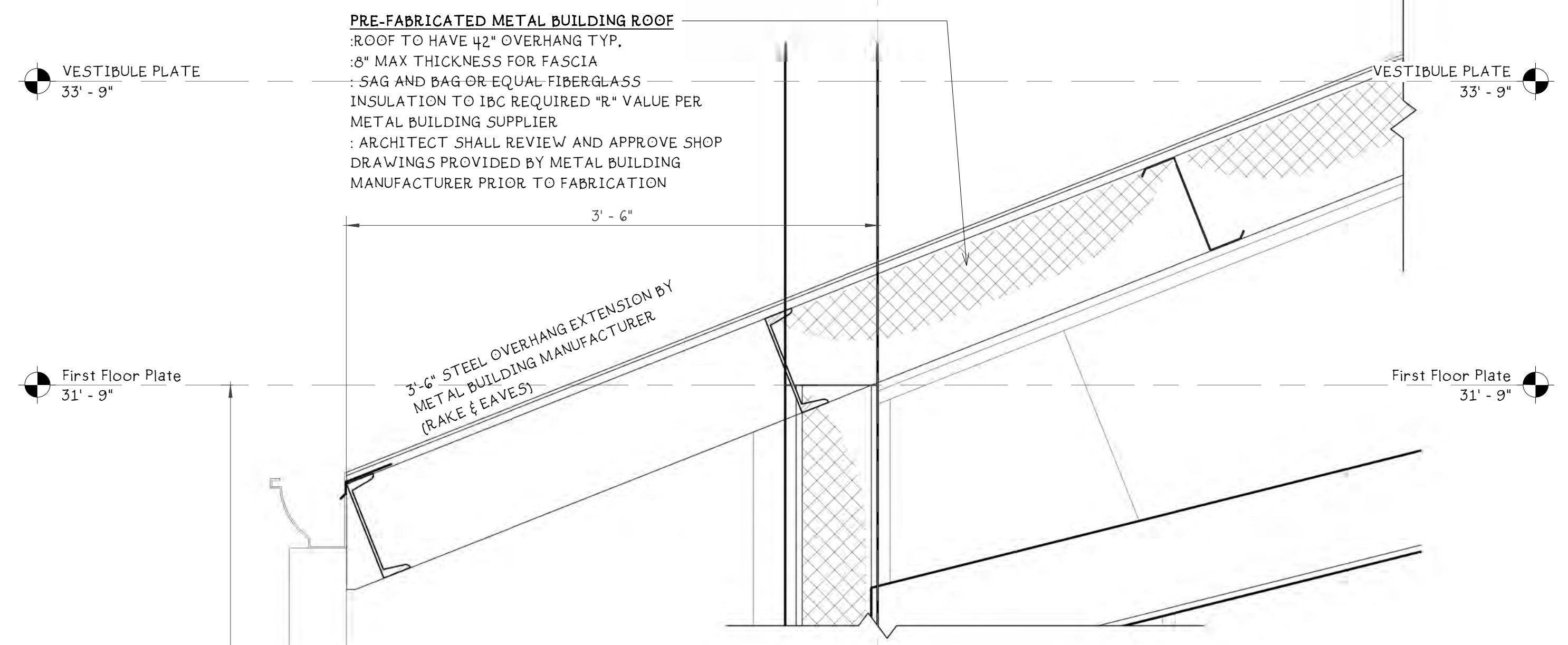
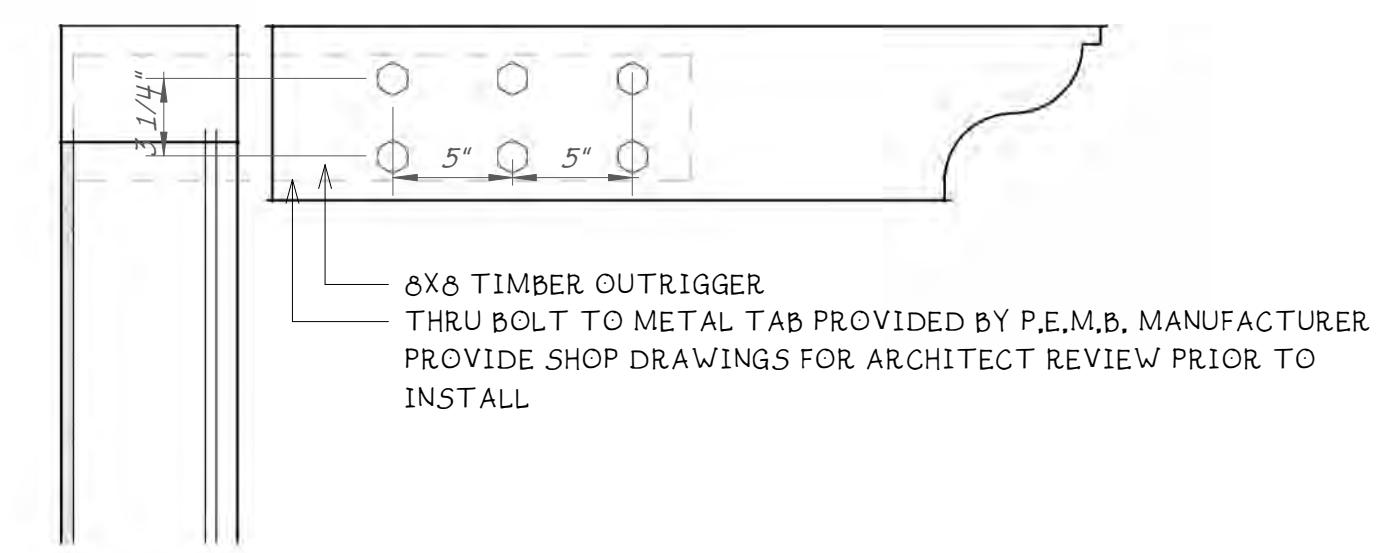
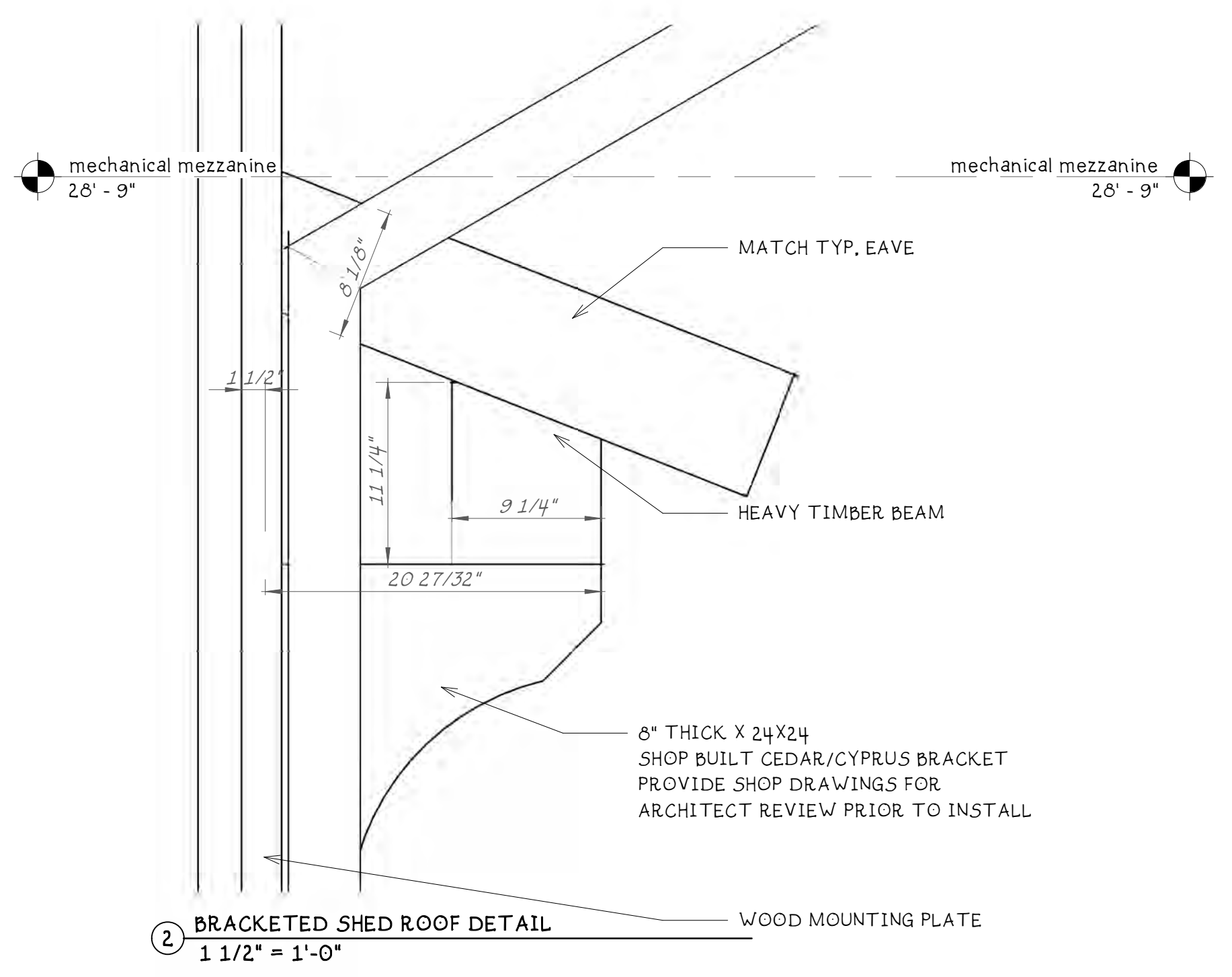
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BUILDING SECTIONS

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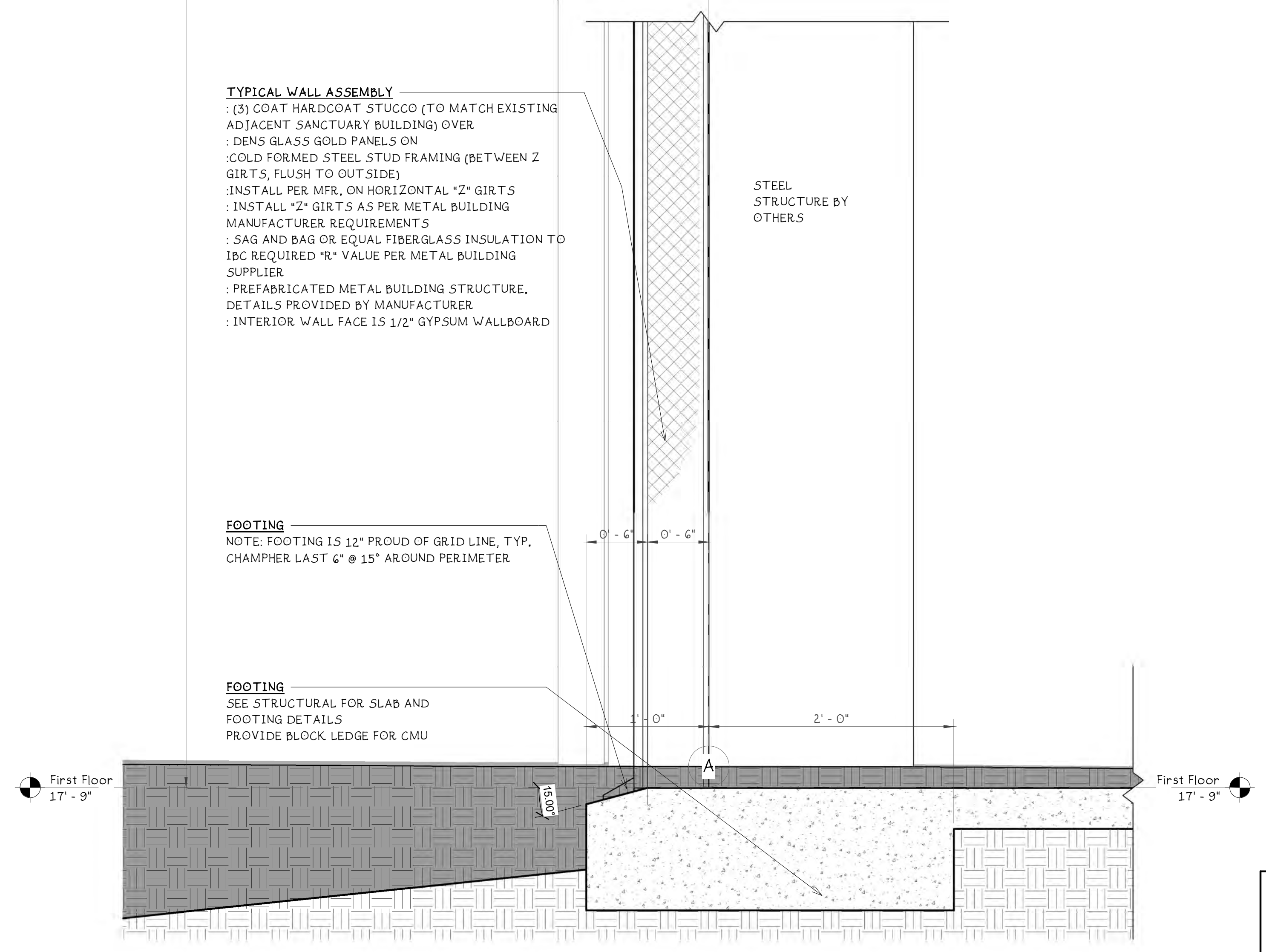


TYPICAL WALL ASSEMBLY
 : (3) COAT HARDCOAT STUCCO (TO MATCH EXISTING
 ADJACENT SANCTUARY BUILDING) OVER
 : DENS GLASS GOLD PANELS ON
 : GOLD FORMED STEEL STUD FRAMING (BETWEEN Z
 GIRTS, FLUSH TO OUTSIDE)
 : INSTALL PER MFR. ON HORIZONTAL "Z" GIRTS
 : INSTALL "Z" GIRTS AS PER METAL BUILDING
 MANUFACTURER REQUIREMENTS
 : SAG AND BAG OR EQUAL FIBERGLASS INSULATION TO
 IBC REQUIRED "R" VALUE PER METAL BUILDING
 SUPPLIER
 : PREFABRICATED METAL BUILDING STRUCTURE,
 DETAILS PROVIDED BY MANUFACTURER
 : INTERIOR WALL FACE IS 1/2" GYPSUM WALLBOARD

STEEL
STRUCTURE BY
OTHERS

FOOTING
 NOTE: FOOTING IS 12" PROUD OF GRID LINE, TYP.
 CHAMFER LAST 6" @ 15° AROUND PERIMETER

FOOTING
 SEE STRUCTURAL FOR SLAB AND
 FOOTING DETAILS
 PROVIDE BLOCK LEDGE FOR CMU



FOR:
The Historic First African Baptist Church
 70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

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A-330
 WALL SECTIONS

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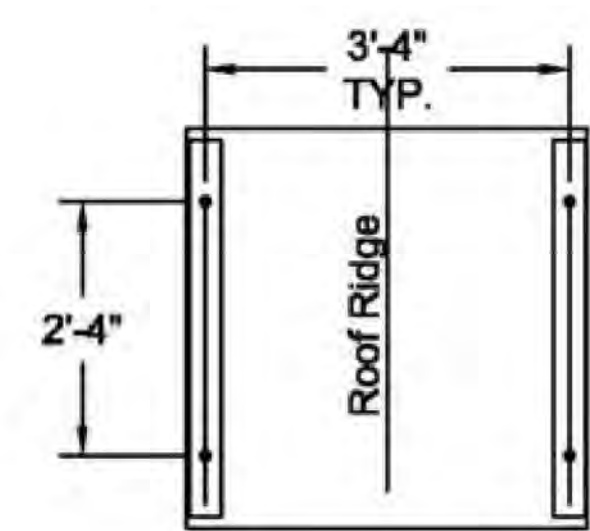
Steeple Data
 Base Width: 3'-8"
 Steeple Height: 18'-0"
 Weight: 450 lbs
 One Piece Steeple Unit

Available Options

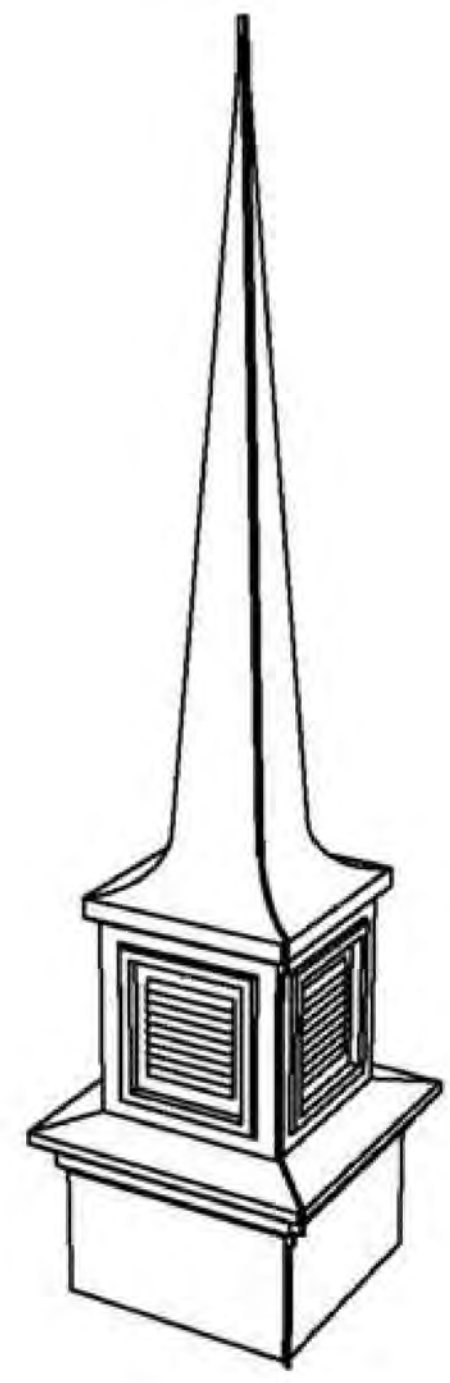
- 2' or 3' Aluminum Cross
- 8" Ball
- Lightning Protection

ALL STEEPLES MUST BE MOUNTED ON A COMPLETED WATERPROOF ROOF SYSTEM AS LONG-TERM INSURANCE AGAINST LEAKAGE.

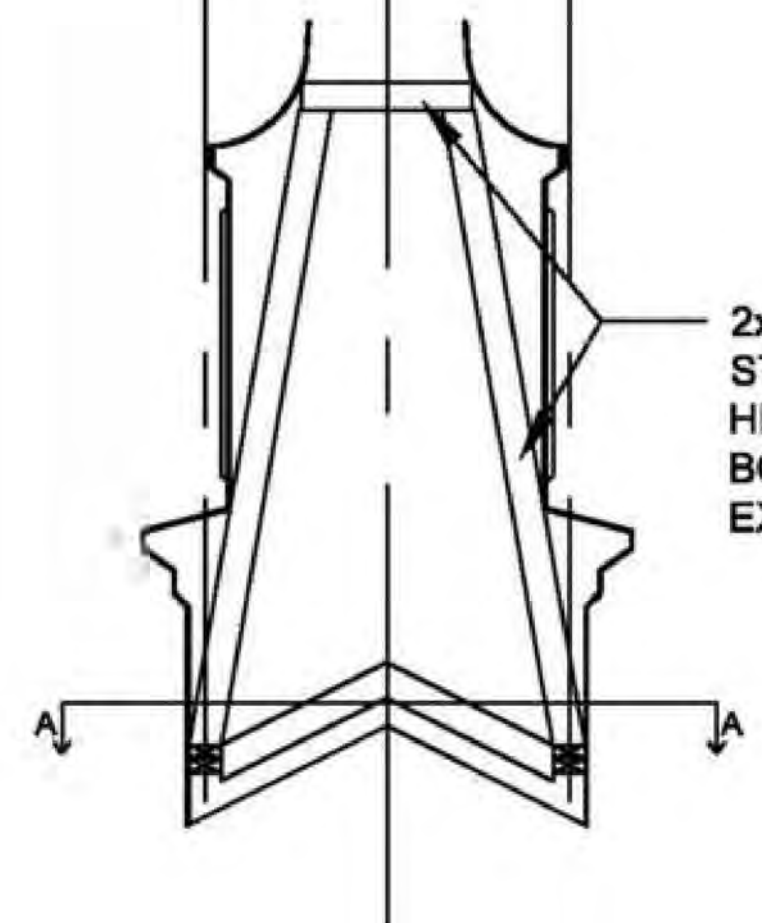
Note: Steeple Tip will be reduced by approx. 14" when Adding Optional Cross



Plan View A-A
 Scale: 3/8" = 1'-0"

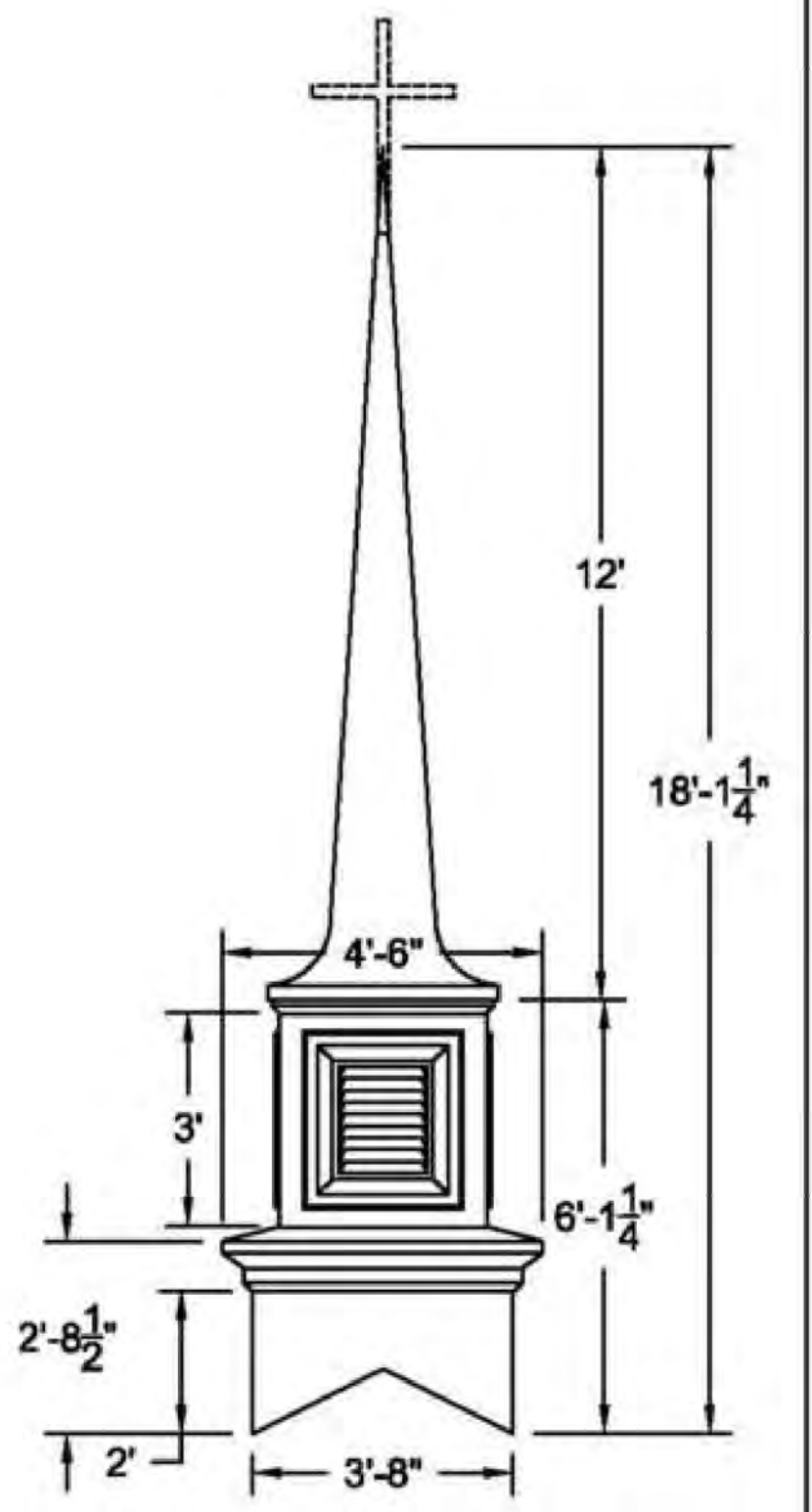


3D-View



2x4 INTERIOR STRUCTURE WITH HEAVY LAMINATED BONDED TO FRP EXTERIOR

Interior Support Detail
 Scale: 3/8" = 1'-0"



ELEVATION
 Scale: 1/4" = 1'-0"

Drawings are property of Fiberglass Unlimited, Inc. Dimensions may change slightly to accommodate manufacturing.

STEEPLES	FIBERGLASS UNLIMITED, INC	183 Industrial Ave.
MODEL 24B	Phone: 1-800-837-6211 Fax: 334-863-7975 Email: info@FiberG.com	Roanoke, Alabama 36274

① STEEPLE
 1" = 1'-0"

FOR:
The Historic First African Baptist Church
 70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

VACCARO
 ARCHITECTURE, INC.

A-331
 STEEPLE

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Mark	Door Panel Type	Operation	Number of Leafs	Door Slab Shape	Panel Shape	Panel Layout (Horiz/Vert)	Divided Lites (High/Wide)	Transom Lites (High/Wide)	Room to Room	DOOR CONSTRUCTION										HARDWARE		TRIM		MATERIALS							PERFORMANCE					Comments											
										Door Slab Size; Width x Height x Thickness	Transom Width x Height	Lock Rail Height	Jambs (Width x Thickness)	Frame Assembly Size (W x H)	Rough Opening (WxH) (calculated from subfloor)	Square Top Frame	Segment Archtop Frame	Circle Top Frame	Structural Mull Height	Vertical Structural Mull	Floor Clearance	Finish Floor Thickness	Threshold Thickness	Undercut	Exterior Handle	Interior Handle	Lock and Latches	Hinges	Ironmongery Notes	EXT CASE	INT CASE	Door Slab Material	Style and Rail Material	Panel Material	Glass Material		Muntin Material	Door Frame Material	Threshold Type	Exterior Casing Material	Structural Mullion Material	Interior Casing Material	THERMAL				
																																											SHGC	Orientation	Panel Area (SQ. FT.)	R Value	U Factor
E101	Full Panel with Transom	DOUBLE SWING	2	S	PS	2 / 1	1 / 1	1 / 1	from:VESTIBULE	48" x 106" x 1 3/4"	48"x40"	8"	6 9/16" x 3/4"	97.5" x 156"	98" x 156 1/4"	Yes	No	No	8"	No	1/2"	3/4"	3/4"	1 1/4"			Wood	Wood	Wood	Glass	Wood	Wood	Wood	Wood	Wood	Wood	Wood	.19	36.00	2	.40	55					
E101A	Full Glass with Transom	SINGLE SWING	1	S	PS		1 / 1	1 / 1	from:VESTIBULE	24" x 106" x 1 3/4"	24"x40"	8"	6 9/16" x 3/4"	25.5" x 156"	26" x 156 1/4"	Yes	No	No	8"	No	1/2"	3/4"	3/4"	1 1/4"			Wood	Wood	Wood	Glass	Wood	Wood	Wood	Wood	Wood	Wood	Wood	.19	16.00	2	.40	55					
E101B	Full Glass with Transom	SINGLE SWING	1	S	PS		1 / 1	1 / 1	to:VESTIBULE	24" x 106" x 1 3/4"	24"x40"	8"	6 9/16" x 3/4"	25.5" x 156"	26" x 156 1/4"	Yes	No	No	8"	No	1/2"	3/4"	3/4"	1 1/4"			Wood	Wood	Wood	Glass	Wood	Wood	Wood	Wood	Wood	Wood	Wood	.19	16.00	2	.40	55					
E106	Panel and Glass	SINGLE SWING	1	S	PS	1 / 1	1 / 1	1 / 1	from:HALL	36" x 96" x 1 3/4"		8"	6 9/16" x 3/4"	37.5" x 96"	36" x 96 1/4"	Yes	No	No		No	1/2"	3/4"	3/4"	1 1/4"			Wood	Wood	Wood	Glass	Wood	Wood	Wood	Wood	Wood	Wood	Wood	.19	24.00	2	.40	55					
E116	Panel and Glass	SINGLE SWING	1	S	PS	1 / 1	1 / 1	1 / 1	from:HALL	36" x 96" x 1 3/4"		8"	6 9/16" x 3/4"	37.5" x 96"	36" x 96 1/4"	Yes	No	No		No	1/2"	3/4"	3/4"	1 1/4"			Wood	Wood	Wood	Glass	Wood	Wood	Wood	Wood	Wood	Wood	Wood	.19	24.00	2	.40	55					
E123																																															
E124									from:SANCTUARY to:MEN'S RESTROOM																																						
E125																																															
E128	Full Panel	SINGLE SWING	1	S	PS	1 / 1			from:RISER	36" x 96" x 1 3/4"		8"	6 9/16" x 3/4"	37.5" x 96"	36" x 96 1/4"	Yes	No	No		No	1/2"	3/4"	3/4"	1 1/4"		Steel	DS 1	Steel	G1	DS 1	Wood		Wood	DF 1	TR 2	.19	24.00	2	.40	55	FLUSH PANEL EXTERIOR STEEL DOOR						
Grand total: 9																																															

Mark	Family and Type	Height	Width	Room to Room	Comments
102	Door-Passage-Single-Flush: 36" x 80"	6' - 8"	3' - 0"	from:VESTIBULE to:MEN'S RESTROOM	
103	Door-Passage-Single-Flush: 36" x 80"	6' - 8"	3' - 0"	from:WOMEN'S RESTROOM to:VESTIBULE	
104	Door-Exterior-Double-Two-Lite: 72" x 84"	7' - 0"	6' - 0"	from:VESTIBULE to:SANCTUARY	
105	Door-Passage-Single-Vision-Lite: 36" x 80"	6' - 8"	3' - 0"	from:SANCTUARY to:HALL	
109	Door-Passage-Single-Vision-Lite: 36" x 80"	6' - 8"	3' - 0"	from:HALL to:ADMINISTRATIVE	
110	Door-Passage-Single-Flush: 36" x 80"	6' - 8"	3' - 0"	from:CLOSET to:HALL	
111	Door-Passage-Single-Vision-Lite: 36" x 80"	6' - 8"	3' - 0"	from:SANCTUARY to:HALL	
112	Door-Passage-Single-Vision-Lite: 36" x 80"	6' - 8"	3' - 0"	from:HALL to:PASTOR OFFICE	
117	Door-Passage-Single-Vision-Lite: 36" x 80"	6' - 8"	3' - 0"	from:HALL to:SANCTUARY	
123	Door-Passage-Single-Flush: 36" x 80"	6' - 8"	3' - 0"	from:MOP to:HALL	
124	Door-Passage-Single-Vision-Lite: 36" x 80"	6' - 8"	3' - 0"	from:MULTI-PURPOSE ROOM to:HALL	
125	Door-Passage-Single-Flush: 36" x 80"	6' - 8"	3' - 0"	from:ELECTRICAL to:HALL	
126	Door-Passage-Single-Flush: 36" x 80"	6' - 8"	3' - 0"	from:ADA RESTROOM to:HALL	
D119	Door-Passage-Single-Vision-Lite: 36" x 80"	6' - 8"	3' - 0"	from:HALL to:SANCTUARY	
D120	Door-Passage-Single-Flush: 36" x 80"	6' - 8"	3' - 0"	from:CLOSET to:HALL	
D121	Door-Passage-Single-Flush: 30" x 80"	6' - 8"	2' - 6"	from:BATHROOM to:PASTOR OFFICE	
D124	Door-Passage-Single-Flush: 36" x 80"	6' - 8"	3' - 0"	to:MEN'S RESTROOM	
Grand total: 17					

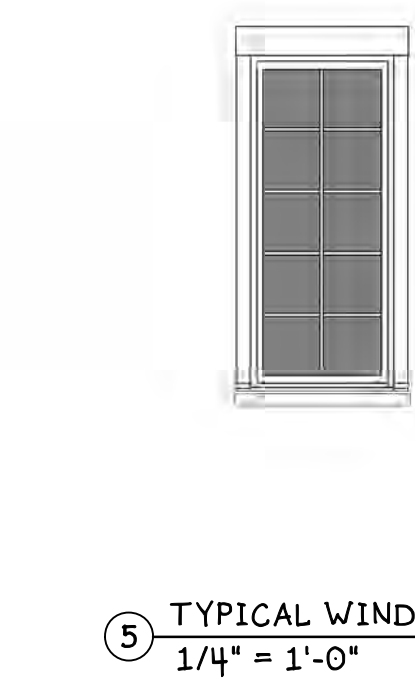
NOTE:
 ALL INTERIOR DOORS ARE PREFINISHED SOLID CORE WOOD DOORS IN HOLLOW METAL FRAMES
 INSTALL IN ACCORDANCE WITH Hollow Metal Manufacturers Association Division (HMMA) of the National Association of Architectural Metal Manufacturers (NAAMM) AND
 INSTALL PER ANSI AND NAAMM STANDARDS FOR HOLLOW METAL DOOR FRAMES



① INTERIOR DOOR TYPES 1/4" = 1'-0"
 ① - ENTRY DOOR 1/4" = 1'-0"
 ② SIDE DOORS 1/4" = 1'-0"
 ③ RISER ROOM DOOR 1/4" = 1'-0"

Number	Name	Level	Area	Perimeter	Floor Finish	Base Finish	Base Offset	Wall Finish	Ceiling Finish	Volume	Comments
010	SANCTUARY	First Floor	2687 SF	215' - 10 29/32"	CARPET		0' - 0"			21975.75 CF	
011	MULTI-PURPOSE ROOM	First Floor	144 SF	49' - 7"	CARPET		0' - 0"			1452.49 CF	
014	HALL	First Floor	376 SF	162' - 10"	CARPET		0' - 0"			4252.04 CF	
016	VESTIBULE	First Floor	169 SF	52' - 7"			0' - 0"			2371.25 CF	
021	ADMINISTRATIVE	First Floor	84 SF	36' - 11"	CARPET		0' - 0"			830.81 CF	
024	SOUND PLATFORM	First Floor	65 SF	42' - 2 31/32"	WOOD		0' - 0"			1015.63 CF	
025	MEN'S RESTROOM	First Floor	187 SF	70' - 5 7/8"			0' - 0"			1938.08 CF	
026	WOMEN'S RESTROOM	First Floor	196 SF	70' - 5 7/8"			0' - 0"			2027.65 CF	
027	CLOSET	First Floor	6 SF	10' - 8 13/32"			0' - 0"			87.67 CF	
028	CLOSET	First Floor	6 SF	10' - 3 1/4"			0' - 0"			81.89 CF	
029	BATHROOM	First Floor	45 SF	28' - 4"			0' - 0"			449.26 CF	
030	PASTOR OFFICE	First Floor	129 SF	46' - 4"	CARPET		0' - 0"			1288.48 CF	
034	MOP	First Floor	8 SF	11' - 4"			0' - 0"			77.40 CF	
035	ADA RESTROOM	First Floor	67 SF	33' - 1"			0' - 0"			664.64 CF	
036	RISER	First Floor	43 SF	26' - 4"			0' - 0"			433.43 CF	
037	ELECTRICAL	First Floor	21 SF	20' - 5"			0' - 0"			216.71 CF	

Mark	(#) Mulls	Type	Window Width (Unit)	Window Height (Unit -w/o Transom)	Head Height	Glass Area	R Value	U Factor	DP Rating	Comments
101	(1) Single	Fixed	3' - 0"	7' - 0"	8' - 4 5/16"	16 SF				
102	(1) Single	Fixed	3' - 0"	7' - 0"	8' - 4 5/16"	16 SF				
107	(1) Single	Fixed	3' - 0"	5' - 0"	9' - 0"	11 SF				
108	(1) Single	Fixed	3' - 0"	5' - 0"	9' - 0"	11 SF				
109	(1) Single	Fixed	3' - 0"	5' - 0"	9' - 0"	11 SF				
111	(1) Single	Fixed	3' - 0"	7' - 0"	9' - 0"	16 SF				
112	(1) Single	Fixed	3' - 0"	7' - 0"	9' - 0"	16 SF				
113	(1) Single	Fixed	3' - 0"	7' - 0"	9' - 0"	16 SF				
115	(1) Single	Fixed	3' - 0"	5' - 0"	6' - 8"	11 SF				
116	(1) Single	Fixed	3' - 0"	5' - 0"	6' - 8"	11 SF				
119	(1) Single	Fixed	3' - 0"	5' - 0"	6' - 8"	11 SF				
120	(1) Single	Fixed	3' - 0"	5' - 0"	6' - 8"	11 SF				
121	(1) Single	Fixed	3' - 0"	5' - 0"	6' - 8"	11 SF				
122	(1) Single	Fixed	3' - 0"	5' - 0"	6' - 8"	11 SF				
123	(1) Single	Fixed	3' - 0"	5' - 0"	6' - 8"	11 SF				
124	(1) Single	Fixed	3' - 0"	7' - 0"	9' - 0"	16 SF				
125	(1) Single	Fixed	3' - 0"	7' - 0"	9' - 0"	16 SF				
126	(1) Single	Fixed	3' - 0"	7' - 0"	9' - 0"	16 SF				
Grand total: 16 237 SF										



⑤ TYPICAL WINDOW 1/4" = 1'-0"

FOR:
The Historic First African Baptist Church
 70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

VACCARO
 ARCHITECTURE, INC.

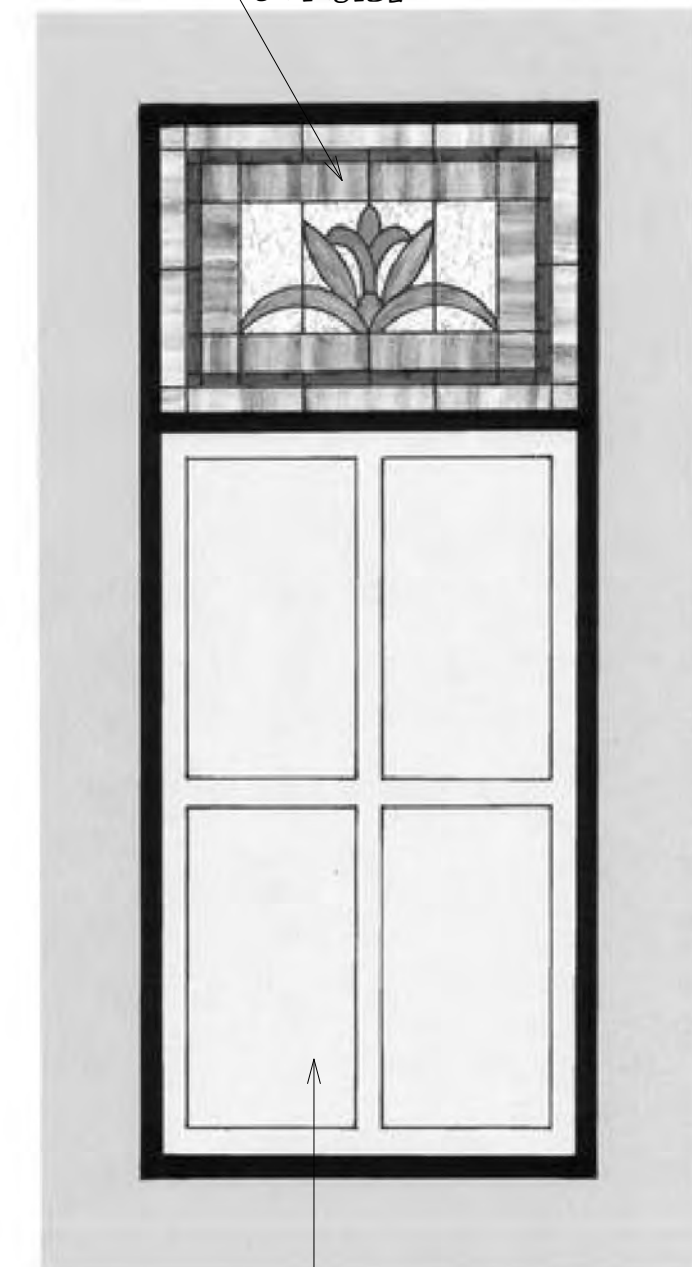
843.290.3076
 email: mikevaccaro7@yahoo.com

A-401
 DOOR & WINDOW SCHEDULES

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TYPICAL STAINED GLASS INSERT FOR FULL HEIGHT WINDOWS ON INSIDE

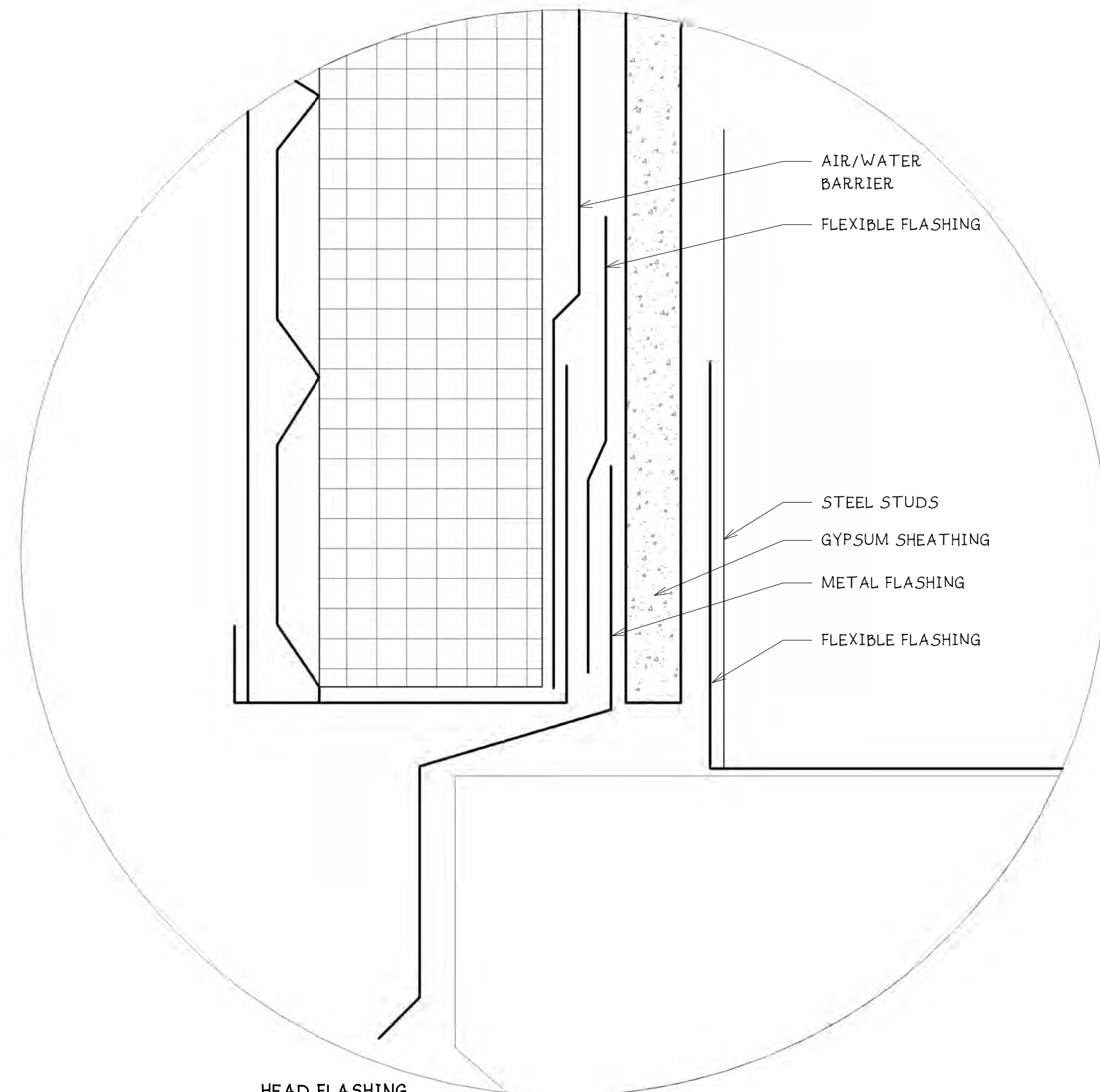


TYPICAL STAINED GLASS INSERT FOR TWO FRONT WINDOWS AT RESTROOMS ON INSIDE

100% OPAQUE GLASS IN BLACK ON BOTTOM PORTION

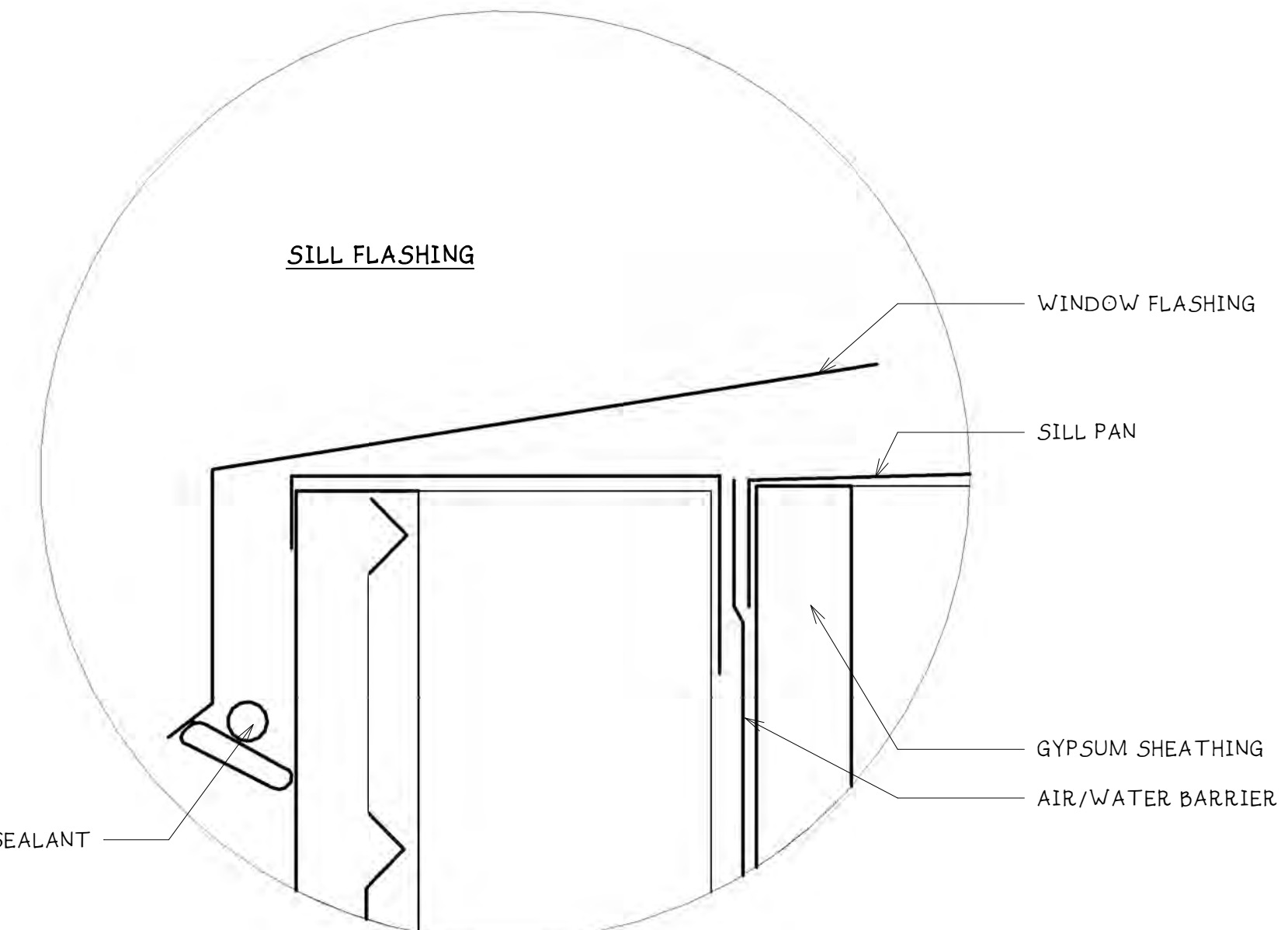
PROVIDE SHOP DRAWINGS FOR REVIEW PRIOR TO INSTALL

4 Stained Glass Window Detail
1" = 1'-0"



HEAD FLASHING

1 HEAD FLASHING DETAIL
6" = 1'-0"



SILL FLASHING

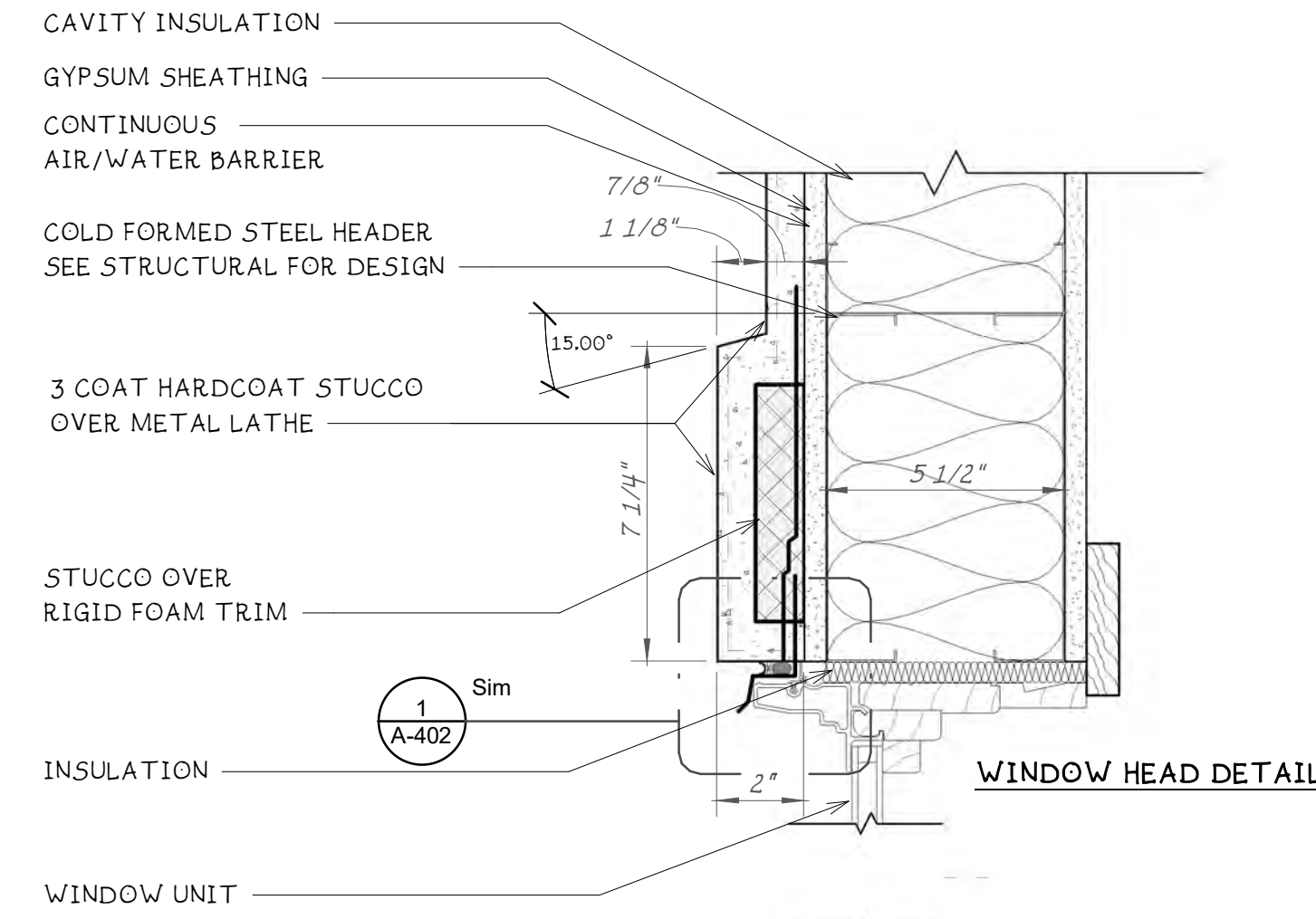
2 WINDOW SILL FLASHING
6" = 1'-0"

NOTE: DOOR HEADER AND JAMB FLASHING AND TRIM DETAILS ARE SIMILAR TO WINDOW HEAD AND JAMB DETAILS

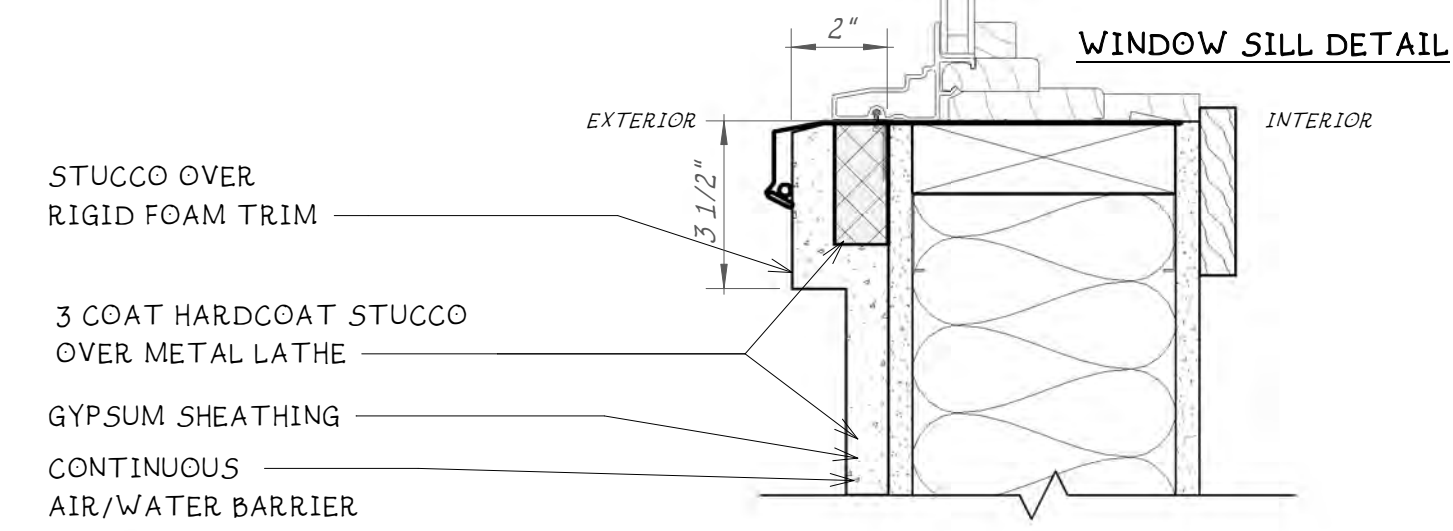
WRAP WINDOW ROUGH OPENING WITH APPROPRIATE FLEXIBLE FLASHING MATERIAL, MAINTAIN A MINIMUM 3" FLEXIBLE FLASHING RETURN UNTO EACH ADJACENT SURFACE.

STEEL STUD SPACING FOR STUCCO IS 16" O.C.

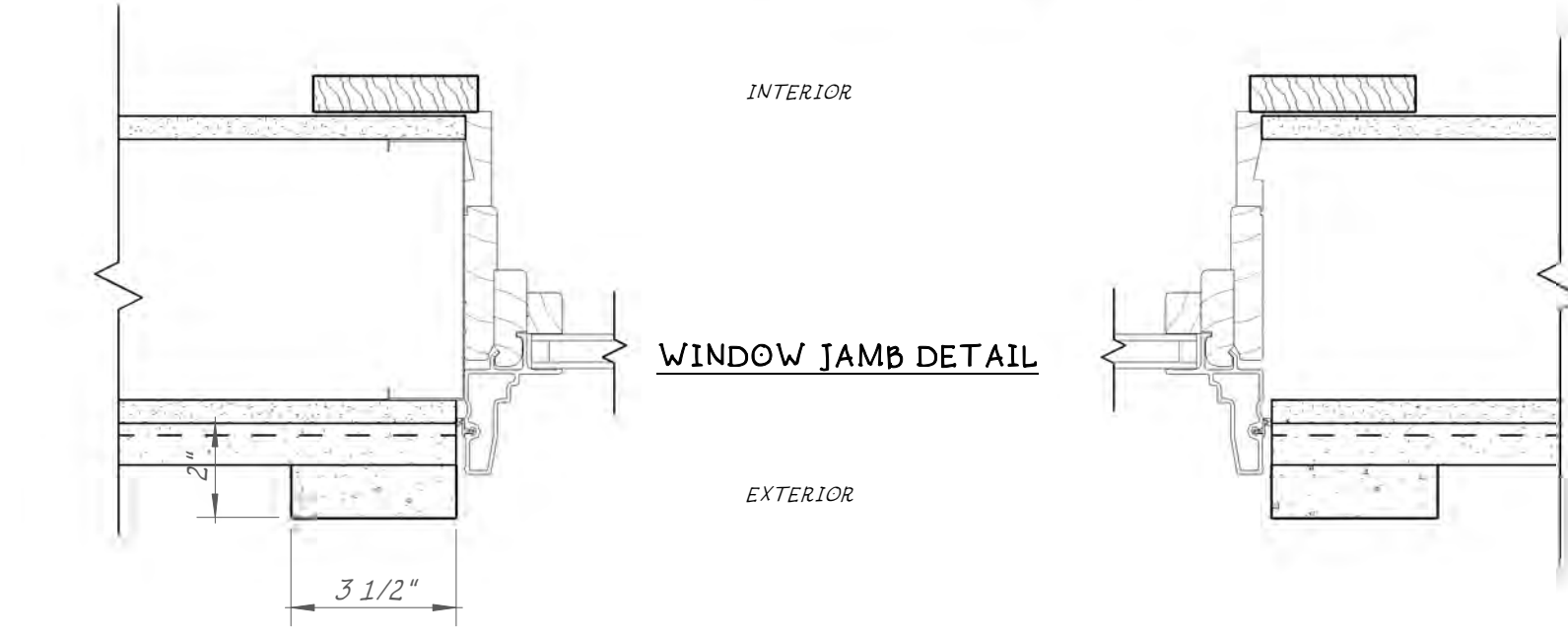
INSTALL CEMENT PLASTER, LATH, AND ACCESSORIES INCLUDING CONTROL JOINTS IN ACCORDANCE WITH ASTM C 926 STANDARD SPECIFICATION FOR APPLICATION OF PORTLAND CEMENT-BASED PLASTER & ASTM C 1063 STANDARD SPECIFICATION FOR INSTALLATION OF LATHING AND FURRING TO RECEIVE INTERIOR AND EXTERIOR PORTLAND CEMENT-BASED PLASTER



WINDOW HEAD DETAIL



WINDOW SILL DETAIL



WINDOW JAMB DETAIL

3 WINDOW DETAILS
3" = 1'-0"

FOR:
The Historic First African Baptist Church
70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

VACCARO
ARCHITECTURE, INC.

843.290.3076

email: mikevaccaro7@yahoo.com

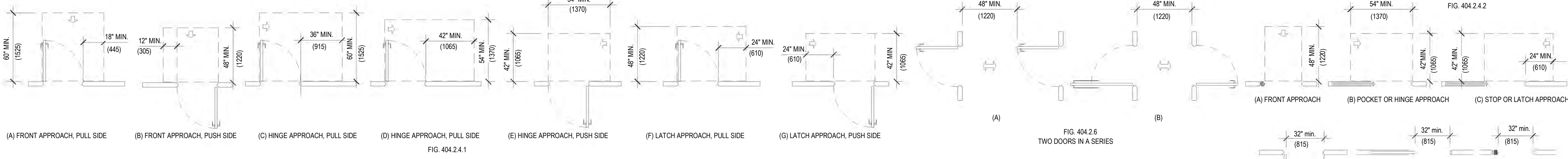
A-402

DOOR & WINDOW
DETAILS

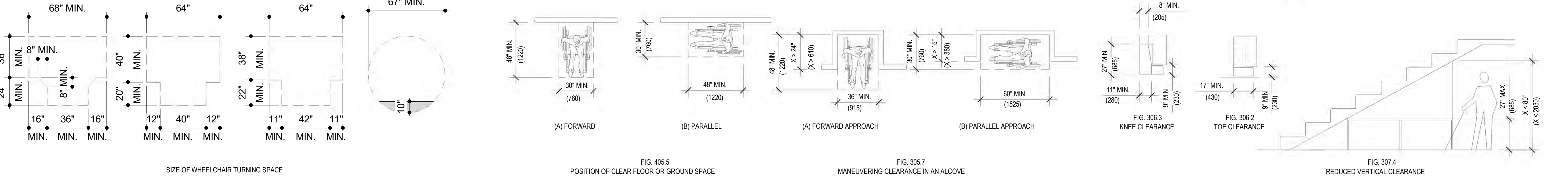
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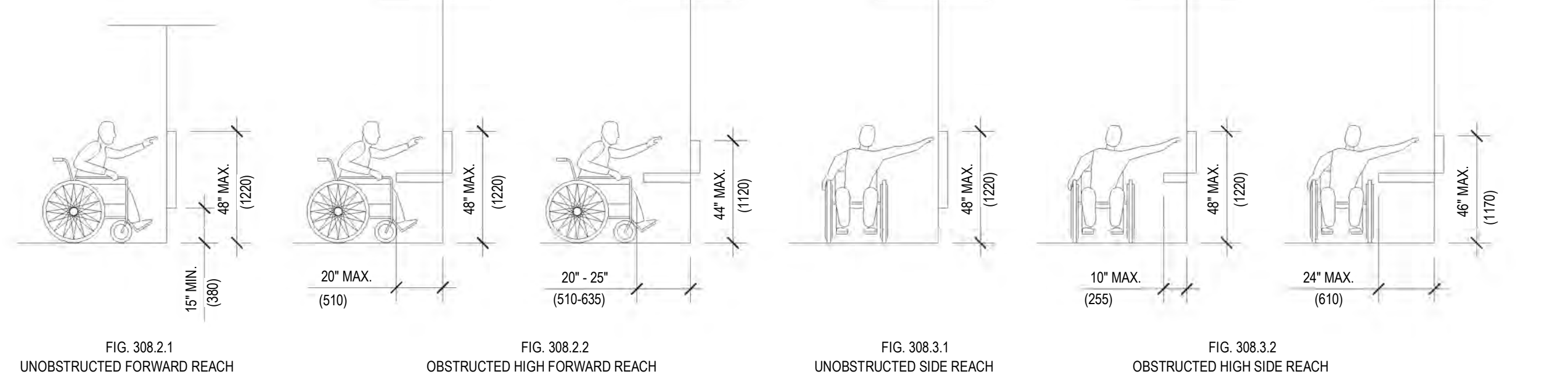
DOORS AND DOORWAYS



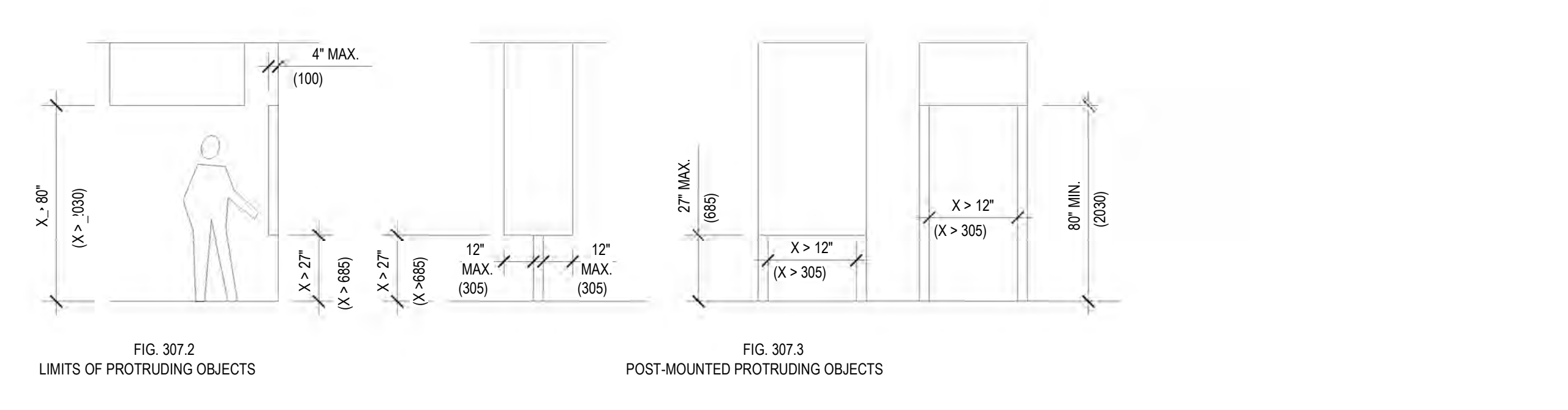
CLEAR FLOOR SPACE



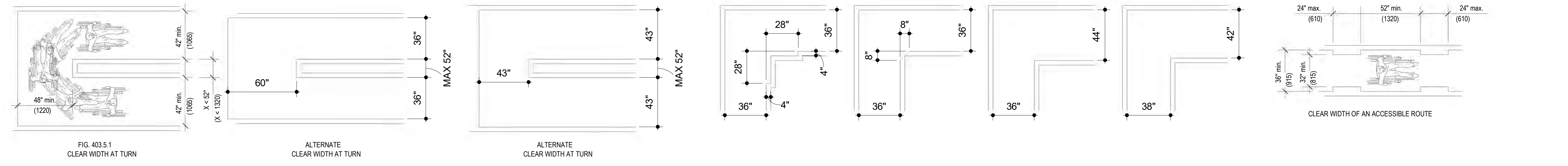
REACH RANGES



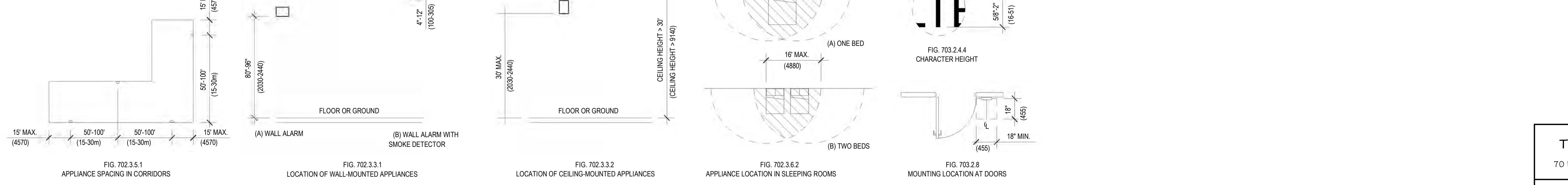
PROTRUDING OBJECTS



TURNING AND PASSAGE CLEARANCES



COMMUNICATION ELEMENTS AND FEATURES



1 ADA ANSI CLEARANCES
1/4" = 1'-0"

FOR:
The Historic First African Baptist Church
70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

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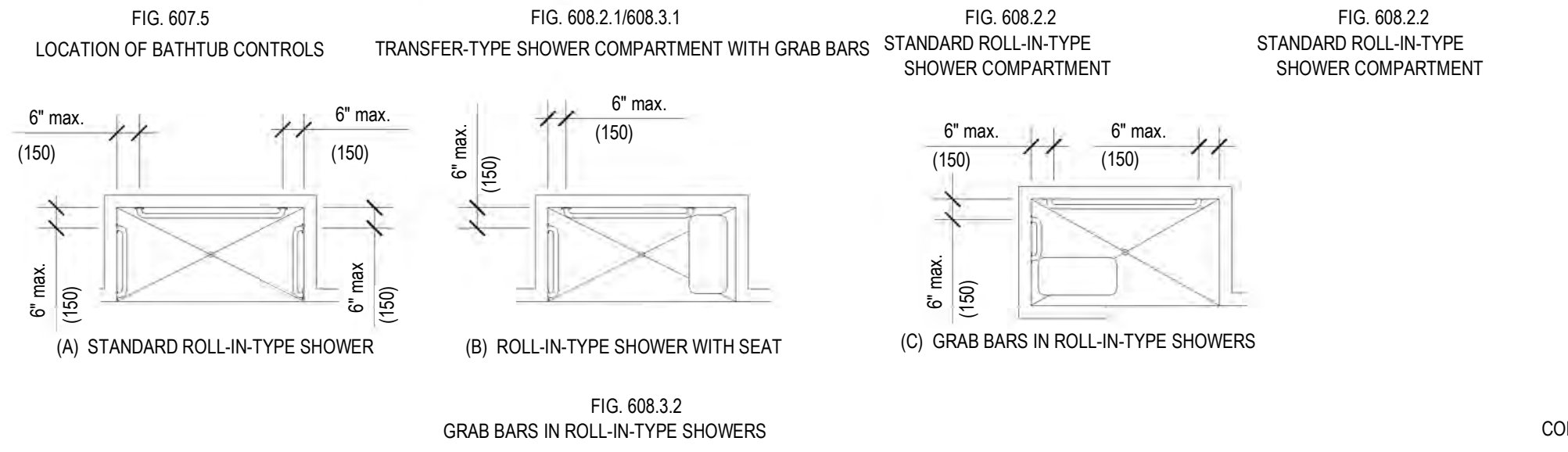
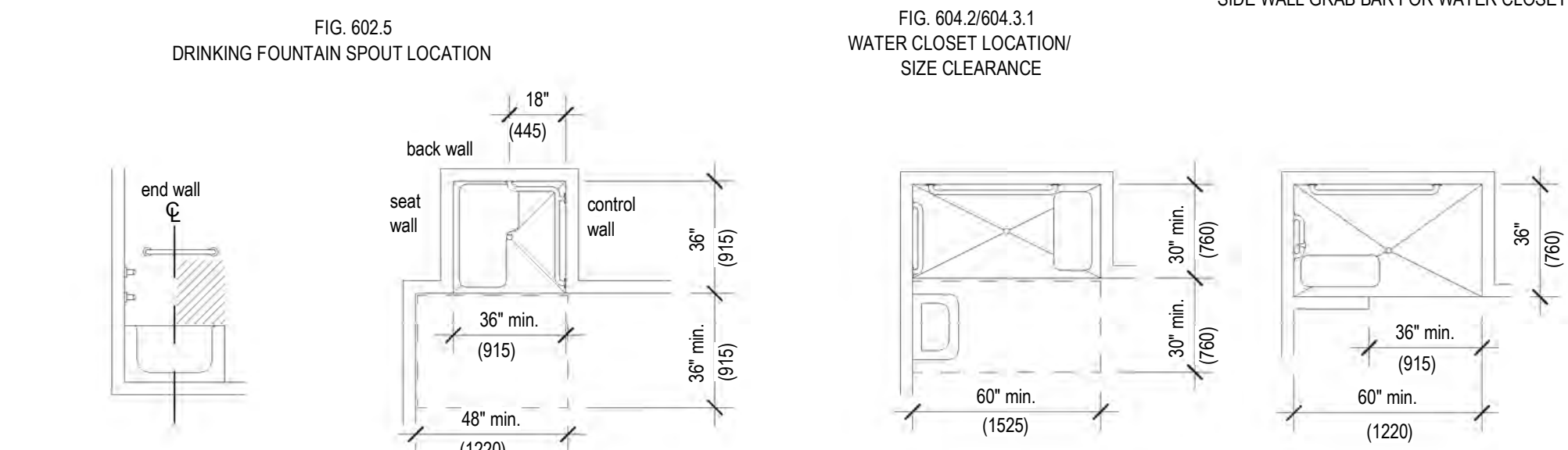
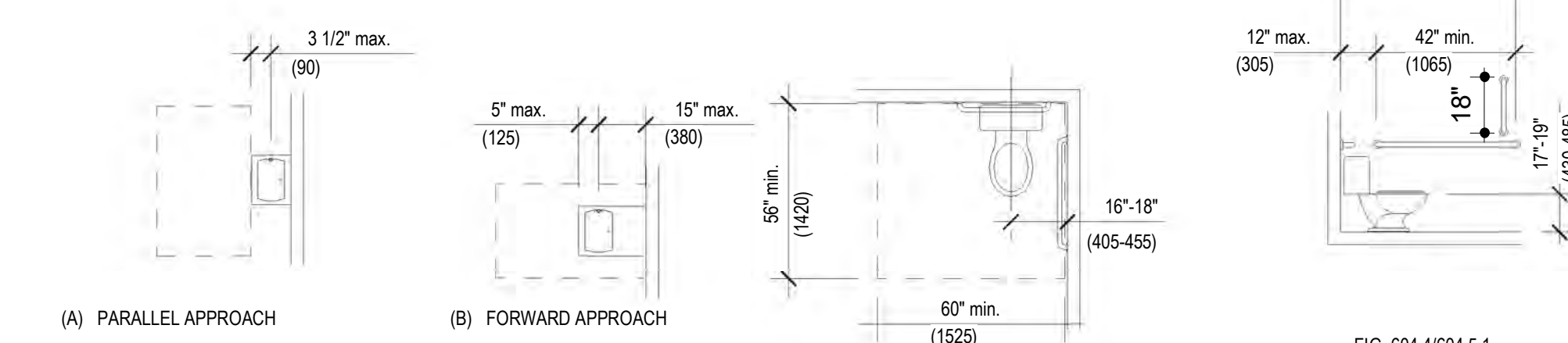
843.290.3076
email: mikevaccaro7@yahoo.com

A-601
ADA and ANSI
Standard Details

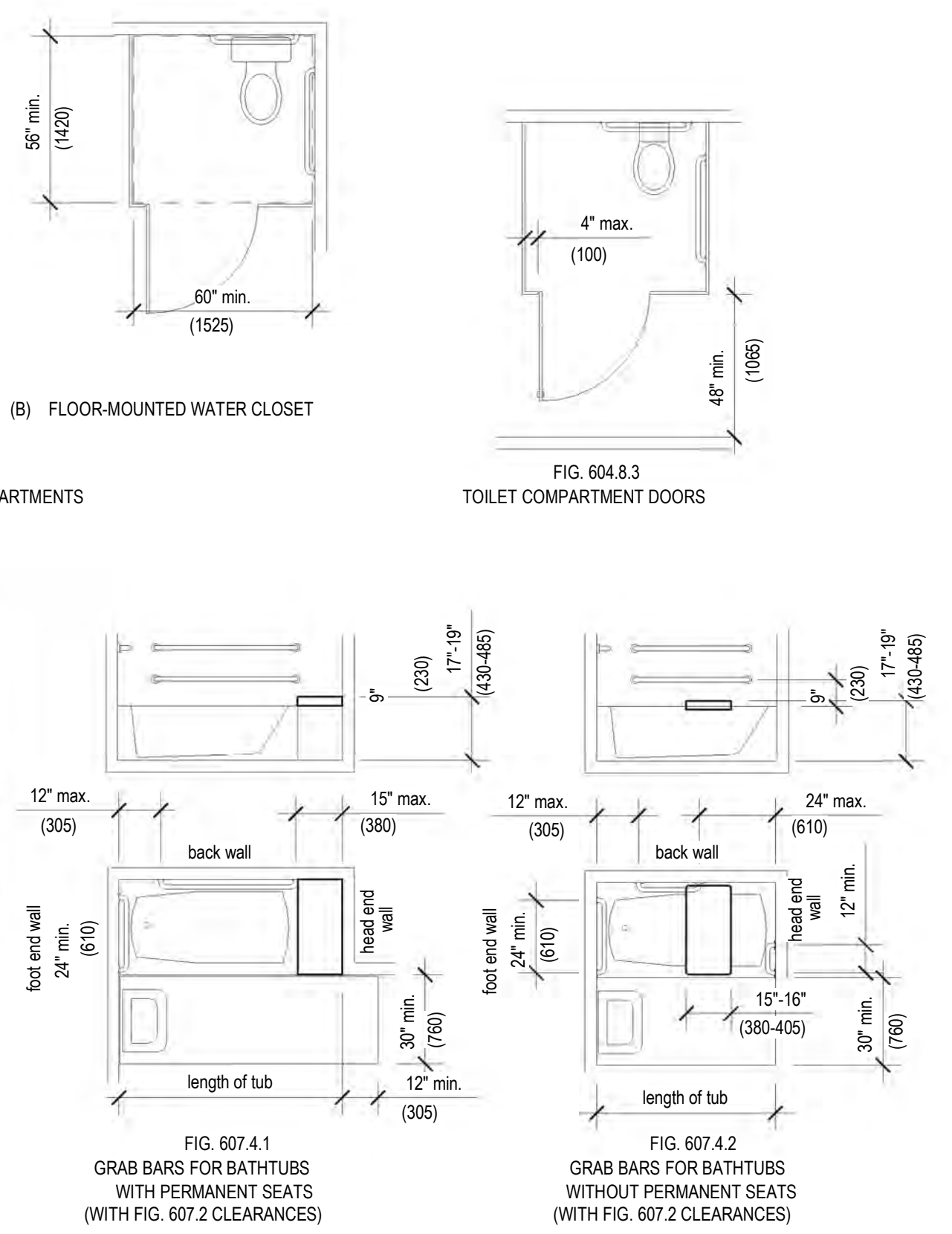
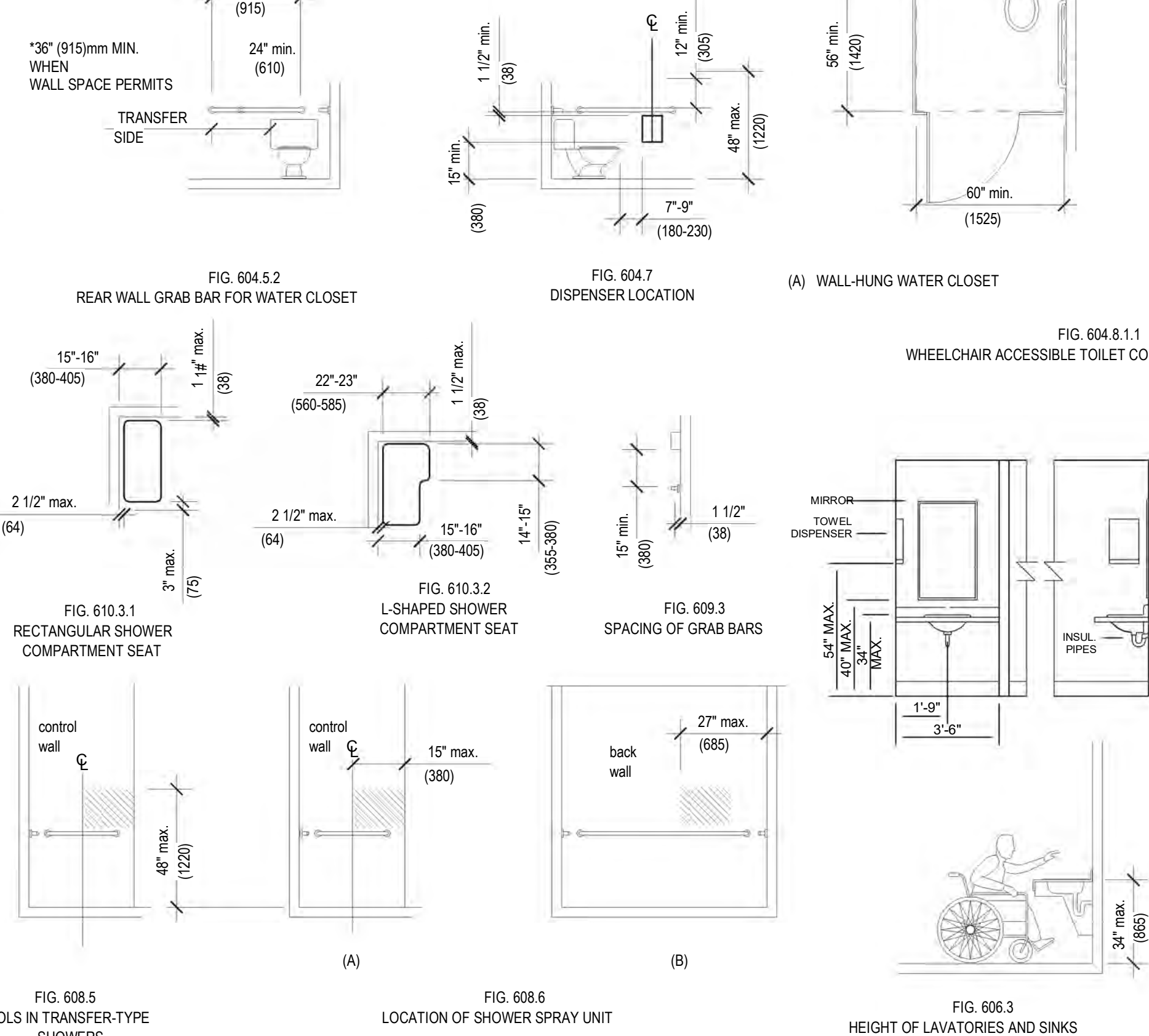
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PLUMBING ELEMENTS AND FACILITIES



1 ADA ANSI PLUMBING
1/4" = 1'-0"



FOR:
The Historic First African Baptist Church
70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

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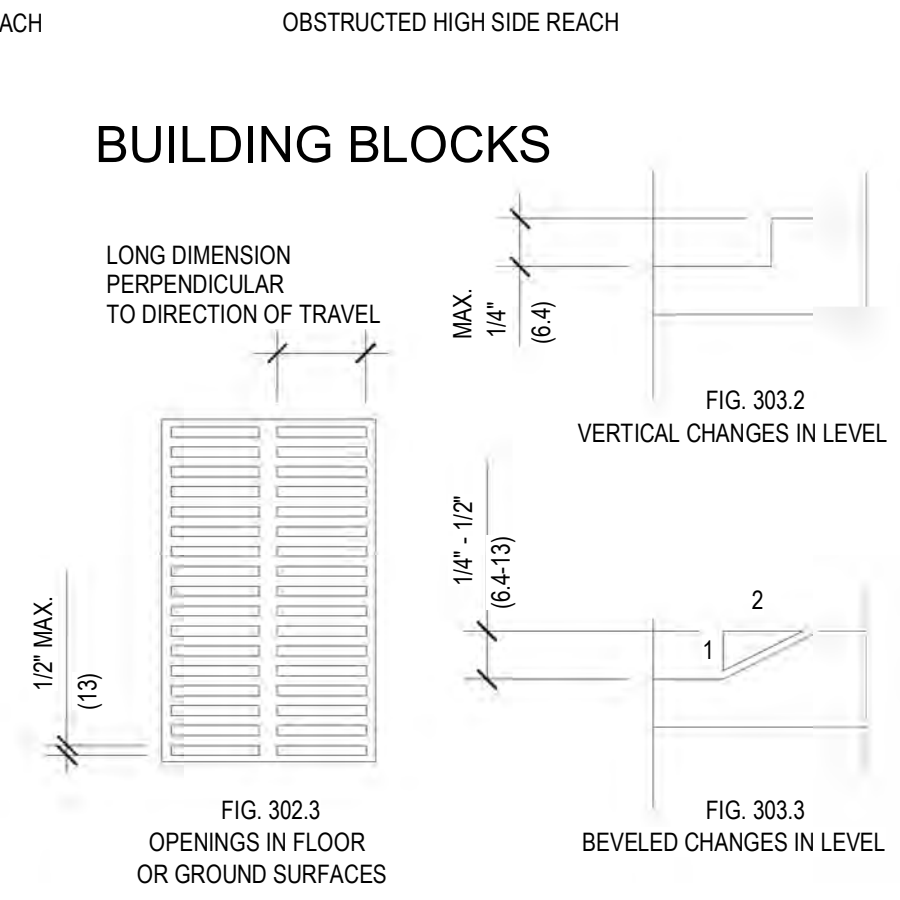
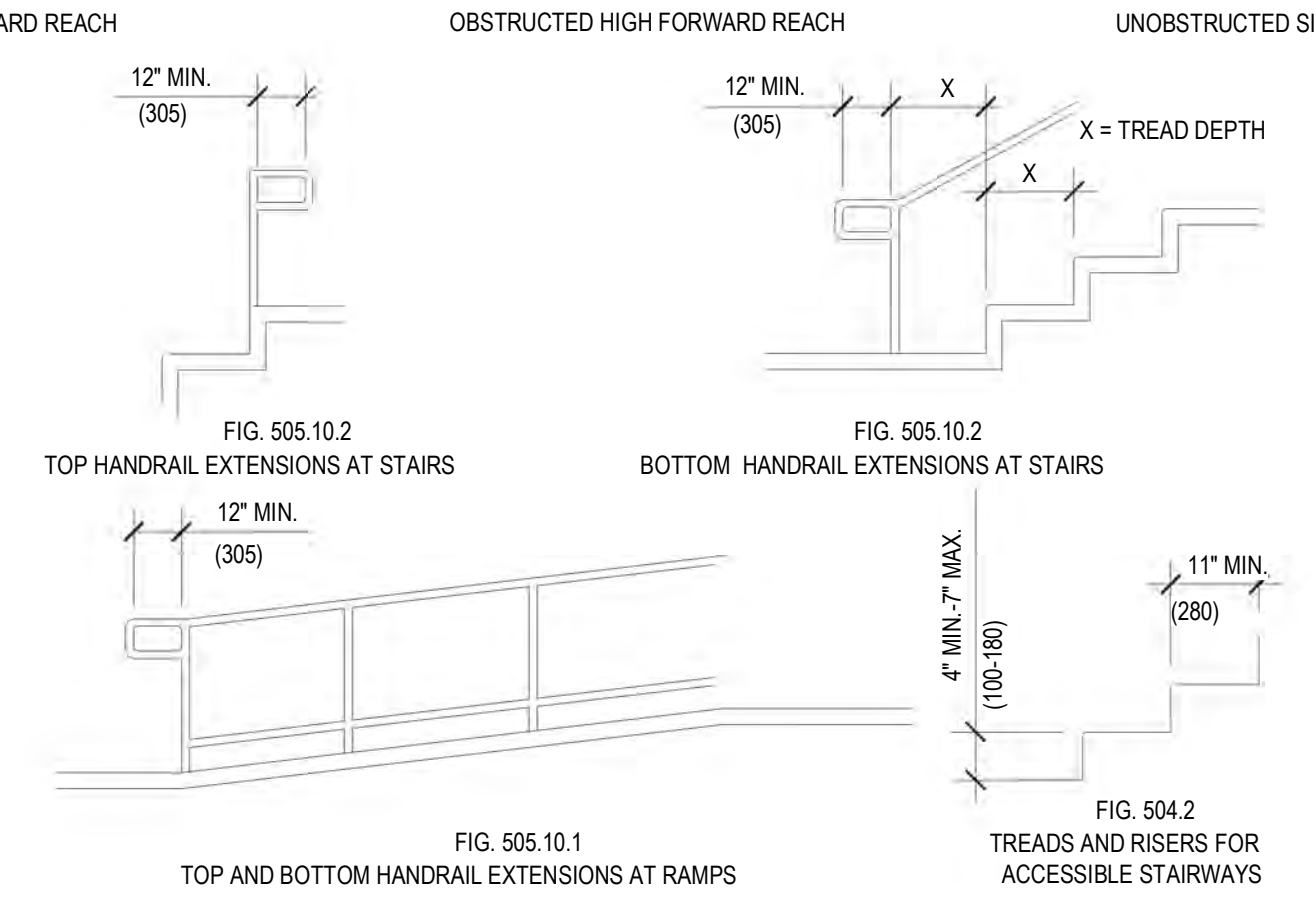
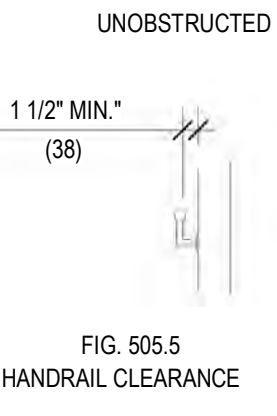
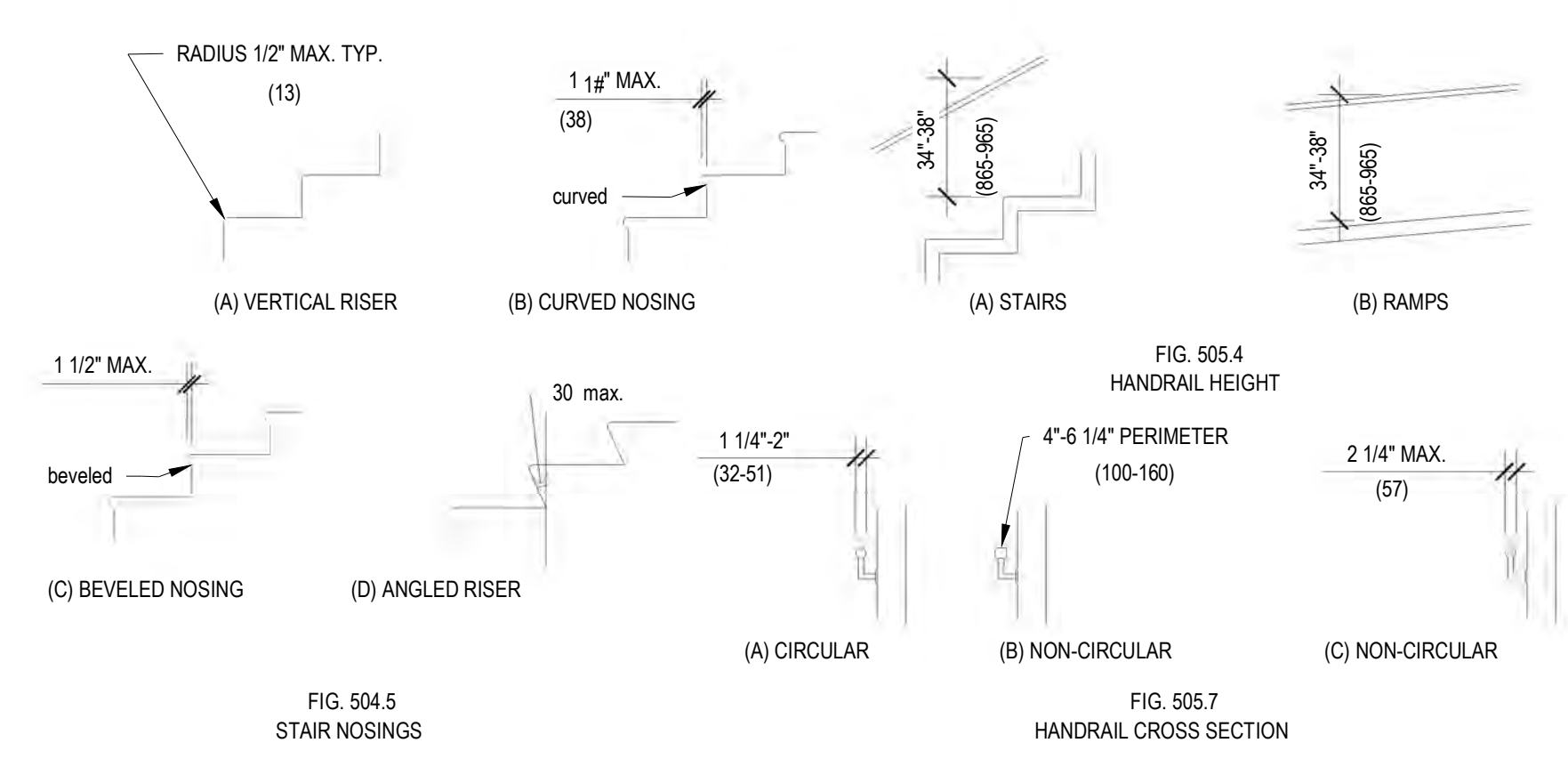
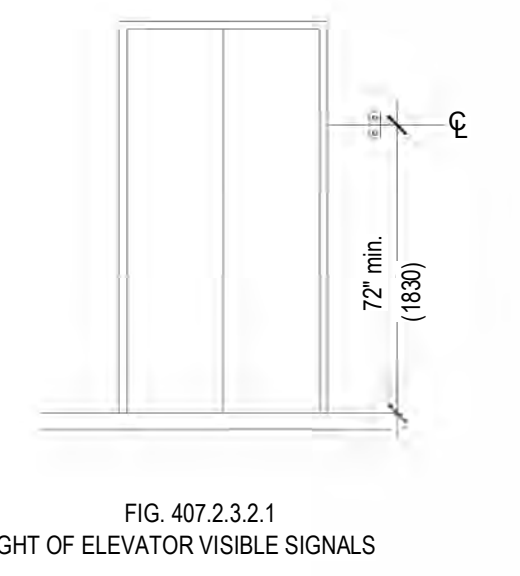
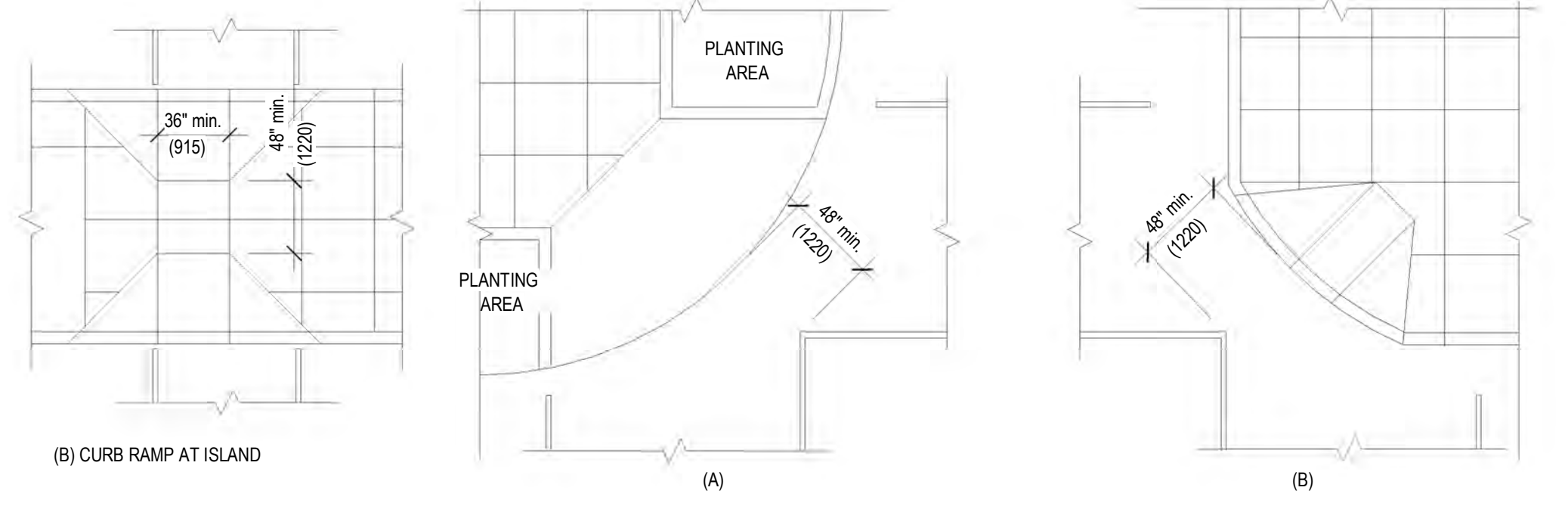
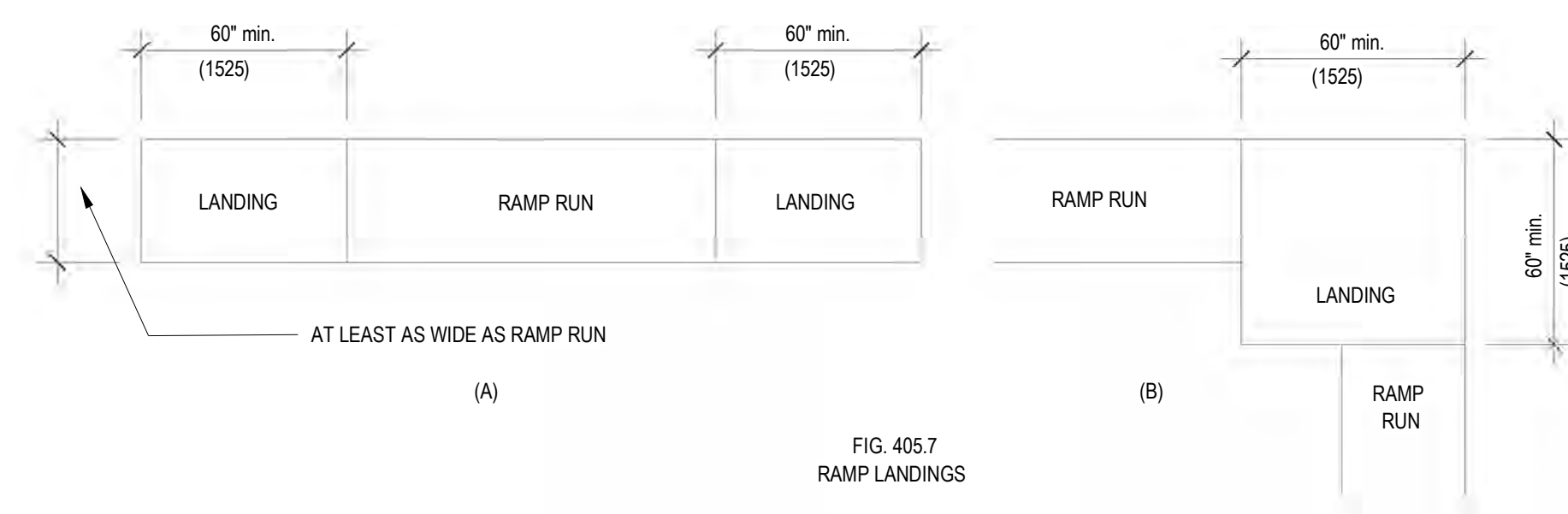
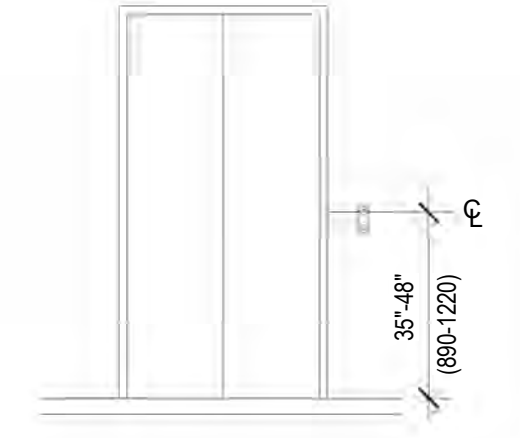
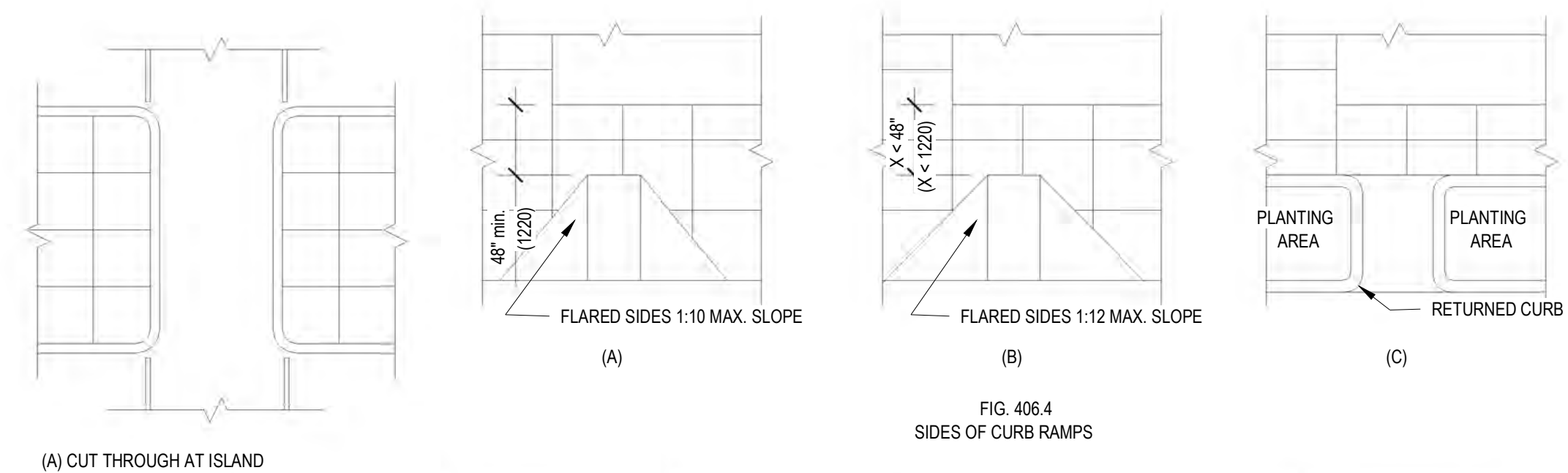
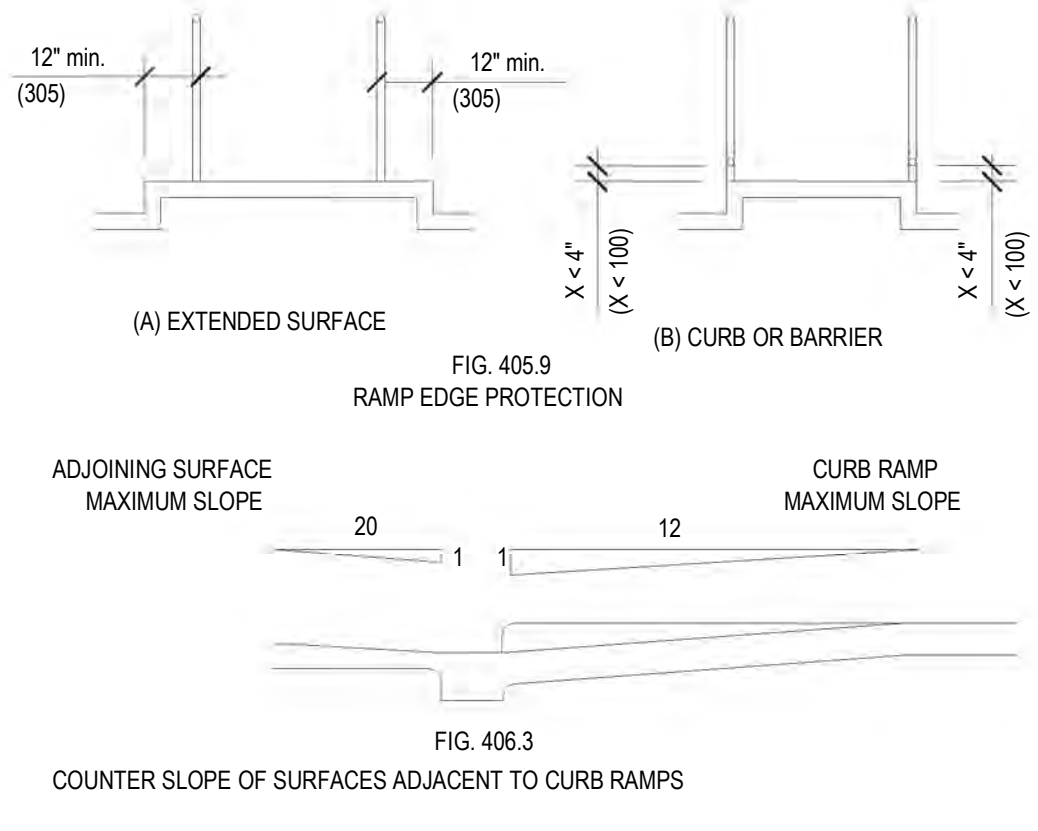
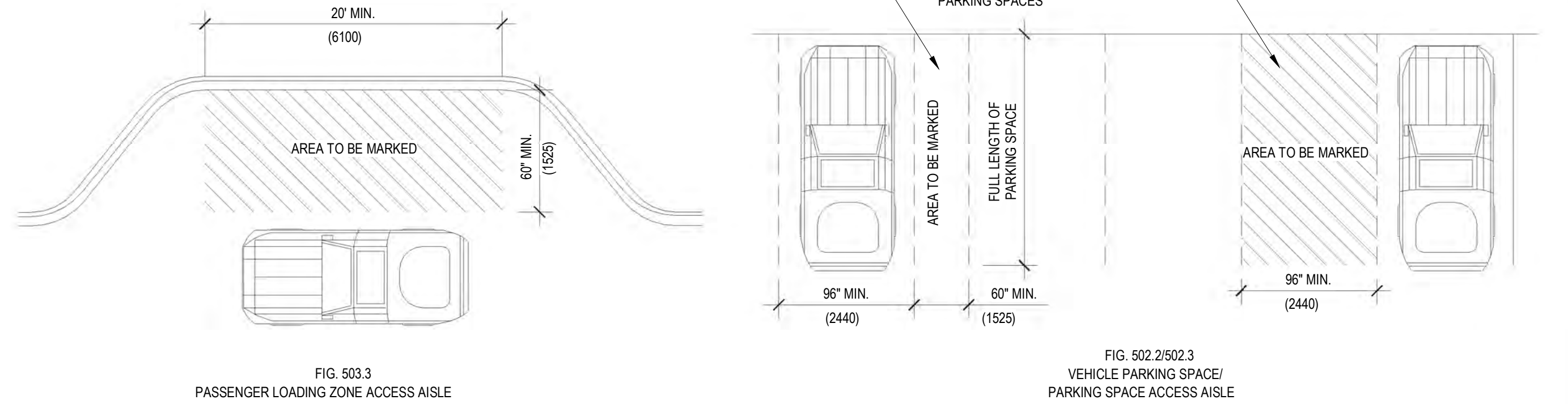
843.290.3076
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A-602
ADA & ANSI DETAILS

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GENERAL SITE AND BUILDING ELEMENTS



1 ADA ANSI SITE STAIRS AND RAMPS
1/4" = 1'-0"

FOR:
The Historic First African Baptist Church
70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

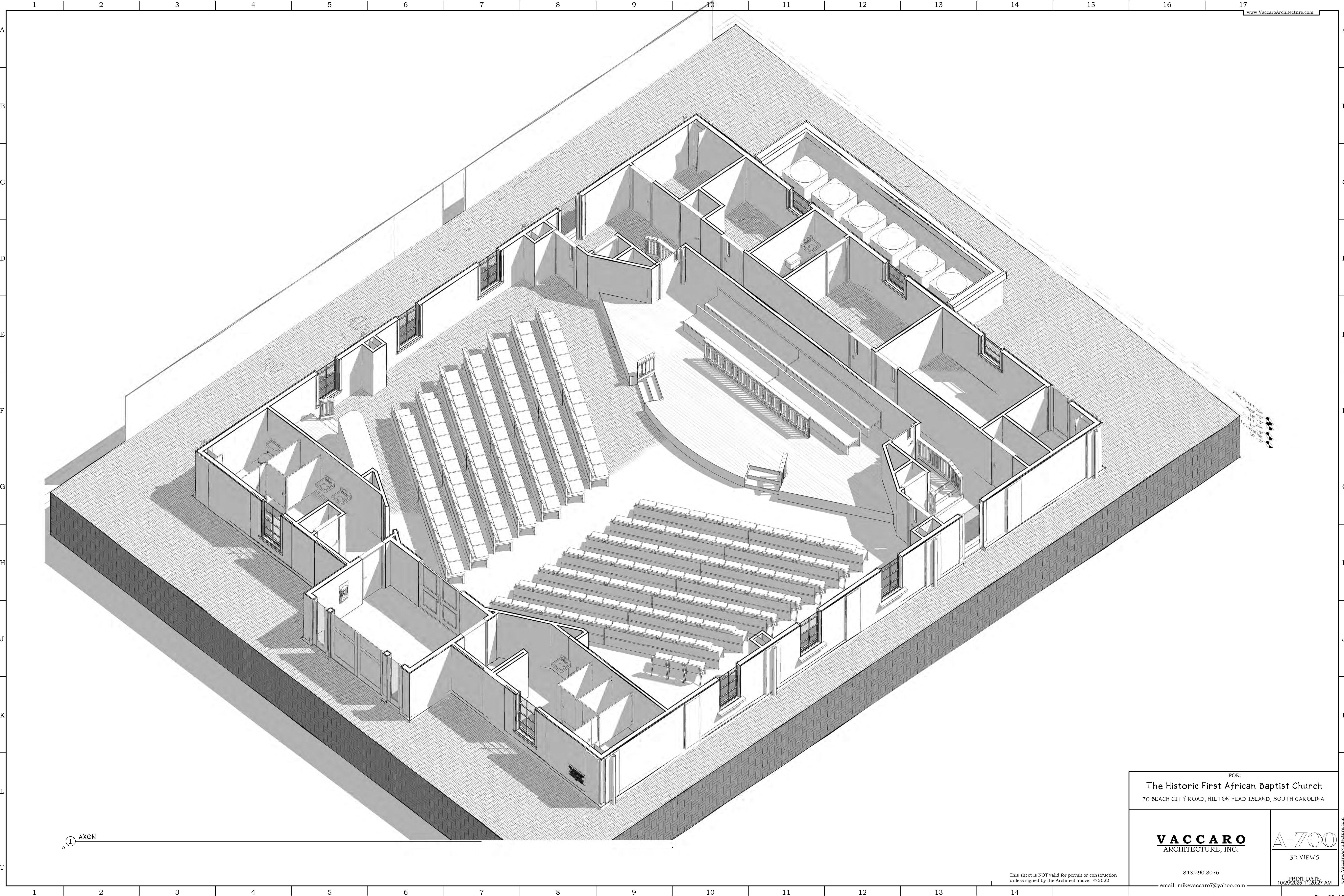
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A-603
ADA & ANSI DETAILS

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King First Floor
First Floor
Foundation

1 AXON

FOR:
The Historic First African Baptist Church
70 BEACH CITY ROAD, HILTON HEAD ISLAND, SOUTH CAROLINA

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ARCHITECTURE, INC.

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email: mikevaccaro7@yahoo.com

A-700
3D VIEWS

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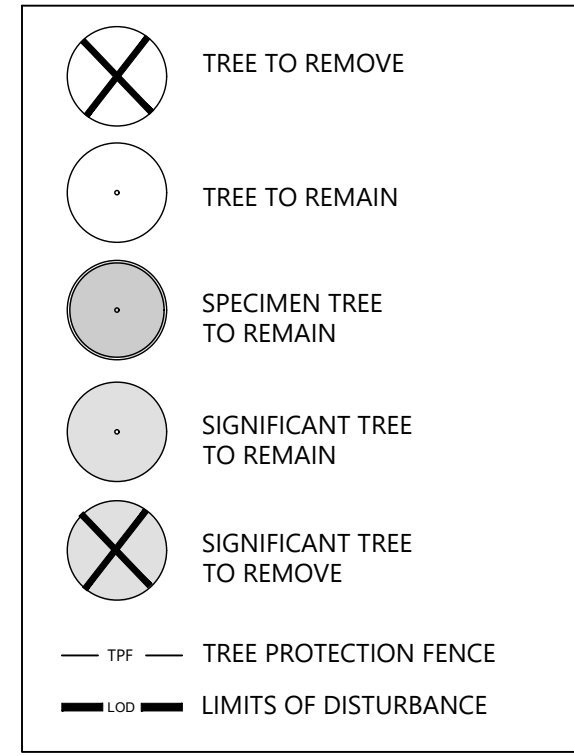
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Tree No.	DBH (in)	Tree Species (Surveyed)	Removed?	Reason	Type (Significant/Specimen)	JTR Comments	Encroachment (max 20% specimen)	Category	ACI
1	26	Laurel Oak	No					1	26
2	23	Sycamore	No					0.75	17.25
3	36	Sycamore	No		Specimen			0.75	27
4	30	Water Oak	No		Specimen		19.68%	0.75	22.5
5	13	Palm	Yes	Parking lot/drive				0.5	6.5
6	20	Palm	Yes	Grading Limits				0.5	10
7	20	Palm	Yes	Grading Limits				0.5	10
8	20	Palm	Yes	Grading Limits				0.5	10
9	90	Live Oak	No		Specimen		10.97%	1	90
10	75	Live Oak	No		Specimen		51%	1	75
11	30	Live Oak	Yes	Parking lot/drive	Significant			1	30
12	16	Water Oak	Yes	Parking lot/drive				0.75	12
13	10+6	Water Oak	Yes	Parking lot/drive		Multi-trunk		0.75	12
14	20	Water Oak	Yes	Parking lot/drive				0.75	15
15	22+22	Water Oak	No			Multi-trunk		0.75	33
16	8	Pine	No					0.5	4
17	10	Pine	No					0.5	5
18	16	Live Oak	No					1	16
19	24	Pine	No					0.5	12
20	18	Pine	No					0.5	9
21	8	Live Oak	No					1	8
22	22	Pine	No					0.5	11
23	11	Hickory	Yes					0.75	8.25
24	12	Water Oak	Yes					0.75	9
25	20	Water Oak	Yes	Parking lot/drive				0.75	15
26	16	Water Oak	Yes	Parking lot/drive				0.75	12
27	13	Palm	Yes	Parking lot/drive				0.5	6.5
28	18	Cherry	Yes	Grading Limits				0.25	4.5
29	30	Live Oak	No		Significant			1	30
30	75	Live Oak	No		Specimen		1.12%	1	75
31	12	Live Oak	No					1	12
32	18	Gum Tree	No					0.75	13.5
33	12	Gum Tree	No					0.75	9
34	20	Hickory	No		Specimen			0.75	15
35	11	Palm	Yes	Parking lot/drive				0.5	5.5
36	30	Live Oak	Yes	Parking lot/drive	Significant			1	30
37	12	Palm	Yes	Parking lot/drive				1	6
38	10	Hickory	No					0.75	7.5
39	26	Live Oak	No					1	26
40	9	Hickory	Yes	Parking lot/drive				0.75	6.75
41	20	Hickory	No		Specimen		30.95%	0.75	15
42	15	Hickory	No					0.75	11.25
43	18	Hickory	No		Significant			0.75	13.5
44	20	Live Oak	No					1	20
45	24	Hickory	No		Specimen		10.80%	0.75	18
46	22	Live Oak	No					1	22
47	40	Gum Tree	No		Specimen			0.75	30
48	10	Water Oak	No					0.75	7.5
49	8	Water Oak	No					0.75	6
50	10	Maple	No					0.75	7.5
51	16+16	Gum Tree	No			Multi-trunk		0.75	24
52	14	Gum Tree	No					0.75	10.5
53	20+10	Pine	No					0.5	15
54	16	Water Oak	No					0.75	12
55	14	Water Oak	No					0.75	10.5
56	14	Water Oak	No					0.75	10.5
57	20	Water Oak	No					0.75	15
58	12	Live Oak	No					1	12
59	15	Live Oak	No					1	15
60	16	Live Oak	No					1	16
61	20+14	Live Oak	No			Multi-trunk		1	34
62	8	Live Oak	No					1	8
63	22	Laurel Oak	No					1	22
64	7	Live Oak	No					1	7
65	7	Live Oak	No					1	7
66	10	Water Oak	No					0.75	7.5
67	20	Pine	No					0.5	10
68	24	Live Oak	No					1	24
69	18	Laurel Oak	No					1	18
70	11+11	Gum Tree	No					0.75	16.5
71	14	Water Oak	No					0.75	10.5
72	10+8+6	Gum Tree	No					0.75	18
73	20	Pine	No					0.5	10
74	22	Laurel Oak	No					1	22
									1258.5

TREE ACI CALCULATIONS

TOTAL SITE AREA:	1.56 AC
IMPERVIOUS AREA:	0.73 AC
PERVIOUS AREA:	0.83 AC
ACI REQUIRED:	747 (0.83 AC X 900 ACI)
EXISTING ACI:	1,258.50 ACI
REMOVED ACI:	235 ACI
TOTAL ACI:	1,023.50 ACI
PRE-DEVELOPMENT & POST-DEVELOPMENT ACI IS GREATER THAN THE REQUIRED 747 ACI, THEREFORE NO RECOMPENSE IS REQUIRED.	

TREE LEGEND



SCALE: 1" = 20'

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

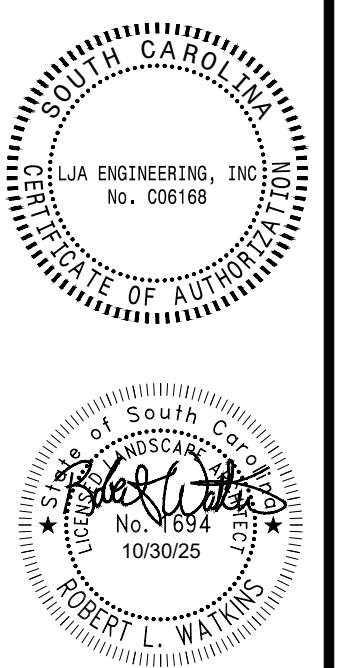


**FIRST AFRICAN BAPTIST CHURCH
70 BEACH CITY RD.
PERMIT PLANS**

DATE: OCTOBER 30, 2023
DESIGNED BY: JM
DRAWN BY: JM
CHECKED BY: BW
JOB NUMBER: SC 6782-2501

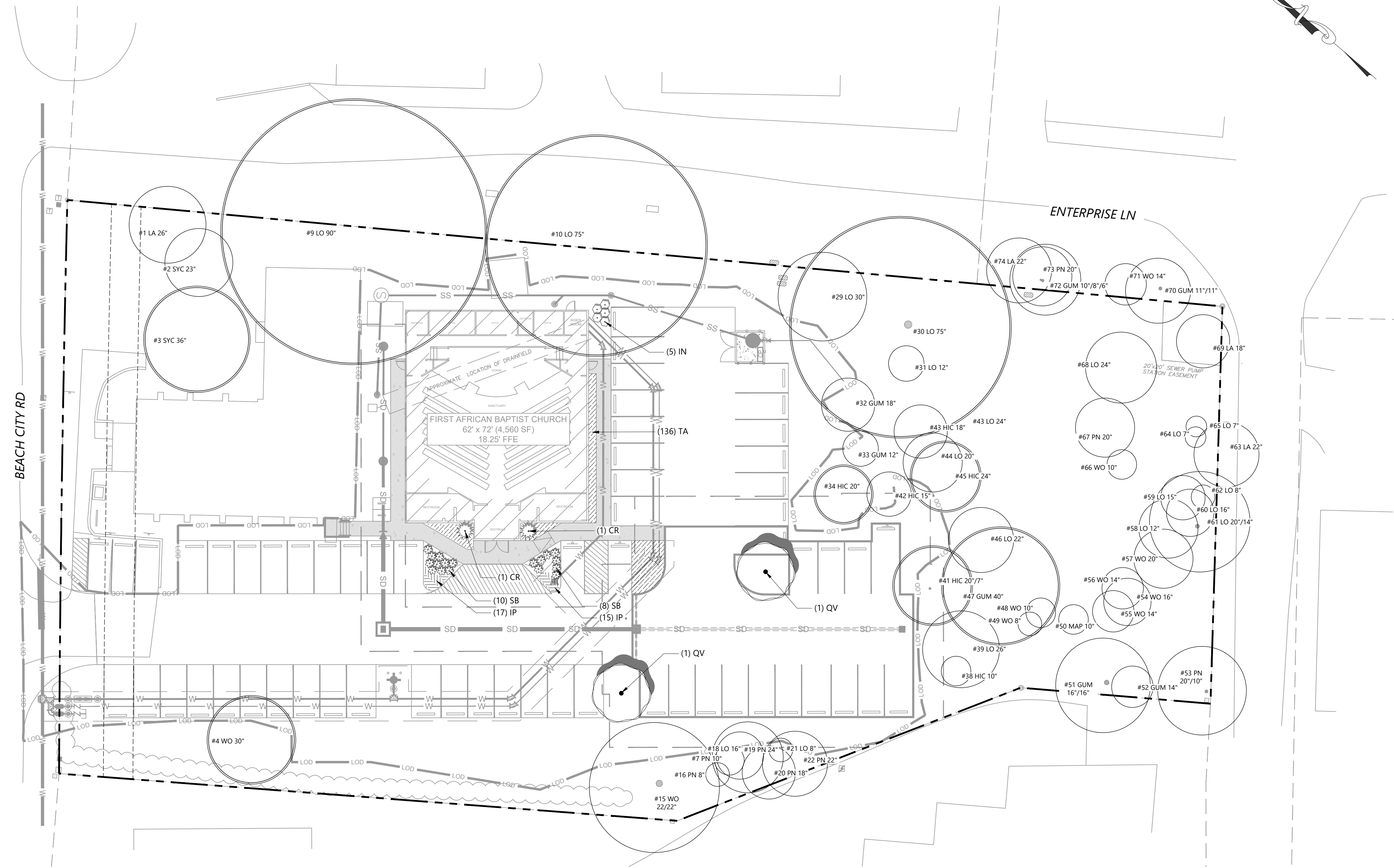
SHEET NO. **L.1**

LJA Engineering, Inc.
177 Church Street
Suite 100
Charleston, South Carolina 29401
Phone 843.507.9404
www.lja.com
FRN-C06168



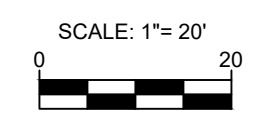
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Plot Date/Time: Oct 30, 2023 10:08:47:09

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 User: JMW
 Date: 10/30/2023 10:40:00 AM
 Plot Date: 10/30/2023 10:40:00 AM



SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
TREES							
	QV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	3.5" CAL.	B&B		2
SHRUBS							
	CR	CYCAS REVOLUTA	SAGO PALM	7 GAL.	POT		2
	IN	ILEX VOMITORIA 'NANA'	DWARF YAUPON HOLLY	3 GAL.	POT		5
	SB	SPARTINA BAKERI	SAND CORDGRASS	3 GAL.	POT		18
GROUND COVERS							
	IP	IRIS PRISMATICA	BLUE FLAG IRIS	1 GAL.	POT	18" o.c.	32
	TA	TRACHELOSPERMUM ASIATICUM	ASIATIC JASMINE	1 GAL.	POT	12" o.c.	409

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

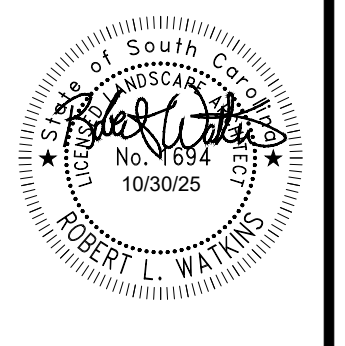
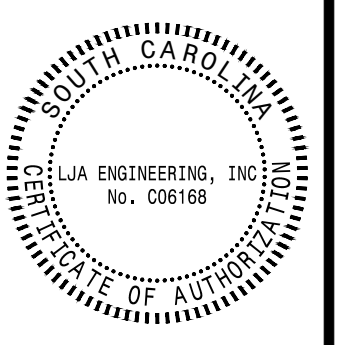


**FIRST AFRICAN BAPTIST CHURCH
 70 BEACH CITY RD.
 PERMIT PLANS**

DATE: OCTOBER 30, 2023
 DESIGNED BY: JM
 DRAWN BY: JM
 CHECKED BY: BW
 JOB NUMBER: SC 6782-2501

SHEET NO. **L.2**

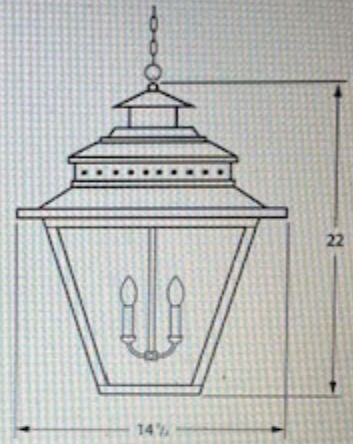
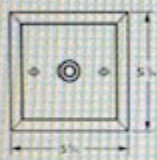
LJA Engineering, Inc.
 177 Church Street
 Suite 100
 Charleston, South Carolina 29401
 Phone 843.507.9404
 www.LJA.com
 FRN-C06168



NO.	REVISIONS	DESCRIPTION	BY	DATE

AS-750
Hanging Pendant
22h x 14.5w x 14.5d
*Comes with 18" of chain

Canopy:



1362 Chuck Dawley Blvd
Mount Pleasant, SC 29464
www.carolin lanterns.com
customerservice@carolin lanterns.com

ENTRY HANGING LIGHT

Book Air

FIRST AFRICAN BAPTIST CHURCH

SITE DEVELOPMENT PLANS

70 BEACH CITY ROAD,
HILTON HEAD ISLAND, SC 29926
TMS# R510-008-000-001B-0000



VICINITY MAP
SCALE: 1" = 1,000'

Sheet Number	Sheet Title
C0.00	COVER SHEET
C0.01	GENERAL NOTES
C0.02	TOPOGRAPHIC SURVEY
C1.01	EX. CONDITIONS & DEMO PLAN
C1.02	TREE ENCROACHMENT PLAN
C2.01	SWPP PLAN PHASE 1
C2.02	SWPP PLAN PHASE 2
C2.03	SWPP PLAN NOTES
C2.04	SWPP PLAN DETAILS
C3.01	SITE PLAN
C3.02	SITE DETAILS
C4.01	GRADING PLAN
C5.01	PRE-DEVELOPMENT DRAINAGE MAP
C5.02	POST-DEVELOPMENT DRAINAGE MAP
C5.03	STORMWATER PLAN AND PROFILE
C5.04	DRAINAGE DETAILS
C6.01	UTILITY PLAN
C6.02	LIFT STATION DETAILS
C6.03	WATER DETAILS
C6.04	SEWER DETAILS
L1	TREE PROTECTION AND REPLACEMENT PLAN
L2	LANDSCAPE PLAN
L3	LANDSCAPE DETAILS
A-200	BUILDING ELEVATIONS
A-201	BUILDING ELEVATIONS
A-202	BUILDING ELEVATIONS
A-203	BUILDING ELEVATIONS
A-204	BUILDING ELEVATIONS
A-300	BUILDING SECTIONS
A-301	BUILDING SECTIONS
A-301	STEEPLE

NOTE: IRRIGATION SHALL BE PERMITTED SEPERATELY BY OTHERS

SUBMITTED FOR APPROVAL BY:
LJA ENGINEERING, INC.
FRN No. C06188

10-31-2025
DATE



MEGAN E. SMITH, P.E. #35807
LICENSED PROFESSIONAL ENGINEER

	PROJECT REVIEW CONTACTS	DEVELOPER	PROJECT DESIGN CONTACTS	PROJECT INFORMATION:
ZONING:	TOWN OF HILTON HEAD ISLAND 1 TOWN CENTER COURT HILTON HEAD ISLAND, SC 29928 CONTACT PERSON: MICHAEL CONNOLLY PHONE: (843) 341-4841 EMAIL: MICHAEL@HILTONHEADISLANDSC.GOV	KENNETH BELTON PHONE: (843) 789-5880 EMAIL: KBELTON@COMCAST.NET	KENNETH BELTON PHONE: (843) 789-5880 EMAIL: KBELTON@COMCAST.NET	PROJECT LOCATION: HILTON HEAD ISLAND, SC PARCEL TAX NUMBER: 8910-006-000-001B-0000 ZONING DISTRICT: LIGHT COMMERCIAL (L3) OVERLAY DISTRICT: UNDEVELOPED PARCEL LINE PROPOSED PARCEL LINE GROSS SITE AREA: NET SETBACKS: DISTURBED ACRES: ALLOWED TOTAL DENSITY (PER NET ACRES): BOATING BUILDING SP: PROPOSED BUILDING SF: TOTAL SF: PROPOSED BUILDING HEIGHT: PROPOSED FREEDLE HEIGHT: MAX. IMPERVIOUS AREA LIMIT: TOTAL EXISTING IMPERVIOUS AREA: EXISTING IMPERVIOUS AREA TO BE REMOVED: EXISTING IMPERVIOUS AREA TO REMAIN: PROPOSED IMPERVIOUS AREA: TOTAL IMPERVIOUS AREA: MINIMUM PARKING REQ. EXISTING PARKING: PROPOSED PARKING: TOTAL PARKING: DIVICTED COMPLETION: PUBLISHING CONTRACTS: SURFERS:
STORMWATER:	TOWN OF HILTON HEAD ISLAND 1 TOWN CENTER COURT HILTON HEAD ISLAND, SC 29928 CONTACT PERSON: NELL O. LYLESUGI PHONE: (843) 341-4992 EMAIL: NELL@HILTONHEADISLANDSC.GOV	LJA ENGINEERING, INC. 171 CHURCH ST., SUITE 100 CHARLESTON, SC 29401 CONTACT PERSON: MEGAN SMITH, P.E. PHONE: (843) 886-1871 EMAIL: MEGSMITH@LJA.COM	NANDINA, INC. 10 GEM PARK DR. UNIT C1 HILTON HEAD ISLAND, SC 29926 CONTACT PERSON: JUSTIN KESSELBERG PHONE: (843) 181-2049 EMAIL: ADMIN@NANDINA.COM	PROJECT INFORMATION: FIRST AFRICAN BAPTIST CHURCH HILTON HEAD ISLAND, SC 8910-006-000-001B-0000 LIGHT COMMERCIAL (L3) UNDEVELOPED PARCEL LINE PROPOSED PARCEL LINE GROSS SITE AREA: NET SETBACKS: DISTURBED ACRES: ALLOWED TOTAL DENSITY (PER NET ACRES): BOATING BUILDING SP: PROPOSED BUILDING SF: TOTAL SF: PROPOSED BUILDING HEIGHT: PROPOSED FREEDLE HEIGHT: MAX. IMPERVIOUS AREA LIMIT: TOTAL EXISTING IMPERVIOUS AREA: EXISTING IMPERVIOUS AREA TO BE REMOVED: EXISTING IMPERVIOUS AREA TO REMAIN: PROPOSED IMPERVIOUS AREA: TOTAL IMPERVIOUS AREA: MINIMUM PARKING REQ. EXISTING PARKING: PROPOSED PARKING: TOTAL PARKING: DIVICTED COMPLETION: PUBLISHING CONTRACTS: SURFERS:
WATER:	HILTON HEAD PUBLIC SERVICE DISTRICT P.O. BOX 21264 HILTON HEAD ISLAND, SC 29925 CONTACT PERSON: BILL DAVIS PHONE: (843) 881-5352 EMAIL: BDAVIS@HHSDD.COM	LJA ENGINEERING, INC. 171 CHURCH ST., SUITE 100 CHARLESTON, SC 29401 CONTACT PERSON: BOBBY WATKINS PHONE: (472) 567-5108 EMAIL: BWATKINS@LJA.COM	VACCARO ARCHITECTURE, INC. 31 COLLETHORPE LN. HILTON HEAD ISLAND, SC 29928 CONTACT PERSON: MICHAEL VACCARO, AIA PHONE: (843) 294-3078 EMAIL: MKE@VACCARO7@YANCO.COM	PROJECT INFORMATION: FIRST AFRICAN BAPTIST CHURCH HILTON HEAD ISLAND, SC 8910-006-000-001B-0000 LIGHT COMMERCIAL (L3) UNDEVELOPED PARCEL LINE PROPOSED PARCEL LINE GROSS SITE AREA: NET SETBACKS: DISTURBED ACRES: ALLOWED TOTAL DENSITY (PER NET ACRES): BOATING BUILDING SP: PROPOSED BUILDING SF: TOTAL SF: PROPOSED BUILDING HEIGHT: PROPOSED FREEDLE HEIGHT: MAX. IMPERVIOUS AREA LIMIT: TOTAL EXISTING IMPERVIOUS AREA: EXISTING IMPERVIOUS AREA TO BE REMOVED: EXISTING IMPERVIOUS AREA TO REMAIN: PROPOSED IMPERVIOUS AREA: TOTAL IMPERVIOUS AREA: MINIMUM PARKING REQ. EXISTING PARKING: PROPOSED PARKING: TOTAL PARKING: DIVICTED COMPLETION: PUBLISHING CONTRACTS: SURFERS:
SEWER:	HILTON HEAD PUBLIC SERVICE DISTRICT P.O. BOX 21264 HILTON HEAD ISLAND, SC 29925 CONTACT PERSON: BILL DAVIS PHONE: (843) 881-5352 EMAIL: BDAVIS@HHSDD.COM	LJA ENGINEERING, INC. 171 CHURCH ST., SUITE 100 CHARLESTON, SC 29401 CONTACT PERSON: BOBBY WATKINS PHONE: (472) 567-5108 EMAIL: BWATKINS@LJA.COM	VACCARO ARCHITECTURE, INC. 31 COLLETHORPE LN. HILTON HEAD ISLAND, SC 29928 CONTACT PERSON: MICHAEL VACCARO, AIA PHONE: (843) 294-3078 EMAIL: MKE@VACCARO7@YANCO.COM	PROJECT INFORMATION: FIRST AFRICAN BAPTIST CHURCH HILTON HEAD ISLAND, SC 8910-006-000-001B-0000 LIGHT COMMERCIAL (L3) UNDEVELOPED PARCEL LINE PROPOSED PARCEL LINE GROSS SITE AREA: NET SETBACKS: DISTURBED ACRES: ALLOWED TOTAL DENSITY (PER NET ACRES): BOATING BUILDING SP: PROPOSED BUILDING SF: TOTAL SF: PROPOSED BUILDING HEIGHT: PROPOSED FREEDLE HEIGHT: MAX. IMPERVIOUS AREA LIMIT: TOTAL EXISTING IMPERVIOUS AREA: EXISTING IMPERVIOUS AREA TO BE REMOVED: EXISTING IMPERVIOUS AREA TO REMAIN: PROPOSED IMPERVIOUS AREA: TOTAL IMPERVIOUS AREA: MINIMUM PARKING REQ. EXISTING PARKING: PROPOSED PARKING: TOTAL PARKING: DIVICTED COMPLETION: PUBLISHING CONTRACTS: SURFERS:
LANDSCAPE ARCHITECT:	LJA ENGINEERING, INC. 171 CHURCH ST., SUITE 100 CHARLESTON, SC 29401 CONTACT PERSON: BOBBY WATKINS PHONE: (472) 567-5108 EMAIL: BWATKINS@LJA.COM	LJA ENGINEERING, INC. 171 CHURCH ST., SUITE 100 CHARLESTON, SC 29401 CONTACT PERSON: BOBBY WATKINS PHONE: (472) 567-5108 EMAIL: BWATKINS@LJA.COM	VACCARO ARCHITECTURE, INC. 31 COLLETHORPE LN. HILTON HEAD ISLAND, SC 29928 CONTACT PERSON: MICHAEL VACCARO, AIA PHONE: (843) 294-3078 EMAIL: MKE@VACCARO7@YANCO.COM	PROJECT INFORMATION: FIRST AFRICAN BAPTIST CHURCH HILTON HEAD ISLAND, SC 8910-006-000-001B-0000 LIGHT COMMERCIAL (L3) UNDEVELOPED PARCEL LINE PROPOSED PARCEL LINE GROSS SITE AREA: NET SETBACKS: DISTURBED ACRES: ALLOWED TOTAL DENSITY (PER NET ACRES): BOATING BUILDING SP: PROPOSED BUILDING SF: TOTAL SF: PROPOSED BUILDING HEIGHT: PROPOSED FREEDLE HEIGHT: MAX. IMPERVIOUS AREA LIMIT: TOTAL EXISTING IMPERVIOUS AREA: EXISTING IMPERVIOUS AREA TO BE REMOVED: EXISTING IMPERVIOUS AREA TO REMAIN: PROPOSED IMPERVIOUS AREA: TOTAL IMPERVIOUS AREA: MINIMUM PARKING REQ. EXISTING PARKING: PROPOSED PARKING: TOTAL PARKING: DIVICTED COMPLETION: PUBLISHING CONTRACTS: SURFERS:

LJA Engineering, Inc.
171 Church Street
Suite 100
Charleston, South Carolina 29401

LJA
Phone 843.507.8404
www.LJA.com
FRN-C06188

INITIAL SUBMITTAL DATE: 10/31/2025

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

811
Know what's below.
Call before you dig.

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Phone 843.507.8404
www.LJA.com
FRN-C06188
Charleston, South Carolina 29401

SOUTH CAROLINA
No. 35807
MEGAN E. SMITH

SOUTH CAROLINA
No. 35807
MEGAN E. SMITH

DATE: 10/31/2025
DESIGNED BY: JLD
DRAWN BY: JLD
CHECKED BY: JLD
JOB NUMBER: 24061001

SHEET NO. **C0.00**

FIRST AFRICAN BAPTIST CHURCH
70 BEACH CITY RD.
SITE DEVELOPMENT PLANS
COVER SHEET

MANUFACTURED BY: Moore Supply, Inc. Description: 17" x 14" x 1/4" Steel Plate
 Item Number: MS-1714-1/4
 Date: 01/15/14
 Part Number: MS-1714-1/4

- GENERAL NOTES:**
- WITH ALL NOTES, THE FIRM CONTRACTOR SHALL MEAN THE GENERAL CONTRACTOR OR ANY SUB CONTRACTOR OR VENDOR PERFORMING CONSTRUCTION ON SITE.
 - A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES THAT THE CONTRACTOR IS PERFORMING WORK.
 - SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS, OR IN THE FIELD PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, THEY SHALL NOTIFY THE ENGINEER IMMEDIATELY.
 - IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY EXISTING FIELD CONDITIONS AND REPORT ANY DISCREPANCIES OR CORRECTIONS TO THE ENGINEER PRIOR TO CONSTRUCTION.
 - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT THE STATE'S LOCATION SERVICE AT LEAST 48 HOURS PRIOR TO BEGINNING ANY CONSTRUCTION.
 - THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF FEDERAL, STATE, AND LOCAL MUNICIPALITIES.
 - ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS OF THE LOCAL MUNICIPALITY AND THE APPROPRIATE UTILITY COMPANY, WHICHEVER TAKES PRECEDENCE.
 - ALL FRONT-OF-WAY CONSTRUCTION SHALL MEET LOCAL AND STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, LATEST EDITION.
 - THE CONTRACTOR SHALL REFERENCE THE MOST CURRENT EDITION OF ASCE STANDARD DRAWINGS.
 - THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, STATE, & LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSURE FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
 - GENERAL CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED PRIOR TO THE STATE OF THE PROJECT.
 - ANY CONSTRUCTION TRAILERS USED ON SITE SHALL BE PERMITTED THROUGH LOCAL GOVERNING AGENCY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ACQUIRE ALL NECESSARY PERMITS.
 - GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING INFRASTRUCTURE WITH THE SITE OR ADJOINING PROPERTIES. CONTRACTOR SHALL RESTORE ALL DAMAGES IMMEDIATELY, IF NECESSARY, OR PRIOR TO THE END OF THE JOB AND AT NO COST TO THE OWNER IN ACCORDANCE WITH LOCAL REGULATION REQUIREMENTS.
 - SIZE WORK CONTRACTS IS RESPONSIBLE FOR PROVIDING AS-BUILT RECORD DRAWINGS PREPARED BY A SOUTH CAROLINA REGISTERED LAND SURVEYOR FOR SANITARY SEWER AND WATER DISTRIBUTION UTILITIES, AS WELL TO MEET THE REQUIREMENTS OF THE UTILITY PROVIDER AND OTHER CHANGE AS BUILT TO MEET THE REQUIREMENTS OF RECORDATION AND THE APPLICABLE UTILITY PROVIDER. CONTRACTOR INCLUDE AS-BUILT, P-PLAN PROFILES, EASMENT PLANS, VALVE CAGES, AND OTHER AS-BUILT DOCUMENTATION FOR REVIEW AND RECORDATION TO MEET FINAL REQUIREMENTS FOR UTILITIES AND STORM DRAINAGE PROVIDED BY THE ENGINEER AND ASSOCIATED REVIEW AND PERMITS.
 - THE GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATED INSTALLATION OF ALL UTILITIES BY THE APPROPRIATE UTILITY COMPANY AND SUB CONTRACTORS NEARBY WORK TO AVOID CONFLICTS. GENERAL CONTRACTOR IS ALSO RESPONSIBLE FOR COORDINATED INSTALLATION OF ALL UTILITIES IN A TRENCH, ORGANIZED, AND SYSTEMATIC MANNER.
 - IN THE EVENT OF A CONFLICT WITH WATER, SEWER, DRAINAGE, OR OTHER UTILITY LINES, THE CONTRACTOR SHALL COORDINATE WITH THE ENGINEER PRIOR TO MAKING FIELD ADJUSTMENTS.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL RUBBISH, TRUNK, BRUSH, AND ORGANIC MATERIAL IN A LEGAL MANNER.
 - THE CONTRACTOR SHALL REFERENCE THE GEOTECHNICAL REPORT AVAILABLE FROM THE OWNER AND COMPLY WITH ALL REPAIR RECOMMENDATIONS. IF A CONFLICT ARISES BETWEEN CIVIL DOCUMENTS AND GEOTECHNICAL REPORT, THE MORE STRINGENT SHALL GOVERN.
 - ALL CONSTRUCTION WORK SHALL BE INSTALLED, INSPECTED, AND MAINTAINED TO HOLD PERMITS AND TO PROTECT ANY ALIGNMENT OR DOWNSTREAM CRITICAL AREA, WETLAND, AND WATERS THROUGH THE LIFE OF THE PROJECT. UPON COMPLETION OF CONSTRUCTION, ALL CRITICAL AREAS, WETLANDS, AND WATERS SHALL BE IMMEDIATELY RESTORED.
 - THE FINE LANE ACCESS SHOULD REMAIN OPEN AND UNIMPACTED AT ALL TIMES. THERE IS TO BE NO PARKING OR ANYTHING SET UP ON THE ACCESS ROAD, DRAINAGE OF THE FINE LANE WILL BE RESTORED.
 - THE SITE MUST BE CLEAN FROM TRASH, DEBRIS, AND CONSTRUCTION MATERIALS AT ALL TIMES.

GEOTECHNICAL REPORT
 REFER TO THE SUBSURFACE EXPLORATION, FOUNDATION RECOMMENDATIONS AND PAW-BUILT RECOMMENDATIONS REPORT BY TROTTENBERG LABS, ENGINEERING DIVISION, FOR ALL SOIL BEHAVIOR AND FOUNDATION RECOMMENDATIONS. USE FOR PRIVATE PAVING ONLY.

FEMA FLOODPLAIN NOTES:
 • FIRM MAP # 1500001A, DATED 08/01/99
 • ZONE COVERED: ZONE X

UTILITY LEGEND		
DESCRIPTION	PROPOSED	EXISTING
WATER LINE		
11.25" BEND		
22.5" BEND		
48" BEND		
30" BEND		
TIE CONNECTION		
FIRE HYDRANT		
FDG		
WATER METER		
BLOW OFF VALVE		
WASTE VALVE		
TRASH FLOW PREVENTER		
SEWER LINE		
SEWER PUMP		
SEWER MAN HOLE		
OVERHEAD POWER		
UNDERGROUND POWER		
POWER POLE		
DUY WIRE		
ELECTRIC BOX		
ELECTRIC MANSOLE		
ELECTRIC METER		
LIGHT POLE		

DRAINAGE LEGEND		
DESCRIPTION	PROPOSED	EXISTING
CURB INLET		
JUNCTION BOX		
STORM LINE		
GRATE INLET		
OUTFALL STRUCTURE		

SPOT SHOT LEGEND	
BW	BOTTOM OF WALL
EG	EXISTING GRADE
EG MATCH	MATCH EXISTING GRADE
FG	FINISH GRADE
FFE	FINISH FLOOR ELEVATION
HP	HIGH POINT
LP	LOW POINT
PAD	FINISH PAD
TC BC	TOP OF CURB AND BOTTOM OF CURB
TC	TOP OF CURB
TG	TOP GRATE
TP	TOP OF PAVEMENT
TS	TOP OF SIDEWALK

EXISTING LEGEND	
BLD. SETBACK	
ADJ. USE BUFFER	
PROP. LINE	
MINOR CONTOUR	
MAJOR CONTOUR	

TREE LEGEND	
TREE TYPE	COLOR
SIGNIFICANT TO BE REMOVED	
SIGNIFICANT	
SPECIMEN TO BE REMOVED	
SPECIMEN	
NON-SIGNIFICANT / SPECIMEN TO BE REMOVED	
NON-SIGNIFICANT SPECIMEN	

LEGEND	
DESCRIPTION	PROPOSED
CONCRETE WASHOUT	
LIMITS OF DISTURBANCE	
LIMITS OF CONSTRUCTION / SILT FENCE	
SILT FENCE	
TREE PROTECTION	
STORM DRAIN PIPE	
DIVERSION SWALE	
TYPE A STORM INLET PROTECTION	
TYPE E STORM INLET PROTECTION	
TYPE F STORM INLET PROTECTION	
SILT SACK INLET PROTECTION	
WETLANDS	
WETLANDS FILL	
PERVIOUS PARKING AREA	
CLEARING AND GRUBBING	
CLEARING AND GRUBBING AREA	
PERMANENT SEEDING	
PERMANENT SEEDING AREA	
TEMPORARY SEEDING	

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



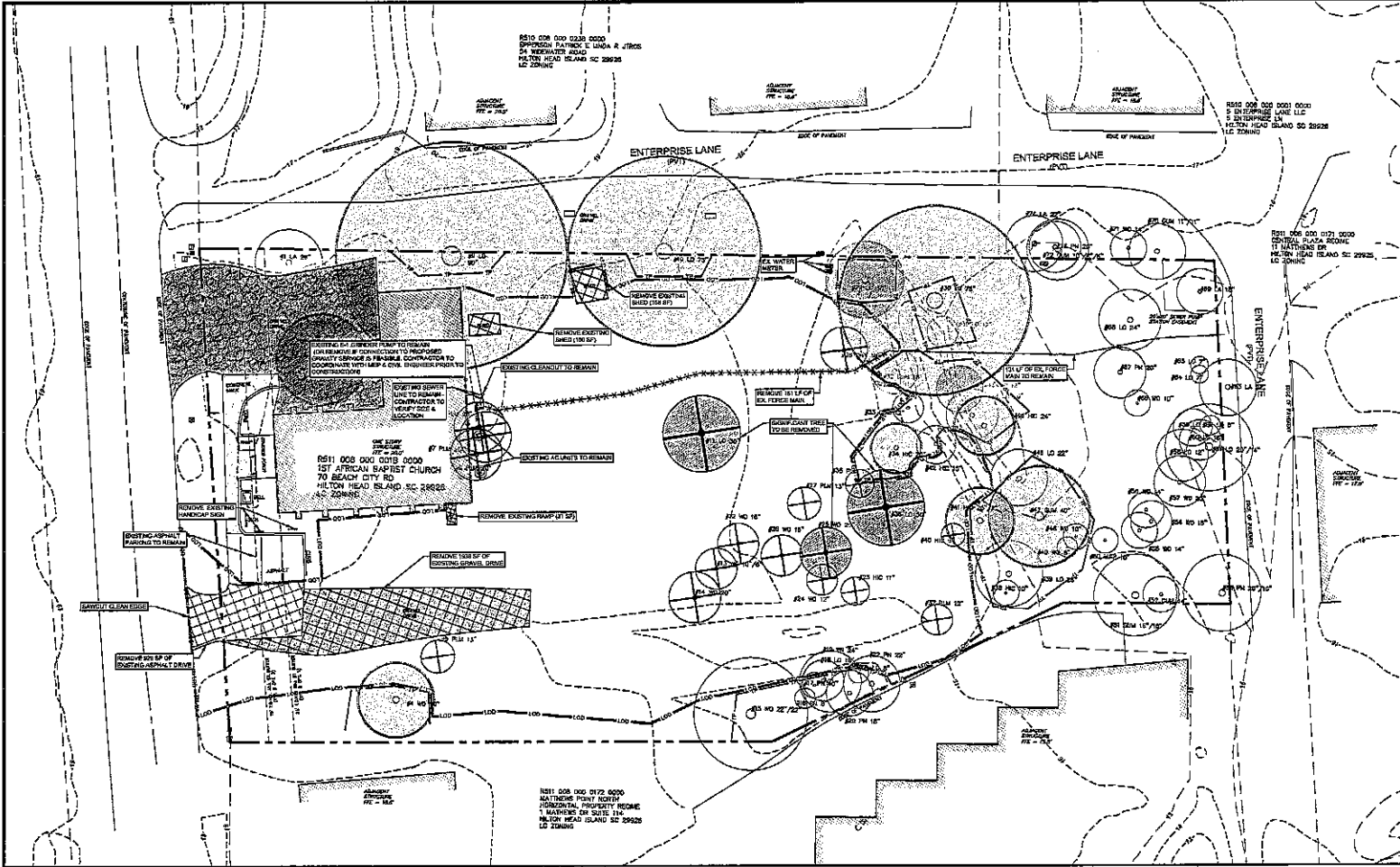
LJA Engineering, Inc.
 P.O. Box 16320/200
 111 Church Street
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 Charleston, South Carolina 29401
 TEL: 803.733.1111
 FAX: 803.733.1110
 WWW.LJA.COM

SEAL
 SOUTH CAROLINA REGISTERED PROFESSIONAL ENGINEER
 No. 38807
 REGAN E. SMITH

DATE: 02/05/2015 11:10 AM
 DRAWN BY: JES
 CHECKED BY: JES
 APP. NUMBER: 150200001
 SHEET NO. **C0.01**

**FIRST AFRICAN BAPTIST CHURCH
 70 BEACH CITY RD.
 SITE DEVELOPMENT PLANS**

GENERAL NOTES



LEGEND

LOO	LIMITS OF DISTURBANCE
SP	SUBTERRANEAN UTILITIES
---	PROPERTY BOUNDARY
---	STRUCTURE TO BE REMOVED
---	STORM PILE STRUCTURES
---	STORM DRAIN PIPE
---	STORM DRAIN PROTECTION, SEE DETAIL
---	SILT-BACK PROTECTION AREA, SEE DETAIL
---	PERMANENT SEEDING AREA
---	CLEARING AND GRADING AREA
---	PERMANENT BUILDING
---	CLEARANCE AND GRADING AREA

FIRST AFRICAN BAPTIST CHURCH - HILTON HEAD ISLAND

Tree No.	D.B.H. (in.)	Tree Species (Subspecies)	Remove?	Reason	Type (Significant/Specimen)
1	22	Liquidambar	No		Specimen
2	22	Sycamore	No		Specimen
3	38	Sycamore	No		Specimen
4	20	Water Oak	No		Specimen
5	13	Palmetto	Yes	Partially obstructing	Specimen
6	20	Palmetto	Yes	Obstructing Lanes	Specimen
7	20	Palmetto	Yes	Obstructing Lanes	Specimen
8	20	Palmetto	Yes	Obstructing Lanes	Specimen
9	10	Live Oak	No		Specimen
10	75	Live Oak	No		Specimen
11	20	Live Oak	Yes	Partially obstructing	Specimen
12	18	Water Oak	Yes	Partially obstructing	Specimen
13	10-14	Water Oak	Yes	Partially obstructing	Specimen
14	22	Water Oak	Yes	Partially obstructing	Specimen
15	22-28	Water Oak	No		Specimen
16	6	Pinus	No		Specimen
17	10	Pinus	No		Specimen
18	18	Live Oak	No		Specimen
19	24	Pinus	No		Specimen
20	11	Hickory	No		Specimen
21	8	Live Oak	No		Specimen
22	22	Pinus	No		Specimen
23	11	Hickory	No		Specimen
24	12	Water Oak	Yes	Partially obstructing	Specimen
25	18	Water Oak	Yes	Partially obstructing	Specimen
26	18	Water Oak	Yes	Partially obstructing	Specimen
27	18	Palmetto	Yes	Obstructing Lanes	Specimen
28	18	Palmetto	Yes	Obstructing Lanes	Specimen
29	30	Live Oak	No		Specimen
30	75	Live Oak	No		Specimen
31	18	Live Oak	No		Specimen
32	18	Gum Tree	No		Specimen
33	20	Hickory	No		Specimen
34	20	Hickory	No		Specimen
35	11	Palmetto	Yes	Partially obstructing	Specimen
36	22	Live Oak	No		Specimen
37	12	Palmetto	Yes	Partially obstructing	Specimen
38	10	Hickory	No		Specimen
39	26	Live Oak	No		Specimen
40	6	Hickory	Yes	Partially obstructing	Specimen
41	20	Hickory	No		Specimen
42	18	Hickory	No		Specimen
43	18	Hickory	No		Specimen
44	18	Hickory	No		Specimen
45	24	Hickory	No		Specimen
46	24	Hickory	No		Specimen
47	22	Live Oak	No		Specimen
48	18	Live Oak	No		Specimen
49	18	Live Oak	No		Specimen
50	18	Live Oak	No		Specimen
51	18	Live Oak	No		Specimen
52	18	Live Oak	No		Specimen
53	20-30	Pinus	No		Specimen
54	18	Water Oak	No		Specimen
55	14	Water Oak	No		Specimen
56	14	Water Oak	No		Specimen
57	20	Water Oak	No		Specimen
58	15	Live Oak	No		Specimen
59	10	Live Oak	No		Specimen
60	18	Live Oak	No		Specimen
61	20-14	Live Oak	No		Specimen
62	8	Live Oak	No		Specimen
63	18	Live Oak	No		Specimen
64	18	Live Oak	No		Specimen
65	18	Live Oak	No		Specimen
66	7	Live Oak	No		Specimen
67	12	Live Oak	No		Specimen
68	18	Pinus	No		Specimen
69	24	Live Oak	No		Specimen
70	18	Live Oak	No		Specimen
71	11-11	Gum Tree	No		Specimen
72	14	Live Oak	No		Specimen
73	10-8-6	Gum Tree	No		Specimen
74	20	Pinus	No		Specimen
75	20	Pinus	No		Specimen
76	22	Live Oak	No		Specimen

TREE LEGEND

TREE TYPE	COLOR
SIGNIFICANT TO BE REMOVED	(Symbol)
SIGNIFICANT	(Symbol)
SPECIMEN TO BE REMOVED	(Symbol)
SPECIMEN	(Symbol)
NON-SIGNIFICANT / SPECIMEN TO BE REMOVED	(Symbol)
NON-SIGNIFICANT SPECIMEN	(Symbol)

- DEMOLITION NOTES:**
- OWNER REPRESENTATIVE, CONTRACTING AGENCIES AND UTILITY COMPANIES SHALL BE NOTIFIED 14 DAYS PRIOR TO ANY DEMOLITION OPERATIONS.
 - CONTRACTOR SHALL COORDINATE WITH GOVERNING AGENCIES AND ALL UTILITY COMPANIES TO OBTAIN NECESSARY PERMITS AND APPROVALS OF DEMOLITION OPERATIONS INCLUDING ANY REQUIRED IMPROVEMENTS.
 - CONTRACTOR SHALL REMOVE ALL BUILDINGS, ROADSIDEWAYS, FENCES, CURBS, SIDEWALKS, PAVEMENT, TREES, STRUCTURE, UTILITIES AND ANY OTHER STRUCTURES AS INDICATED AND DISPOSE OF THAT MATERIAL IN A LEGAL MANNER.
 - UTILITIES TO REMAIN IN PLACE SHALL BE PROTECTED BY THE CONTRACTOR FROM DAMAGES BY ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR DAMAGES TO EXISTING UTILITIES.
 - DEMOLITION OF EXISTING BUILDINGS SHALL BE ACCORDING TO ALL APPLICABLE LOCAL, STATE, FEDERAL AND FEDERAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSURES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
 - CONTRACTOR IS TO VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE OWNER.
 - CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AS NECESSARY AND AT THE DIRECTION OF THE OWNER OR GOVERNING AGENCIES FOR PUBLIC SAFETY AND JOB SITE SECURITY.
 - CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO ANY SITE CONSTRUCTION OR DEMOLITION. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, BOTH MAIN AND SERVICE LINES FOR THE FOLLOWING:
 - POTABLE WATER LINES
 - SEWER/SANITARY LINES
 - ELECTRIC LINES (OVERHEAD AND UNDERGROUND)
 - Gas LINES
 - TELEPHONE LINES
 - CABLE TELEVISION LINES
 - IRREGULARLY LOCATED UTILITIES
 - THE CONTRACTOR SHALL NOTIFY ANY PUBLIC UTILITY TRAIL, LA, WATER MAINS, TO THE UTILITY DEPARTMENT. ALL OTHER MATERIAL SHALL BE DISPOSED OF OFF-SITE IN A LEGAL MANNER.
 - ALL DEBRIS FROM DEMOLITION OPERATIONS SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.
 - TREES TO BE SAVED SHALL BE PROTECTED FROM CONSTRUCTION OPERATIONS PER DETAIL. TREE REMOVAL OPERATIONS SHALL BE INDICATED.
 - THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE LOCAL, STATE, COUNTY AND FEDERAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSURES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
 - CONTRACTOR IS TO VERIFY ALL EXISTING SITE CONDITIONS PRIOR TO AND DURING CONSTRUCTION AND REPORT ANY CONFLICTS OR DISCREPANCIES TO THE OWNER.
 - CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AS NECESSARY AND AT THE DIRECTION OF THE OWNER OR GOVERNING AGENCIES FOR PUBLIC SAFETY AND JOB SITE SECURITY.
 - CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO ANY SITE CONSTRUCTION OR DEMOLITION. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO, BOTH MAIN AND SERVICE LINES FOR THE FOLLOWING:
 - POTABLE WATER LINES
 - SEWER/SANITARY LINES
 - ELECTRIC LINES (OVERHEAD AND UNDERGROUND)
 - Gas LINES
 - TELEPHONE LINES
 - CABLE TELEVISION LINES
 - IRREGULARLY LOCATED UTILITIES
 - ANY SUBCONTRACTOR WORKING ON THE JOB SHALL BE REQUIRED TO PERFORM ASBESTOS TESTING TO DETERMINE IF PRESENT.
 - UNLESS SPECIFICALLY NOTED ON THE PLAN TO BE ABANDONED IN PLACE OR DESTROYED, ALL UTILITIES ON SITE CONSIDERED UNDERGROUND SHALL BE ENTIRELY PROTECTED TO THE PROPERTY LINE OR SERVICE POLE BENCH OF PILES BEING PROTECTED TO THE PROPERTY LINE. ALL UTILITIES SHALL BE PROTECTED OR PLUGGED AS REQUIRED BY GOVERNING UTILITY COMPANY.
 - DEMOLITION OF BUILDINGS SHALL INCLUDE ALL PORTIONS OF THE STRUCTURE, BOTH ABOVE GROUND AND SUBSURFACE.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING ANY TRAFFIC CONTROL MEASURES NECESSARY FOR DEMOLITION OPERATIONS.
 - DEMOLITION OF EXISTING SIGNAL CURBS AND GUTTER AND SIDEWALK SHALL BE DEMOLISHED TO EXTEND TO THE NEXT CONSTRUCTION JUMP PAST THE LIMITS SHOWN ON THE DEMOLITION PLAN.

NOTE: THIS SCALE APPLIES FOR 24"X36" SHEETS ONLY.

GRAPHIC SCALE: 1" = 30 FT

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

811 Know what's below. Call before you dig.

LIA Engineering, Inc.
 1711 COLLETTA BLVD
 SUITE 100
 CHARLESTON, SOUTH CAROLINA 29405
 TEL: 803.733.1111
 FAX: 803.733.1112
 WWW.LIAENGINEERING.COM

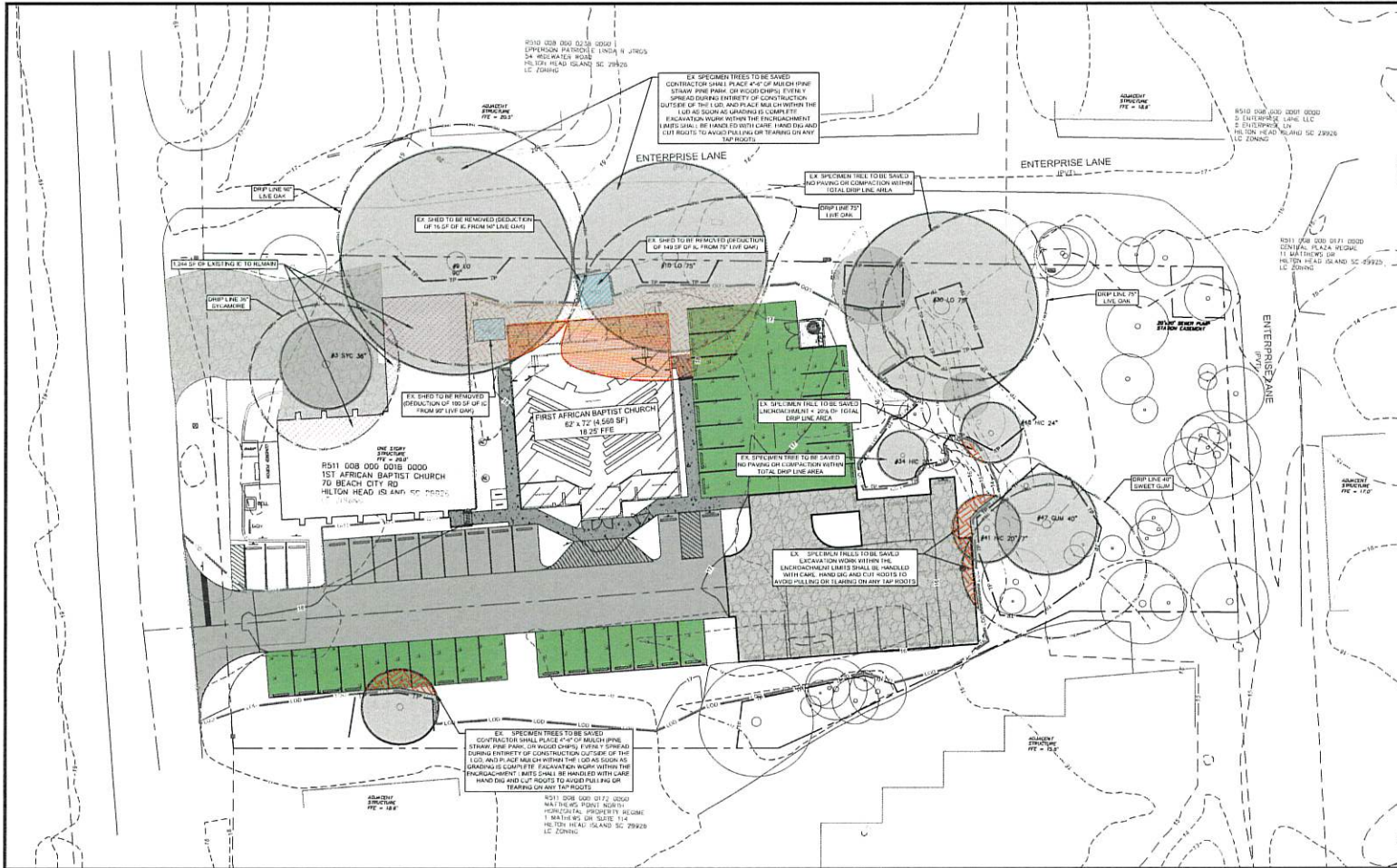
SEALED BY: DATE: _____
DESIGNED BY: _____
CHECKED BY: _____
DATE: _____

PROJECT: FIRST AFRICAN BAPTIST CHURCH, 70 BEACH CITY RD, HILTON HEAD ISLAND, SC. EX. CONDITIONS AND DEMOLITION PLAN.

SHEET NO. C1.01

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UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS IN PARENTHESES ARE ALTERNATE DIMENSIONS. SEE SHEET C1.02 FOR ADDITIONAL INFORMATION.



LEGEND:

- SPECIMEN TREE DRIP LINE
- GRADING WITHIN DRIP LINE OR ROOT ZONE
- IMPERVIOUS COVER WITHIN DRIP LINE OR ROOT ZONE
- IMPERVIOUS COVER PROPOSED TO BE REMOVED FROM DRIP LINE OR ROOT ZONE
- EXISTING IMPERVIOUS COVER TO REMAIN IN DRIP LINE OR ROOT ZONE
- SPECIMEN TREE EFFECTIVE ROOT ZONE

GRAPHIC SCALE
1" = 20'-0"

NOTE: THIS SCALE APPLIES TO 24"X36" SHEETS ONLY.

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

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LJA Engineering, Inc.
Professional Seal
11111 11th Street, Suite 100
Chesapeake, South Carolina 29405
FRLC02198

Professional Engineer
LJA Engineering, Inc.
No. 38807

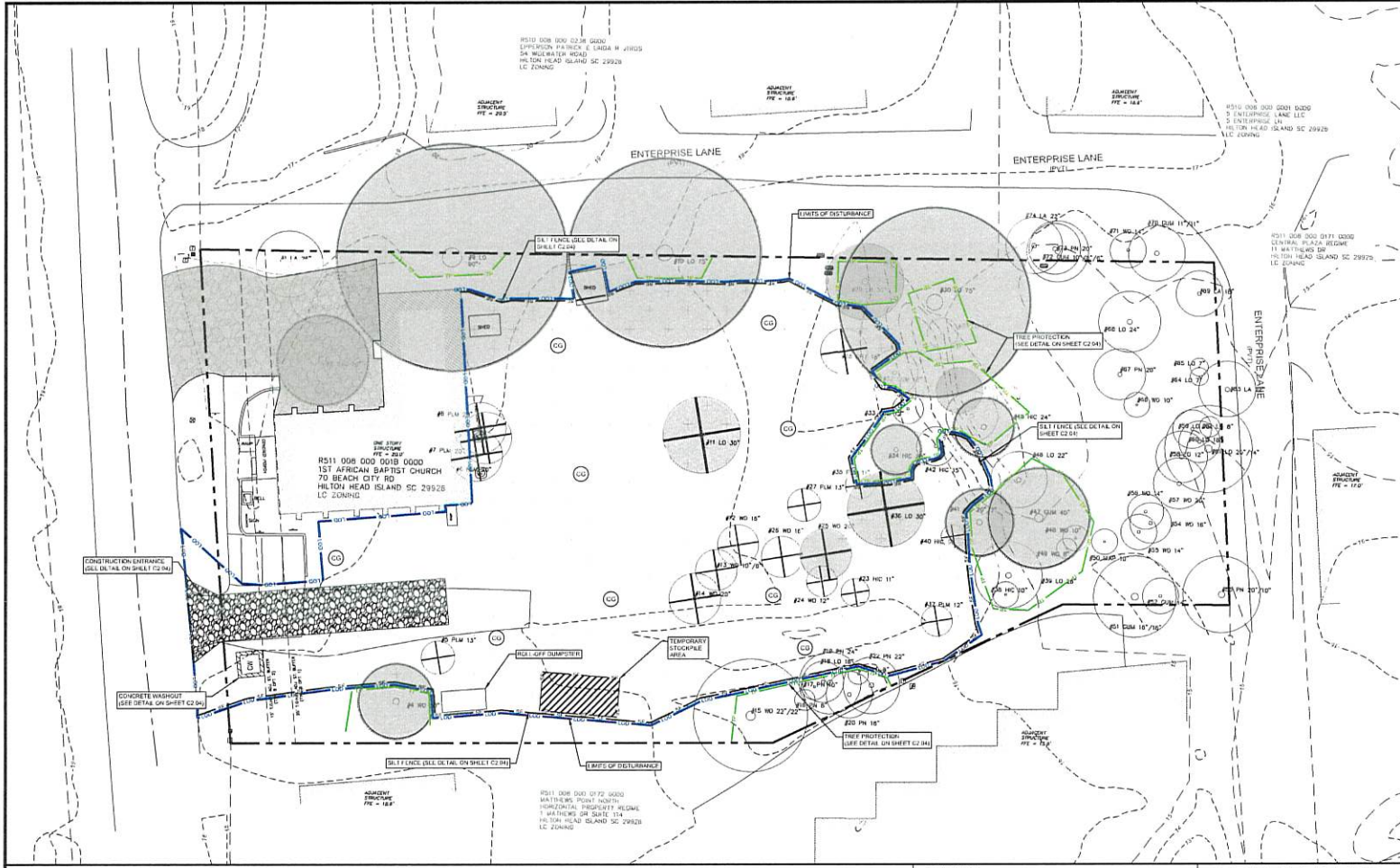
Professional Engineer
LJA Engineering, Inc.
No. 38807

NO.	REVISIONS	DATE

FIRST AFRICAN BAPTIST CHURCH
70 BEACH CITY RD.
SITE DEVELOPMENT PLANS
TREE ENCROACHMENT PLAN

DATE: 05/06/2024
DESIGNED BY: JLS
DRAWN BY: JLS
CHECKED BY: SES
JOB NUMBER: SC 2524-201
SHEET NO: **C1.02**

SWPPP PLAN FOR FIRST AFRICAN BAPTIST CHURCH, 70 BEACH CITY RD., HILTON HEAD ISLAND, SC 29928. PREPARED BY: LJA ENGINEERING, INC. DATE: 10/26/21.



- ### SEQUENCE OF CONSTRUCTION
- PHASE I**
1. RECEIVE APPLICABLE LAND DEVELOPMENT PERMITS FROM LOCAL MUNICIPALITY.
 2. SCHEDULE AND HOLD ON-SITE PRE-CONSTRUCTION MEETINGS WITH OWNER, CONTRACTOR, ENGINEER, OWNER'S SUPPLY INSPECTOR, SCDES INSPECTOR, AND LOCAL MUNICIPALITY INSPECTOR, AS APPLICABLE.
 3. NOTIFY SCDES ECC REGIONAL OFFICE OR CCDCM OFFICE 48 HOURS PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES.
 4. INSTALL CONSTRUCTION ENTRANCE(S) & INLET PROTECTION ON EXISTING INLETS.
 5. CLEAR AND GRUB ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROLS.
 6. INSTALL PERIMETER CONTROLS (SILT FENCE).
 7. CLEAR AND GRUB SITE AND COMPLETE DEMOLITION PER PLANS.
- PHASE II**
8. PROCEED WITH ROUGH GRADING.
 9. INSTALL STORM DRAIN SYSTEM AND ENSURE INLET PROTECTION IS INSTALLED AS EACH INLET IS CONSTRUCTED.
 10. PROCEED WITH FINE GRADING AND PAVING, AS PAVING COMMENCES, SILT SACKS MUST BE INSTALLED AS APPLICABLE.
 11. PROCEED WITH LANDSCAPING AND GRASSING.
 12. REMOVE EROSION CONTROL DEVICES AFTER SOIL STABILIZATION IS COMPLETE.
 13. PERFORM AS-BUILT SURVEYS OF STORMWATER CONVEYANCE SYSTEM AND STORMWATER BASINS TO SUBMIT TO LOCAL MS4 FOR APPROVAL AS REQUIRED.
 14. SUBMIT NOTICE OF TERMINATION TO SCDES AS APPROPRIATE.

- ### SWPPP NOTES:
1. REFERENCE SWPPP NOTES ON SHEET C2.01
 2. REFERENCE SCDES STANDARD DETAIL S ON SHEET C2.04
 3. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRUBBING, EXCAVATION, PILING OR OTHER LAND-DISTURBING ACTIVITIES, EXCEPT THOSE OPERATIONS NEEDED TO INSTALL SILT SACKS.
 4. WHEN ACCESSING SITE, PROVIDE A MINIMUM 10' (10') BY 24" WIDE TEMPORARY CONSTRUCTION ENTRANCE STABILIZED WITH GEOTEXTILE FABRIC AND 12" THICK STONE GRAVEL SURFACE COURSE. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO THE PAVED ROADWAY FROM CONSTRUCTION AREAS. THE CONTRACTOR SHALL ONLY REMOVE MUD FROM PAVEMENT AS MAY BE REQUIRED.
 5. PROVIDE SILT FENCE AND OTHER CONTROL DEVICES AS MAY BE REQUIRED TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEARLY GRADED AND STABILIZED WITH GRASSES IMMEDIATELY AFTER THE UTILITY INSTALLATION.
 6. TEMPORARY SEDIMENT TRAPS SHALL BE ACCEPTED WITH THE UNDERSTANDING THAT MAINTENANCE SHALL BE LEFT TO THE CONTRACTOR DURING CONSTRUCTION. FOR WATER TO ENTER.
 7. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER ANY STORM EVENT OF GREATER THAN 0.5 INCHES OF PRECIPITATION DURING ANY 24-HOUR PERIOD. DAMAGED OR IMPERFECTIVE DEVICES SHALL BE REPAIRED OR REPLACED AS NECESSARY. ALL SEDIMENT CONTROL FEATURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION HAS BEEN OBTAINED.
 8. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL MEASURES MAY BE INSTALLED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR SEDIMENTATION IF DEEMED NECESSARY BY ON-SITE INSPECTION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND SITE IS STABILIZED.
 9. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL BE CAUSE FOR CONSTRUCTION STOPPAGE.
 10. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE. PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED, SHALL BE SUBJECT TO INSPECTION BY THE LOCAL MS4 WITHIN THIRTY (30) DAYS.
 11. ESTABLISHMENT OF PERMANENT AND TEMPORARY VEGETATION FOR THIS PROJECT SHALL CONSIST OF THE FOLLOWING: THE GRASSING PREPARATION, FERTILIZING AND PLANTING OF PERMANENT VEGETATION AND GRASSING OF ALL DISTURBED AREAS IN THE PROJECT AREA.

LIMITS OF DISTURBANCE:
 0.813 AC.
NOTE: PROTECT ALL EXISTING TREES EXCEPT AS NOTED

LEGEND

	LIMITS OF DISTURBANCE
	LIMITS OF CONSTRUCTION, SILT FENCE, SEE DETAIL
	PROPERTY BOUNDARY
	TREE PROTECTION
	ACCESSIBLE ROUTE
	CONCRETE SIDEWALK
	STORM INLET STRUCTURES
	STORM DRAIN PIPE
	STORM INLET PROTECTION, SEE DETAIL
	SILT SACK INLET PROTECTION, SEE DETAIL
	PERMANENT SEEDING AREA
	CLEARING AND GRUBBING AREA
	PERMANENT SEEDING
	CLEARING AND GRUBBING AREA

TREE LEGEND

TREE TYPE	COLOR
SIGNIFICANT TO BE REMOVED	
SIGNIFICANT	
SPECIMEN TO BE REMOVED	
SPECIMEN	
NON-SIGNIFICANT / SPECIMEN TO BE REMOVED	
NON-SIGNIFICANT SPECIMEN	

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

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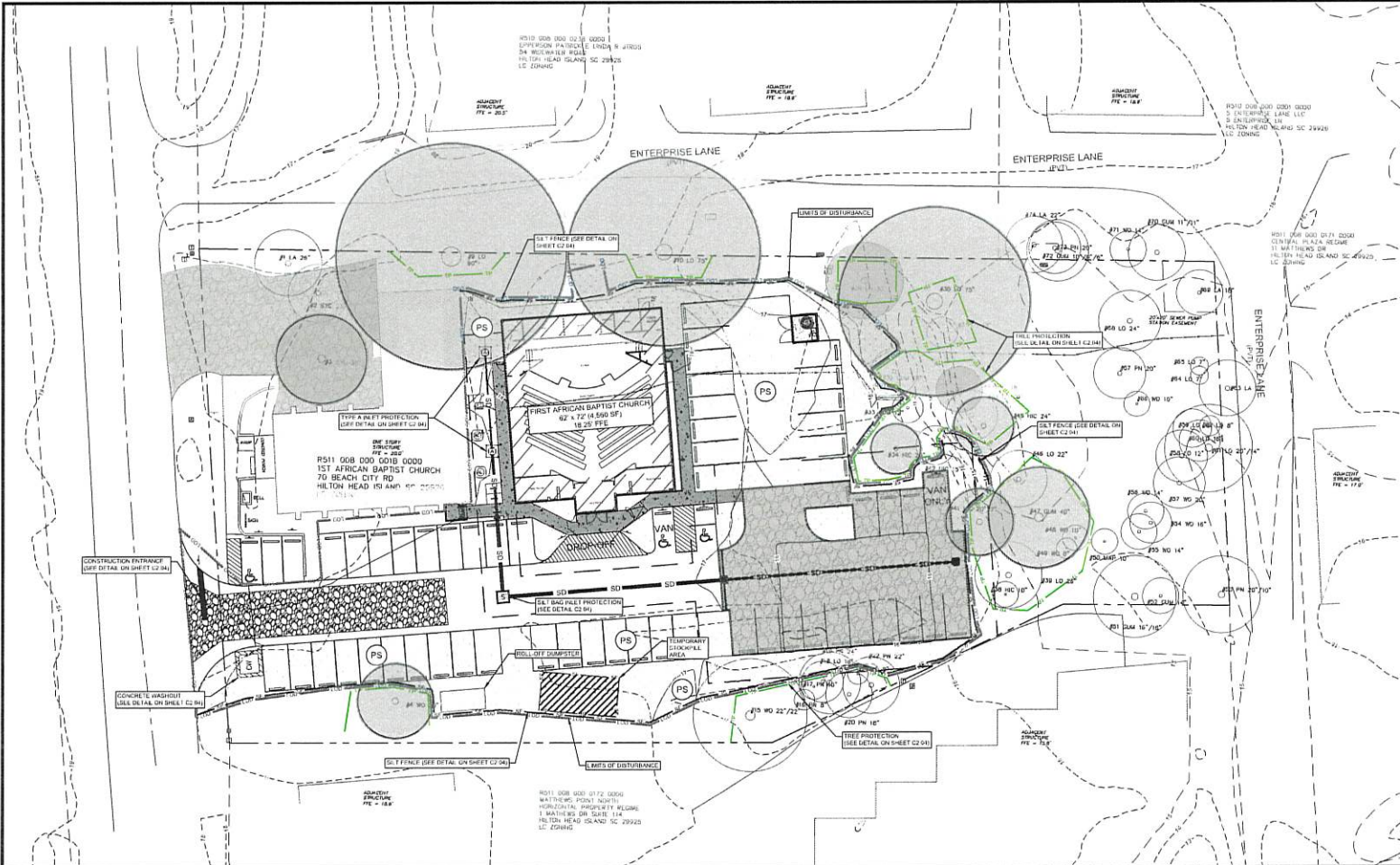
LJA Engineering, Inc.
 1777 Charleston Drive
 Suite 300
 Charleston, South Carolina 29401
 www.LJA.com
 FRN-CD0188

SOUTH CAROLINA
 LICENSED PROFESSIONAL ENGINEER
 NO. 38907
 KEVIN E. SMITH

SHEET NO. **C2.01**

FIRST AFRICAN BAPTIST CHURCH
 70 BEACH CITY RD.
 SITE DEVELOPMENT PLANS
 SWPPP PLAN PHASE I

DATE: 10/26/21
 DESIGN BY: JLM
 DRAWN BY: JLM
 CHECKED BY: MMS
 APP. NUMBER: 10/26/21



SEQUENCE OF CONSTRUCTION

- PHASE I**
1. RECEIVE APPLICABLE LAND DEVELOPMENT PERMITS FROM LOCAL MUNICIPALITY.
 2. SCHEDULE AND HOLD ON-SITE PRE-CONSTRUCTION MEETING WITH OWNER, CONTRACTOR, ENGINEER, OWNER'S SWPPP INSPECTOR, SDCS INSPECTOR, AND LOCAL MUNICIPALITY INSPECTOR, AS APPLICABLE.
 3. NOTIFY SDCS EDC REGIONAL OFFICE OR OCRM OFFICE 48 HOURS PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES.
 4. INSTALL CONSTRUCTION ENTRANCE(S) & INLET PROTECTION ON EXISTING INLET(S).
 5. CLEAR AND GRUB ONLY AS NECESSARY FOR INSTALLATION OF PERMETER CONTROLS.
 6. INSTALL PERMETER CONTROLS (E6 SILT FENCE).
 7. CLEAR AND GRUB SITE AND COMPLETE DEMOTION PER PLAN.
- PHASE II**
8. PROCEED WITH ROUGH GRADING.
 9. INSTALL STORM DRAIN SYSTEM AND ENSURE INLET PROTECTION IS INSTALLED AS EACH INLET BE CONSTRUCTED.
 10. PROCEED WITH FINE GRADING AND PAVING, AS PAVING COMMENCES, SALTACKS MUST BE INSTALLED AS APPLICABLE.
 11. PROCEED WITH LANDSCAPING AND GRASSING.
 12. REMOVE EROSION CONTROL DEVICES AFTER SOIL STABILIZATION IS COMPLETE.
 13. PERFORM AS-BUILT SURVEYS OF STORMWATER CONVEYANCE SYSTEM AND STORMWATER BASINS TO SUBMIT TO SDCS OR LOCAL MSA FOR APPROVAL, AS REQUIRED.
 14. SUBMIT NOTICE OF TERMINATION TO SDCS AS APPROPRIATE.

SWPPP NOTES:

1. REFERENCE SWPPP NOTES ON SHEET C2 03.
2. REFERENCE SDCS STANDARD DETAIL S ON SHEET C2 04.
3. APPROVED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY EXCAVATING, GRADING, EXCAVATION, PILING OR OTHER LAND-DISTURBING ACTIVITIES, EXCEPT THOSE OPERATIONS REFERRED TO INSTALL SIGN-MESSAGES.
4. WHEN ACCESSING SITE, PROVIDE A MINIMUM 8' (8'0") BY 24" WIDE TEMPORARY CONSTRUCTION ENTRANCE SYSTEMS WITH DECELERATE FABRIC MATS. THEY SHALL BE MAINTAINED THROUGHOUT THE PROJECT. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MAINTAIN THE ENTRANCE AND REMOVE MUDS FROM PAVEMENT, AS MAY BE REQUIRED.
5. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEARED, GRADED AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION.
6. TEMPORARY SEEDING MATS SHALL BE ACCEPTED WITH THE UNDERSTANDING THAT MAINTENANCE MATS SHALL BE LEFT LOW ENOUGH DURING CONSTRUCTION FOR WATER TO ENTER.
7. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND AFTER ANY STORM EVENT OF GREATER THAN 1" RAINFALL OF PRECIPITATION DURING ANY 24-HOUR PERIOD. DAMAGED OR IMPROPERLY OPERATING DEVICES SHALL BE REPAIRED OR REPLACED AS NECESSARY. ALL SEDIMENT CONTROL DEVICES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION HAS BEEN OBTAINED.
8. ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR SOIL DEGRADATION IF DEEMED NECESSARY BY ON-SITE INSPECTION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND SITE IS STABILIZED.
9. FAILURE TO PROPERLY INSTALL AND MAINTAIN EROSION CONTROL PRACTICES SHALL RESULT IN CONSTRUCTION BEING STOPPED.
10. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS CEASED. SWPPP ACTIVITY IN THAT PORTION OF THE SITE WILL RESUME WITHIN TWENTY (20) DAYS.
11. ESTABLISHMENT OF PERMANENT AND TEMPORARY VEGETATION FOR THIS PROJECT SHALL CONSIST OF THE FOLIOWING: THE GRASSING PREPARATION, FURNISHING AND PLANTING SEEDING, FERTILIZING AND MOWING OF ALL DISTURBED AREAS IN THE PROJECT AREA.

LIMITS OF DISTURBANCE
0.813 AC.
NOTE: PROTECT ALL EXISTING TREES EXCEPT AS NOTED

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1000 W. 10th Street
Charleston, South Carolina 29401
www.lja.com
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SEAL
Professional Engineer
No. 28607
MEGAN E. SWIN

REVISIONS

NO.	DATE	DESCRIPTION

DATE: 10/20/23
DRAWN BY: JES
CHECKED BY: MEB
JOB NUMBER: 23-002-001

SHEET NO. **C2.02**

SWPPP PLAN PHASE 2

LEGEND

LOD	LIMITS OF DISTURBANCE
SF	LIMITS OF CONSTRUCTION/SILT FENCE, SEE DETAIL
---	PROPERTY BOUNDARY
- - -	TRIEF PROTECTION
o o o o o	ACCESSIBLE ROUTE
CONCRETE SIDEWALK	CONCRETE SIDEWALK
SD	STORM INLET STRUCTURES
SD	STORM DRAIN PIPE
SD	STORM INLET PROTECTION, SEE DETAIL
SILT SACK	SILT SACK INLET PROTECTION, SEE DETAIL
PERMANENT SEEDING AREA	PERMANENT SEEDING AREA
CLEARING AND GRUBBING AREA	CLEARING AND GRUBBING AREA
PERMANENT SEEDING	PERMANENT SEEDING
CLEARING AND GRUBBING AREA	CLEARING AND GRUBBING AREA

TREE LEGEND

TREE TYPE	COLOR
SIGNIFICANT TO BE REMOVED	⊗
SIGNIFICANT	●
SPECIMEN TO BE REMOVED	⊗
SPECIMEN	●
NON-SIGNIFICANT / SPECIMEN TO BE REMOVED	⊗
NON-SIGNIFICANT SPECIMEN	●

GRAPHIC SCALE: 1" = 20 FT

NOTE: THIS SCALE APPLIES TO ALL SHEETS IN THIS SET.

THIS PLAN WAS PREPARED BY THE ENGINEER AND/OR ARCHITECT AND IS NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF THE ENGINEER AND/OR ARCHITECT.

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CONTROLS

THE PLANT UTILITIES BEING MAINTAINED OR RECONSTRUCTED SHALL BE CONTROLLED BY THE CONTRACTOR TO PREVENT DAMAGE TO THE UTILITIES FROM THE CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING THE CONTROLS FOR PLANT UTILITIES AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING THE CONTROLS FOR PLANT UTILITIES AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING THE CONTROLS FOR PLANT UTILITIES AS SHOWN ON THE PLANS.

GENERAL

THE CONTRACTOR SHALL AT ALL TIMES IMPLEMENT THE CONTRACTOR'S REQUIREMENTS OUTLINED ON AND THROUGHOUT THE CONSTRUCTION PLAN. IN ADDITION, THE CONTRACTOR SHALL OBSERVE ALL LOCAL, STATE AND FEDERAL REGULATIONS AND STANDARDS THAT APPLY TO THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SEQUENCE OF MAJOR ACTIVITIES: SCODS CONSTRUCTION SEQUENCE

- 1. RECEIVE APPLICABLE LAND DEVELOPMENT PERMITS FROM LOCAL MUNICIPALITY.
2. SCHEDULE AND HOLD ONE-MEET PRE-CONSTRUCTION MEETING WITH OWNER, CONTRACTOR, ENGINEER, OWNER'S SWPPP INSPECTOR, DESIGN INSPECTOR, AND LOCAL MUNICIPALITY INSPECTOR AS APPLICABLE.
3. NOTIFY SCODS GAS REGIONAL OFFICE ON LOCAL OFFICE 48 HOURS PRIOR TO BEGINNING LAND DISTURBING ACTIVITIES.
4. INSTALL CONSTRUCTION ENTRANCES & BUILT PROTECTION ON PERIMETER CONTROL.
5. CLEAR AND GRUB ONLY AS NECESSARY FOR INSTALLATION OF PERIMETER CONTROL.
6. INSTALL PERIMETER CONTROL (SEE Silt Fence).
7. CLEAR AND GRUB SITE AND COMPLETE EXEMPTION PER PLAN.
8. PROCEED WITH ROUGH GRADING.
9. INSTALL STORM DRAIN SYSTEM AND INSURE INLET PROTECTION IS INSTALLED AS EACH INLET IS CONSTRUCTED.
10. PROCEED WITH FINE GRADING AND PAVING, AS PAVING COMMENCES, SLOTTED CURBS MUST BE INSTALLED AS APPLICABLE.
11. PROCEED WITH LANDSCAPING AND GRASSING.
12. REMOVE EROSION CONTROL DEVICES AFTER SOIL STABILIZATION IS COMPLETE.
13. PERFORM FINAL SURVEY OF STORMWATER MANAGEMENT SYSTEM AND STORMWATER BASINS TO SUBMIT TO SCODS OR LOCAL USE FOR APPROVAL, AS REQUIRED.
14. SUBMIT NOTICE OF TERMINATION TO SCODS AS APPROPRIATE.

TIMING OF CONTROLS/MEASURES

AS SHOWN ON THE SEQUENCE OF MAJOR ACTIVITIES, THE SILT FENCES WILL BE INSTALLED PRIOR TO GRUBBING OR GRADING. THE PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO GRUBBING OR GRADING. THE PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO GRUBBING OR GRADING. THE PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO GRUBBING OR GRADING.

CONTROLS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO IMPLEMENT THE EROSION AND SEDIMENT CONTROLS AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN. IT IS ALSO THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN THESE CONTROLS AND PROPERLY MAINTAIN, AMEND AND FUNCTION PROPERLY TO PREVENT POLLUTED WATER FROM LEAVING THE PROJECT SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING AND MAINTAINING THE CONTROLS FOR PLANT UTILITIES AS SHOWN ON THE PLANS.

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES

- 1. FILTER FABRIC BARRIER (SILT FENCE)
A. WHERE THE MAXIMUM SLOPE BEHIND THE BARRIER IS 3% HORIZONTAL.
B. IN WHICH CHANNELS OR DETENTION TRENCHES THE MAXIMUM CONCENTRATION OF SEDIMENT IS 100 LBS PER 1000 SQ YD.
C. ALL AREAS WITHIN OR OF A DEFINED WETLAND WILL BE PROTECTED BY A DOUBLE ROW OF SILT FENCE.
2. TEMPORARY SEEDING
3. TEMPORARY GRASSING
4. PERMANENT SEEDING
5. MAINTENANCE
6. PERMANENT SEEDING

GENERAL NOTES

HAZARDOUS MATERIALS

- 1. THESE PRACTICES ARE USED TO REDUCE THE RISKS ASSOCIATED WITH HAZARDOUS MATERIALS.
2. PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT REUSABLE.
3. ORIGINAL LABELS AND MATERIAL SAFETY DATA SHEETS WILL BE RETAINED. THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
4. HAZARDOUS PRODUCTS MUST BE IDENTIFIED BY MANUFACTURER'S CLASSIFICATION AND STATE REGULATORY AGENCIES FOR PROPER DISPOSAL. WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES

- 1. PETROLEUM PRODUCTS
2. FERTILIZERS
3. PESTICIDES

SPILL PREVENTION (CONT.)

- 1. IF NECESSARY, SLOPES, WHICH EXCEED 5% IN VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO PROTECTING IT, IT MAY BE NECESSARY TO INSTALL EROSION CONTROL DEVICES DURING CONSTRUCTION. TEMPORARY SLOPES MAY BE MAINTAINED UNTIL THE SLOPE IS STABILIZED.
2. IF A STAND OF PERMANENT VEGETATION HAS LESS THAN 40% COVER, REVEALING OF SOIL SHOULD BE LIMITED TO THE MINIMUM AMOUNTS NECESSARY FOR THE WORK. COVER SHOULD BE RESTORED AS SOON AS PRACTICABLE.

MAINTENANCE/INSPECTION PROCEDURES

- 1. ALL CONTROL MEASURES MUST BE INSPECTED BY THE SUPERINTENDENT OR PERSON RESPONSIBLE FOR THE DAY TO DAY OPERATION ON OR BEFORE.
2. SILT FENCES WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TRENCHES TO SEE IF THE FENCE POSTS ARE PERMANENTLY GROUNDED.
3. TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR SWEET SPOTS, WASHOUTS AND OTHER DEFICIENCIES.
4. MAINTENANCE/INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION. A COPY OF THE REPORT FORM TO BE COMPLETED BY THE INSPECTOR IS AVAILABLE AT THE PROJECT OFFICE. THE REPORTING REQUIREMENTS ARE AS FOLLOWS:
5. PERMANENT SEEDING: WHEN DISTURBED BY CONSTRUCTION WILL BE A MINIMUM OF 100% COVER. WHEN NOT DISTURBED BY CONSTRUCTION, SLOPES STEEPER THAN 3% SHALL BE SEEDING AND MAINTAINED AS SOON AS PRACTICABLE.

SEDIMENT & EROSION CONTROL NOTES (CONT.)

- 1. IMPROVE SEDIMENT AREAS FOR FAILURE AND MAKE NECESSARY REPAIRS AND RECORD ON DRAWINGS WITH THE SAME ORIGINATOR AS POSSIBLE. IF THE SLOPE COVER IS 50% OR MORE, REVEALING OF SOIL SHOULD BE LIMITED TO THE MINIMUM AMOUNTS NECESSARY FOR THE WORK. COVER SHOULD BE RESTORED AS SOON AS PRACTICABLE.
2. IF A STAND OF PERMANENT VEGETATION HAS LESS THAN 40% COVER, REVEALING OF SOIL SHOULD BE LIMITED TO THE MINIMUM AMOUNTS NECESSARY FOR THE WORK. COVER SHOULD BE RESTORED AS SOON AS PRACTICABLE.

STANDARD SCODS NOTES

- 1. IF NECESSARY, SLOPES, WHICH EXCEED 5% IN VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS. IN ADDITION TO PROTECTING IT, IT MAY BE NECESSARY TO INSTALL EROSION CONTROL DEVICES DURING CONSTRUCTION. TEMPORARY SLOPES MAY BE MAINTAINED UNTIL THE SLOPE IS STABILIZED.
2. IF A STAND OF PERMANENT VEGETATION HAS LESS THAN 40% COVER, REVEALING OF SOIL SHOULD BE LIMITED TO THE MINIMUM AMOUNTS NECESSARY FOR THE WORK. COVER SHOULD BE RESTORED AS SOON AS PRACTICABLE.

CONSTRUCTION SCHEDULE table with columns for months (Jan to Dec) and rows for various construction activities like Mobilization, Excavation, etc.

THE ABOVE SCHEDULE IS TENTATIVE AND MAY BE MODIFIED DUE TO CONSTRUCTION SCHEDULING.

SEEDING SCHEDULES

TEMPORARY SEEDING table with columns for months and rows for different seed types and application rates.

PERMANENT SEEDING table with columns for months and rows for different seed types and application rates.

FOR STEEP SLOPES/CUT SLOPES table with columns for months and rows for different seed types and application rates.

PERMANENT WATER QUALITY

SUMMARY OF MAINTENANCE REQUIREMENTS

Table with columns for maintenance activity and frequency. Includes rows for mow grass, remove litter, inspect for erosion, etc.

OTHER CONTROLS

WASTE DISPOSAL

- 1. HAZARDOUS MATERIALS: ALL HAZARDOUS MATERIALS MUST BE COLLECTED AND STORED IN A SECURE, LEAK-PROOF CONTAINER. THE CONTAINER WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT REUSABLE.
2. HAZARDOUS WASTE: ALL HAZARDOUS WASTE MATERIALS WILL BE STORED IN A LEAK-PROOF CONTAINER. THE CONTAINER WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT REUSABLE.

SPILL PREVENTION

THE FOLLOWING ARE THE SPILL PREVENTION PRACTICES THAT WILL BE USED TO PREVENT THE RELEASE OF HAZARDOUS MATERIALS TO THE ENVIRONMENT OR TO WATER BODIES.

GOOD HOUSEKEEPING

- 1. ALL SPILLS WILL BE CLEANED UP IMMEDIATELY.
2. ALL MATERIALS STORED ON SITE WILL BE STORED IN A LEAK-PROOF CONTAINER.
3. ALL MATERIALS STORED ON SITE WILL BE STORED IN A LEAK-PROOF CONTAINER.

GRADING NOTES

- 1. IF DISCONTINUED BETWEEN PROPOSED GRADING, AS SHOWN ON THE PLAN AND THE EXISTING GROUND SURFACE, THE CONTRACTOR MUST PROTECT THE EXISTING GROUND SURFACE FROM EROSION AND SEDIMENTATION.
2. THE CONTRACTOR SHALL USE CARE IN GRADING TO PREVENT SOIL LOSS AND TO MAINTAIN THE STABILITY OF THE SOIL.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

SEDIMENT & EROSION CONTROL NOTES

- 1. PERMANENT SEEDING: WHEN DISTURBED BY CONSTRUCTION WILL BE A MINIMUM OF 100% COVER. WHEN NOT DISTURBED BY CONSTRUCTION, SLOPES STEEPER THAN 3% SHALL BE SEEDING AND MAINTAINED AS SOON AS PRACTICABLE.
2. SILT FENCES WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TRENCHES TO SEE IF THE FENCE POSTS ARE PERMANENTLY GROUNDED.



LJA Engineering, Inc.
Professional Engineer
State # 100
Chattanooga, TN 37402

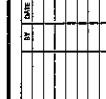


Table with columns for date, location, and notes. Includes rows for site visits and inspections.

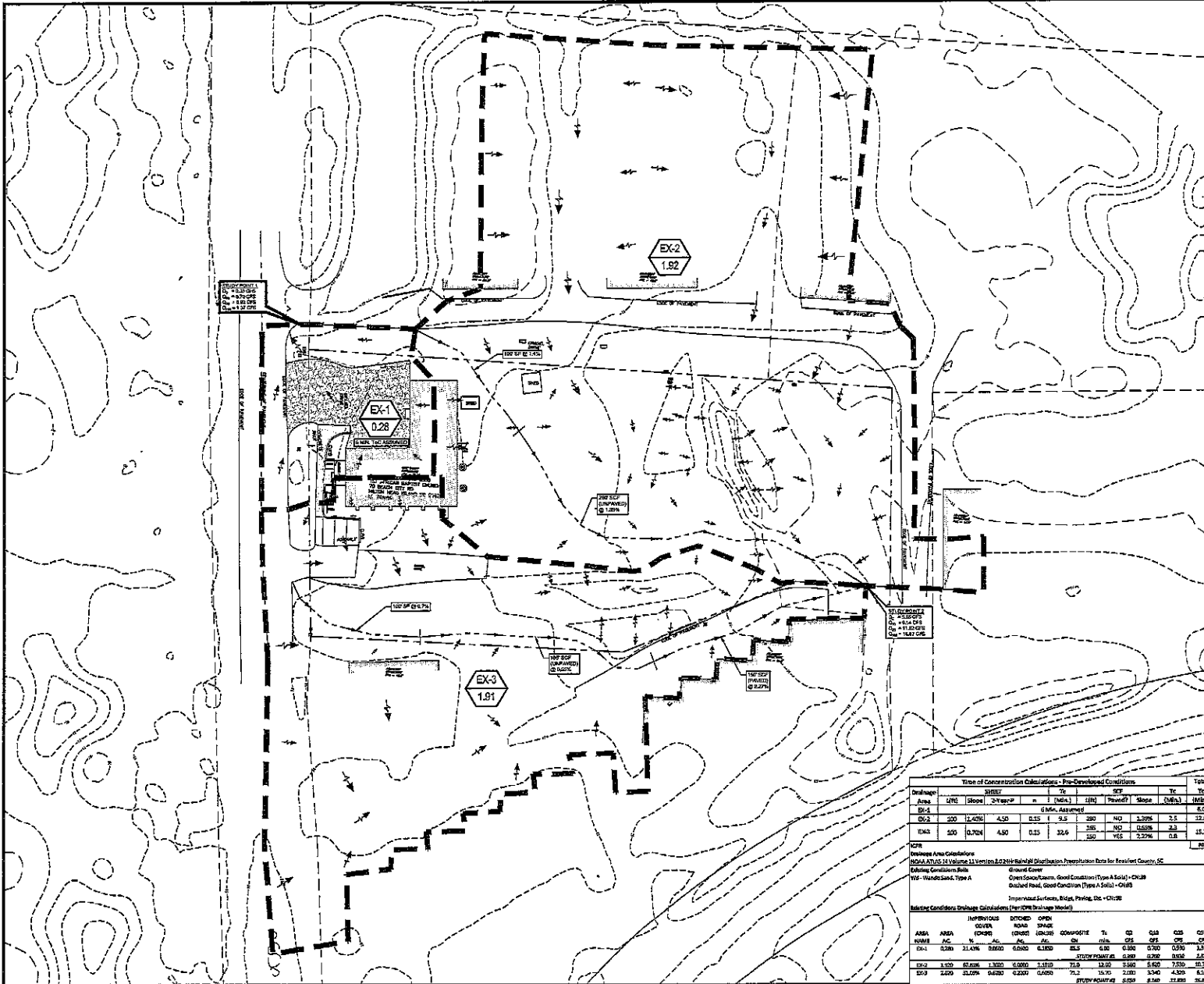
FIRST AFRICAN BAPTIST CHURCH
70 BEACH CITY RD.
SITE DEVELOPMENT PLANS
SWPPP PLAN NOTES

DATE: 05/26/2016
DRAWN BY: JLR
CHECKED BY: JLR
JOB NUMBER: 16-002701
SHEET NO.
C2.03



LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR.

NOT TO SCALE FROM SURVEY OR PHOTOGRAPHY. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE SPECIFIED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS IN THE FIELD.



Time of Concentration Calculations - Pre-Developed Conditions

Drainage Area	Area (Ac)	Slope	Time (Min)	Runoff Coefficient (C)	Time (Min)	Runoff (CFS)	Time (Min)	Total (Min)		
EX-1	200	3.42%	4.50	0.55	9.5	180	140	3.29%	2.5	12.0
EX-2	500	0.70%	4.50	0.55	32.6	150	140	2.37%	0.8	15.7
EX-3	100	0.70%	4.50	0.55	32.6	150	140	2.37%	0.8	15.7

Runoff Area Calculations
 NOAA ATLAS 14 Volume 11 Event 2.22 In/hr (24-hr) Distribution Precipitation Data for Realist County, SC
 Gaging Condition Rate: 6.0 in/hr
 15% - 100% Good Condition (Type A) - CH-28
 15% - 100% Good Condition (Type A) - CH-18
 Improved Surfaces, Bldg, Paving, etc. - CH-18

Summary Conditions Drainage Calculations (Per DWS Drainage Model)

AREA	AREA (Ac)	AREA (Sq Ft)	PERCENT IMPAVED	PERCENT IMPAVED	PERCENT IMPAVED	PERCENT IMPAVED	PERCENT IMPAVED	PERCENT IMPAVED	PERCENT IMPAVED	PERCENT IMPAVED
EX-1	200	1742400	0.55	0.55	0.55	0.55	0.55	0.55	0.55	0.55
EX-2	500	4356000	0.55	0.55	0.55	0.55	0.55	0.55	0.55	0.55
EX-3	100	871200	0.55	0.55	0.55	0.55	0.55	0.55	0.55	0.55

STORM DRAINAGE NOTES:

- ALL DCP PIPE SHALL BE CLASS II WATERPROOF REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
- ALL PVC STORM PIPS SHALL BE 60#38 BELL & SPIGOT.
- ALL DISTRIBUTED PLASTIC PIPE (PVC) AND FITTINGS SHALL BE ADS N-12, WT OR APPROVED EQUAL, WITH WADEN TIGHT CONNECTIONS.
- LOCATION AND TOP ELEVATIONS OF INLETS AND STRUCTURES WILL BE AS SHOWN IN THE FIELD BY THE CONTRACTOR UNLESS NECESSARY AND SHALL BE APPROVED BY THE DIVISION.
- INVERTS SHOWN ON PLAN DRAWINGS ARE PIPS UNLESS NOTED.
- MAINTAINING RESPONSIBILITY OF ALL EXISTING DRAINAGE PIPING AND STRUCTURES SHALL BE AS FOLLOWS:
 EXISTING CONSTRUCTION: ORIGINAL CONTRACTOR
 AFTER CONSTRUCTION: OWNER
- THE CONTRACTOR IS RESPONSIBLE FOR MAKING TIE-IN TO EXISTING ROOF DRAIN CONNECTIONS AT BUILDING. SEE DRAIN CONNECTION POINTS SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL CONTROL ALL BUILDING CONNECTION POINT LOCATIONS AND DIRECTORS WITH APPROVED ARCHITECTURAL AND MECHANICAL PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR DETAILING ROOF DRAIN LEADERS TO WITHIN 5 FEET OF BUILDING FOR CONNECTION OF EXISTING ROOF DRAIN LEADERS. ALL CONNECTION POINTS SHOWN ARE FOR REFERENCE ONLY. PLUMBING CONTRACTOR SHALL BE RESPONSIBLE FOR MAKEUP TRANSITION AND CONNECTION TO ROOF DRAIN LEADERS.

LEGEND

- WATER OF CONCENTRATION: ---
- FLOW PATH BETWEEN BASINS: ---
- DRAINAGE AREA BOUNDARY: ---
- DRAINAGE AREA NAME: EX-1
- DRAINAGE AREA SIZE (ACRES): 0.28
- EX: MAJOR CONTOUR: ---
- EX: MAJOR CONTOUR: ---
- FLOW ARROW: →

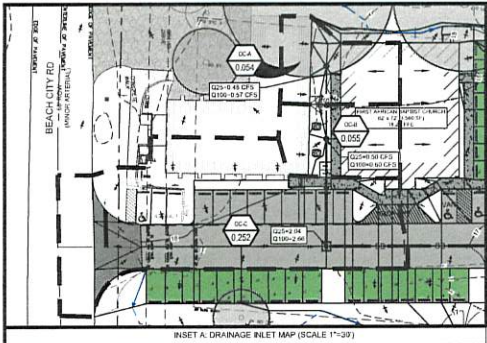
LJA Engineering, Inc.
 111 Orange Street
 Suite 100
 Charleston, South Carolina 29401
 Phone: 843.741.1111
 www.lja.com
 PIN: C018

QUALITY ASSURANCE
 REGISTERED PROFESSIONAL ENGINEER
 No. 38477
 JOHN E. SMITH

QUALITY ASSURANCE
 REGISTERED PROFESSIONAL ENGINEER
 No. 38477
 JOHN E. SMITH

DATE: 05/20/24
 DRAWN BY: JLS
 CHECKED BY: JLS
 JOB NUMBER: 24-010-01
 SHEET NO. **C5.01**

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RATIONAL METHOD DRAINAGE AREA CALCULATIONS (RATIONAL METHOD)

Subarea	Area (Ac)	C	I (in/hr)	Q (cfs)
A	2.71	0.51	2.51	10.71
B	1.11	0.40	0.34	0.37
C	0.86	0.50	1.20	0.53
Total	4.68			11.61

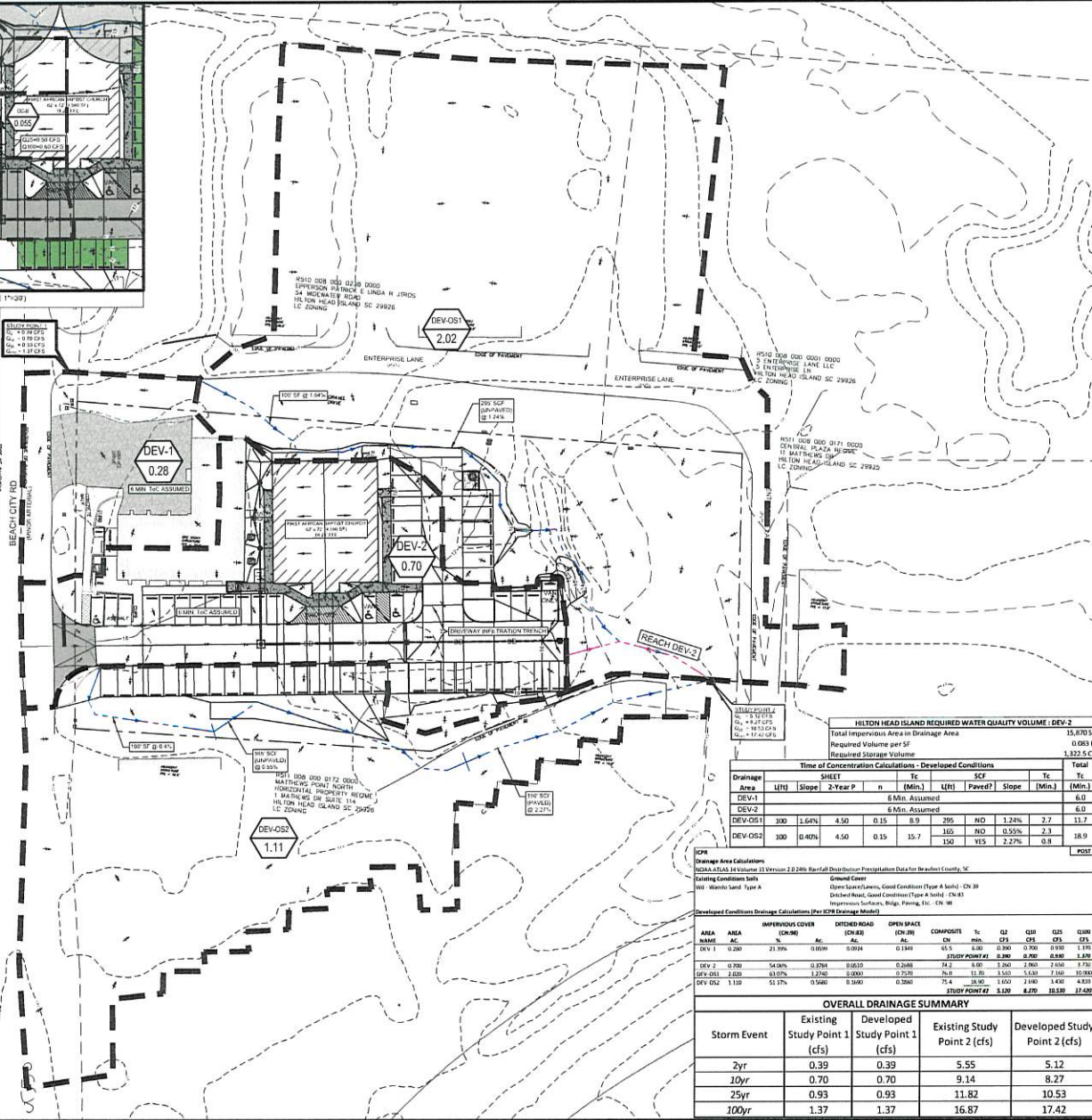
Time of Concentration
 L = 1.49 min
 S = 0.005 ft/ft
 K = 1.49 min
 Tc = 1.49 min

Time of Concentration

Subarea	Area (Ac)	L (ft)	S (ft/ft)	Tc (min)
A	2.71	1000	0.005	1.49
B	1.11	500	0.005	0.75
C	0.86	300	0.005	0.50
Total	4.68			1.49

Developed Conditions Drainage Calculations (Rational Method)

Storm Event	Area (Ac)	C	I (in/hr)	Q (cfs)
2yr	4.68	0.51	2.51	10.71
10yr	4.68	0.51	3.00	12.84
25yr	4.68	0.51	3.50	14.97
100yr	4.68	0.51	5.00	21.42



HILTON HEAD ISLAND REQUIRED WATER QUALITY VOLUME - DEV-2

Category	Volume (cu ft)
Total Impervious Area in Drainage Area	15,870.51
Required Storage Volume	1,322.5 CF

Time of Concentration Calculations - Developed Conditions

Drainage Area (Ac)	Slope	3-Year P	n	L (ft)	Paved?	Slope	Tc (min)	Total (min)
DEV-1	0.15	0.15	0.15	100	NO	0.55%	2.3	18.9
DEV-OS1	1.64%	4.50	0.15	8.9	295	NO	1.24%	2.7
DEV-OS2	0.40%	4.50	0.15	15.7	165	YES	2.27%	0.8

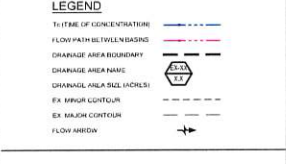
Developed Conditions Drainage Calculations (Per CWS Drainage Method)

Storm Event	Area (Ac)	Imper. Cover (%)	Q (cfs)
DEV-1	0.280	21.3%	0.0599
DEV-2	0.700	54.0%	0.3784
DEV-OS1	2.020	43.7%	1.2360
DEV-OS2	1.110	51.7%	0.5580

OVERALL DRAINAGE SUMMARY

Storm Event	Existing Study Point 1 (cfs)	Developed Study Point 1 (cfs)	Existing Study Point 2 (cfs)	Developed Study Point 2 (cfs)
2yr	0.39	0.39	5.55	5.12
10yr	0.70	0.70	9.14	8.27
25yr	0.93	0.93	11.82	10.53
100yr	1.37	1.37	16.87	17.42

- STORM DRAINAGE NOTES:**
- ALL PIPE SHALL BE CLASS B WATER TIGHT REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED
 - ALL PVC STORM PIPES SHALL BE SDR 35 BELL & SPURIT
 - ALL CORRUGATED PLASTIC PIPE (C/P) AND FITTINGS SHALL BE ADR 12 WT OR APPROVED EQUAL WITH WATER TIGHT CONNECTIONS
 - LOCATIONS AND TOP ELEVATIONS OF PRECAST STRUCTURES WILL BE INDICATED IN THE FIELD BY THE CONTRACTOR UNLESS NECESSARY AND SHALL BE APPROVED BY THE ENGINEER
 - PRECAST STRUCTURES SHALL BE AS FOLLOWS:
 - CONCRETE: 3000 PSI
 - REINFORCEMENT: #4 BARS @ 18" ON CENTER
 - FINISH: 1/2" SAND CONCRETE
 - CONTRACTOR IS RESPONSIBLE FOR MARKING TIE-IN TO UNDER-SLAB ROOF DRAIN CONNECTIONS AT BUILDING. ALL BUILDING CONNECTION POINTS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL CONFIRM ALL BUILDING CONNECTION POINTS LOCATIONS AND ELEVATIONS WITH APPROVED ARCHITECTURAL AND MECHANICAL PLANS
 - CONTRACTOR IS RESPONSIBLE FOR EXTENDING ROOF DRAIN LEADERS TO WITHIN 5 FEET OF BUILDING FOR CONNECTION OF EXTERIOR DOWNSPOUT ROOF DRAIN. ALL CONNECTION POINTS SHOWN ARE FOR REFERENCE ONLY. PLUMBER CONTRACTOR/GENERAL CONTRACTOR IS RESPONSIBLE FOR MARKING TRANSITION AND CONNECTION TO ROOF DRAIN LEADERS



NOTES:

- LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

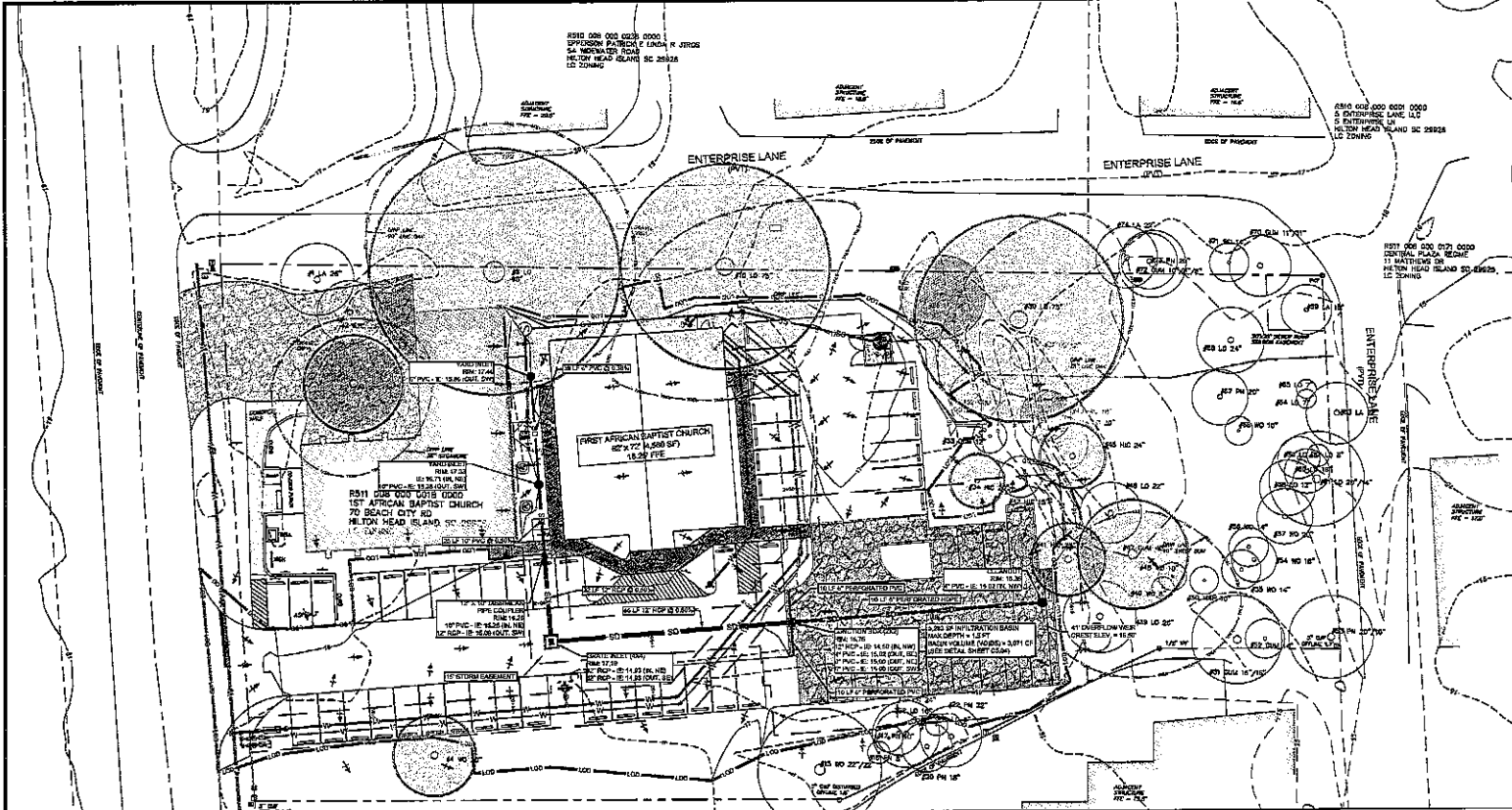
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 1717 Cedar Street
 Suite 100
 Charleston, South Carolina 29401

STATE OF SOUTH CAROLINA
 ENGINEERING BOARD
 No. 38907
 MEGAN E. SMITH

FIRST AFRICAN BAPTIST CHURCH
 70 BEACH CITY RD.
 SITE DEVELOPMENT PLANS
 POST-DEVELOPMENT DRAINAGE MAP

SHEET NO. **C5.02**



STORM DRAINAGE NOTES:

1. ALL PIPES SHALL BE GRAVEL WATERCLOSET REINFORCED CONCRETE PIPE UNLESS OTHERWISE NOTED.
2. ALL PVC STORM PIPE SHALL BE SCHEDULE 40 SPIST.
3. ALL CONNECTIONS TO EXISTING PIPE SHALL BE WITH THE SMALLER SIZE PVC OR APPROVED EQUAL WITH WATER-TIGHT CONNECTIONS.
4. LOCATION AND TOP ELEVATIONS OF MANHOLE AND STRUCTURED WALLS SHALL BE DETERMINED BY FIELD SURVEY. THE CONTRACTOR SHALL VERIFY AND SHALL BE APPROVED BY THE ENGINEER.
5. MANHOLE SQUARE OR ROUND CONCRETE PIPE INVERTS.
6. MAINTENANCE RESPONSIBILITY OF ALL STORM DRAINAGE PIPING AND STRUCTURES SHALL BE AS FOLLOWS:
DURING CONSTRUCTION: ORIGINAL CONTRACTOR
AFTER CONSTRUCTION: OWNER
7. SITE CONTRACTOR IS RESPONSIBLE FOR MAKING 15 MIN TO 20 MINULAR ROOF DRAIN CONNECTIONS TO BUILDING. ALL BUILDING CONNECTIONS SHALL BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL CONFIRM ALL BUILDING CONNECTION POINT LOCATIONS AND ELEVATIONS WITH APPROVED ARCHITECTURAL AND MECHANICAL PLANS.
8. SITE CONTRACTOR IS RESPONSIBLE FOR INSTALLING ROOF DRAIN LEAKS TO 18 INCHES OF FEET OF BUILDING FOR CONNECTION OF EXISTING ROOF DRAIN. ROOF DRAIN SHALL BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL CONFIRM ALL BUILDING CONNECTION POINT LOCATIONS AND ELEVATIONS WITH APPROVED ARCHITECTURAL AND MECHANICAL PLANS.

Infiltration Basin Summary - Gravel Parking Area

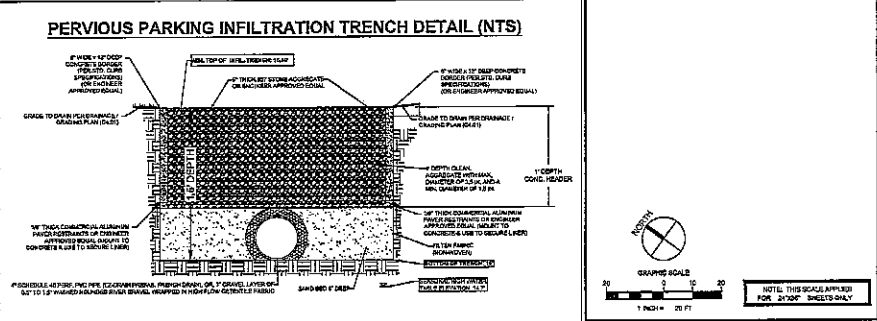
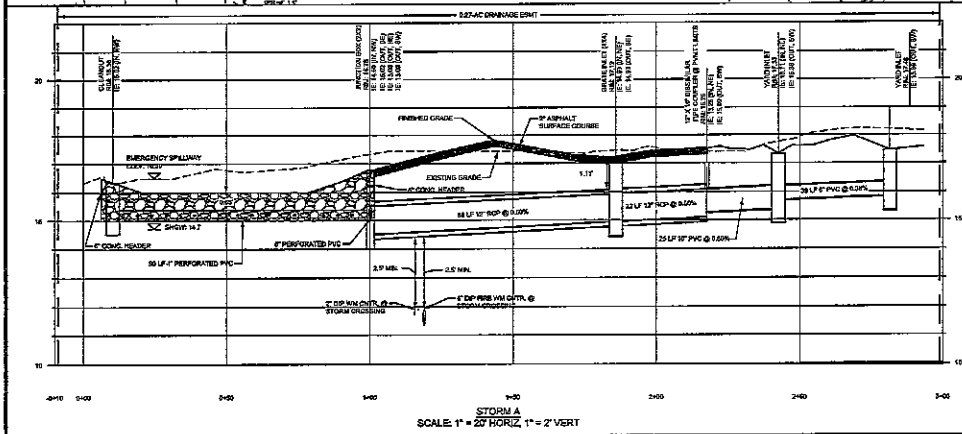
Depth to Seasonal High Water Table (SHWT)	1.30 ft
Water Table Elevation	14.70 ft
Proposed Top Elevation of Infiltration Basin	16.50 ft
Bottom Elevation of Infiltration Basin (Max)	15.00 ft
Infiltration Basin Depth (Proposed)	1.50 ft
Infiltration Bottom Surface Area	5,283 sq ft
Infiltration Surface Area	5,283 sq ft
Infiltration Basin Volume	7,925 cu ft
Hydraulic Porosity of Infiltration Trench	0.35
Infiltration Basin Volume (Void)	2,773 cu ft
WQET	45.00 ft
Elevation	15.90 ft

Infiltration Rate - Gravel Parking Area

Infiltration Bottom Surface Area (Eff w/ Void)	1,849.05 sq ft
Infiltration Rate at Testing Location	17.32 in/hr
Infiltration Rate at Testing Location	0.00046 ft/s
Base Flow Infiltration Rate	0.74000 ft/s

INFILTRATION TRENCH W/ Voids - Storm Storage Table

Elevation (ft)	Area (Ac)	AV ³ +S ³ (Ac ³)	Infiltration Volume (Ac-ft)	Retention Volume (Ac-ft)	Retention Volume (CFS)
15.00	0.02448	0.000	0.000	0.000	0.00
15.50	0.02448	0.037	0.001	0.021	0.25
16.00	0.02448	0.227	0.011	0.052	1.66
16.50	0.02448	0.528	0.039	0.071	3.01



CONCRETE HEADER NOTES:

1. 8,000 PSI MIN. (MIN. STRENGTH CONCRETE) 2' SLAB
2. EXPANSION JOINTS PROVIDED ALONG LENGTH OF HEADER. MAXIMUM SPACING 10'-0"

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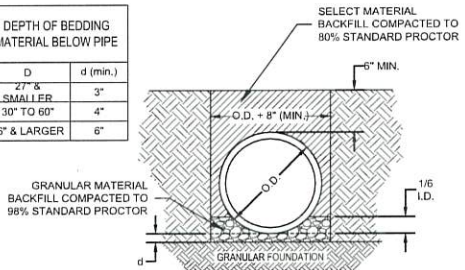
DATE: OCTOBER 18, 2016
DRAWN BY: J.M.
CHECKED BY: J.M.
JOB NUMBER: 2016-001
SHEET NO. C5.03

LJA Engineering, Inc.
111 Church Street
Chapel Hill, North Carolina 27610
Phone: 919.286.1100
www.lja.com
REG. NO. 35827
REG. E. 2001

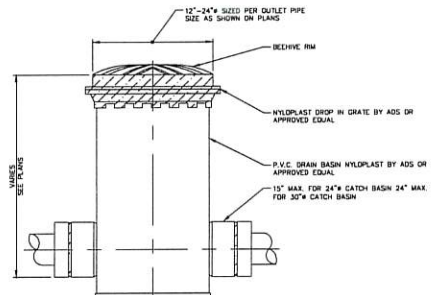
FIRST AFRICAN BAPTIST CHURCH
70 BEACH CITY RD.
SITE DEVELOPMENT PLANS
STORMWATER PLAN AND PROFILE

NOTE: FOR ROCK OR OTHER INCOMPRESSIBLE MATERIAL, TRENCH SHOULD BE OVEREXCAVATED A MINIMUM OF 6" AND FILLED WITH GRANULAR MATERIAL COMPACTED TO 98% STANDARD PROCTOR.

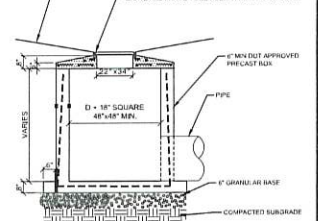
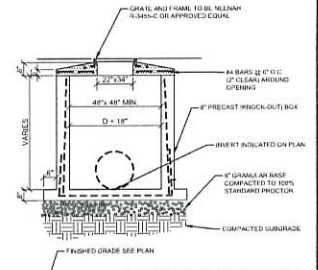
DEPTH OF BEDDING MATERIAL BELOW PIPE	
D	d (min.)
27" & SMALLER	3"
30" TO 60"	4"
66" & LARGER	6"



PIPE BEDDING - CLASS C
FOR REINFORCED CONCRETE PIPE
N.T.S.



BEEHIVE YARD DRAIN DETAIL
N.T.S.

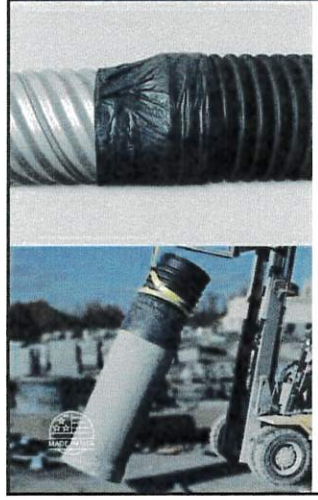


NOTE:
1. CHAMFER ALL EXPOSED CONCRETE EDGES 1/2".
2. SEE STORMWATER MANAGEMENT PLAN FOR LOCATION OF STORM PIPES & INLET.
3. FOR ALL STORM DRAINAGE BOXES OVER 4 1/2" DEEP, INSTALL STEPS PER D.T. SPEC'S.
4. SEE EROSION & SEDIMENT CONTROL PLAN FOR INLET PROTECTION MEASURES. SWEEPING MEASURES UNTIL FINAL STABILIZATION IS ACHIEVED.

GRATE INLET



Dissimilar Pipe Coupler
for joining pipes of different materials



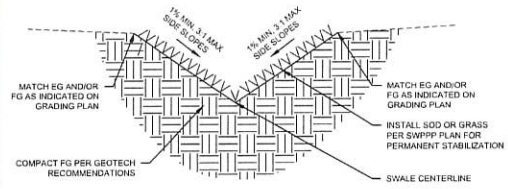
MarMac Dissimilar Pipe Couplers (DP Couplers) are engineered to join, seal, and restrain the connections between pipes of differing material and/or pipes of varying nominal size. These unique, external sealing bands are reinforced and prevent infiltration into gravity-flow drainage systems.

With hundreds of designs, MarMac DP Couplers are able to join virtually any scenario of structurally sound pipe combinations. Our most commonly joined pipe materials are reinforced concrete pipe (RCP), corrugated metal pipe (CMP), ductile iron (DI), smooth-wall PVC pipe, vitrified clay pipe, and more. Additionally, DP Couplers are a great choice for connecting two pipes of the same material, but with differing nominal diameter, as well as for connecting BMP separator systems.

The minimum length of a DP Coupler is the circumference of the larger outside diameter (if applicable) plus eight inches for overlap. Our DP Couplers are easy to install, cost-efficient, permanent, readily available, and fully customizable.

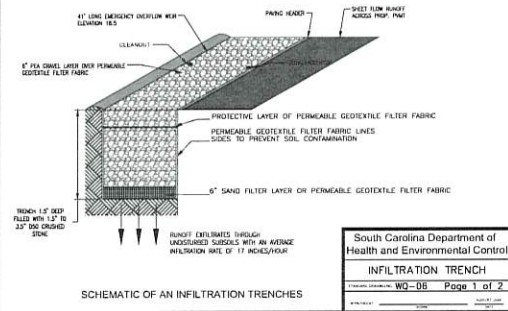
Universal DP Couplers are available for joining size-for-size pipes; from B-wall RCP

DRAINAGE SOLUTIONS, INC. (317) 346-4110
www.drainagesolutionsinc.com



NOTE:
1. ALL SWALE SLOPES SHALL BE A MINIMUM 0.5% CENTERLINE SLOPE WITH MAXIMUM 4:1 SIDE SLOPES.
2. THE SWALE SHALL BE EXCAVATED OR SHAPED PER PLAN AND SHALL BE FREE OF IRREGULARITIES WHICH WILL IMPEDE NORMAL FLOW.

TYPICAL SWALE DETAIL



South Carolina Department of Health and Environmental Control
INFILTRATION TRENCH
WQ-08 Page 1 of 2

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1711 Church Street
Columbia, South Carolina 29911
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FAX: 803.733.4344



DATE	BY	DESCRIPTION

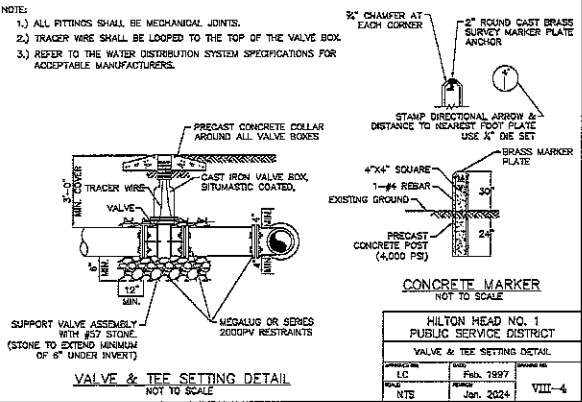
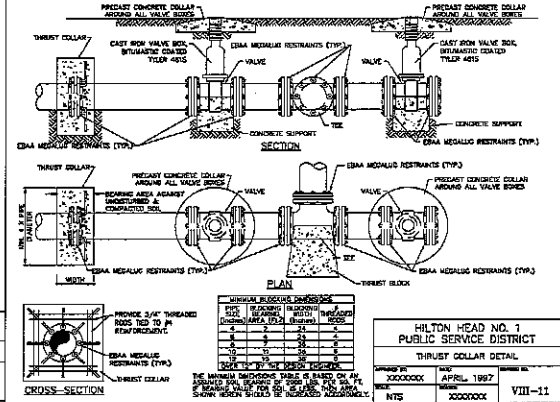
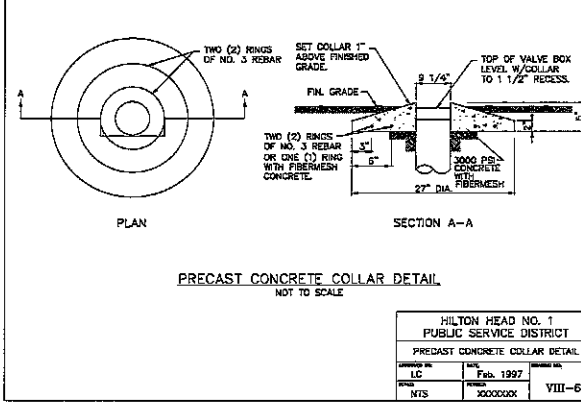
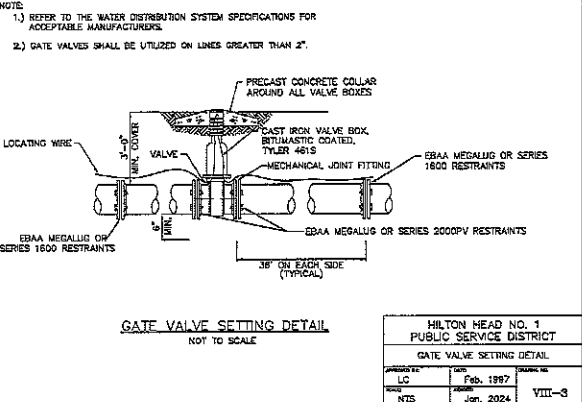
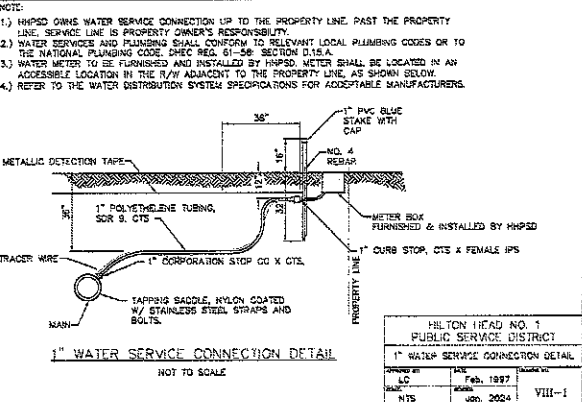
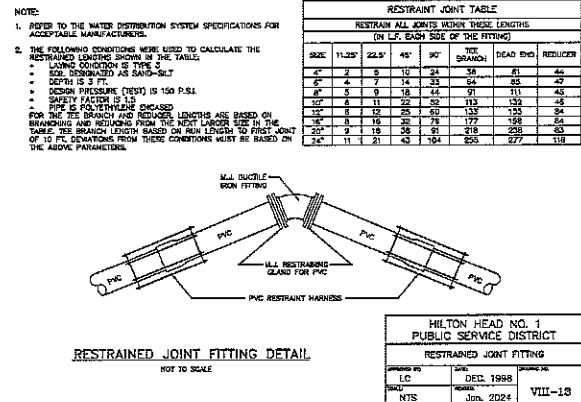
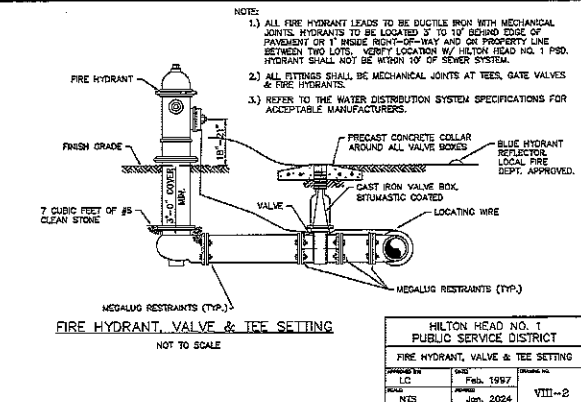
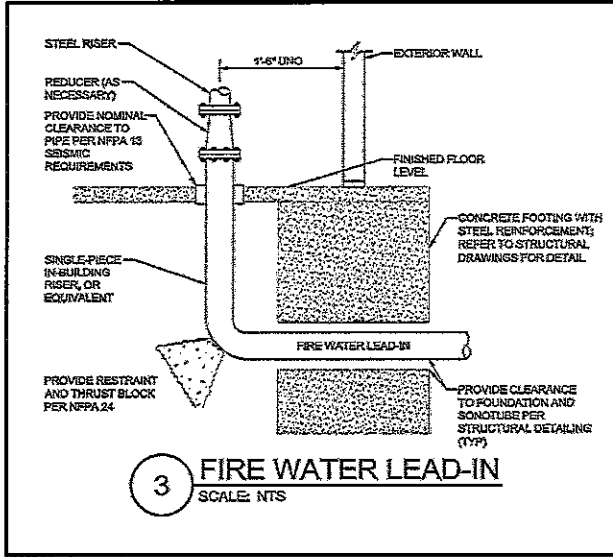
FIRST AFRICAN BAPTIST CHURCH
70 BEACH CITY RD.
SITE DEVELOPMENT PLANS
DRAINAGE DETAILS

DATE: 10/26/23
DESIGNED BY: JLD
DRAWN BY: JLD
CHECKED BY: NLS
JOB NUMBER: SC230101
SHEET NO.: **C5.04**



LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

ALL INFORMATION FROM: NORTH DARTMOUTH COUNTY, SOUTH CAROLINA
 DATE: 10/26/23
 DRAWN BY: JLD
 CHECKED BY: NLS
 JOB NUMBER: SC230101
 SHEET NO.: C5.04



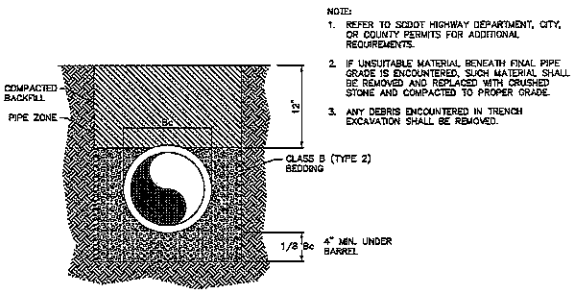
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT
 PROJECT NO. 2000000
 SHEET NO. VIII-6
 DATE: FEB. 1997
 DRAWN BY: JLR
 CHECKED BY: JLR
 IN CHARGE: JLR
 SCALE: NTS

LJA Engineering, Inc.
 Professional Engineer
 License No. 1770
 State of South Carolina
 177 Charles Street
 Suite 100
 Charleston, South Carolina 29401
 TEL: 781-388-1111
 FAX: 781-388-1112
 E-MAIL: LJA@LJA.COM

**FIRST AFRICAN BAPTIST CHURCH
 70 BEACH CITY RD.
 SITE DEVELOPMENT PLANS**

WATER DETAILS

SHEET NO. **C6.03**

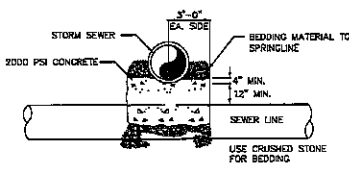


BEDDING FOR PVC GRAVITY SEWER PIPE
NOT TO SCALE

NOTES:

- REFER TO SDOT HIGHWAY DEPARTMENT, CITY, OR COUNTY PERMITS FOR ADDITIONAL REQUIREMENTS.
- IF UNSUITABLE MATERIAL BENEATH FINAL PIPE GRADE IS ENCOUNTERED, SUCH MATERIAL SHALL BE REMOVED AND REPLACED WITH CRUSHED STONE AND COMPACTED TO PROPER GRADE.
- ANY DEBRIS ENCOUNTERED IN TRENCH EXCAVATION SHALL BE REMOVED.

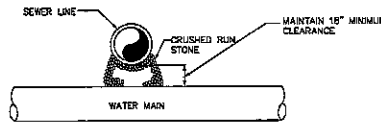
HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT	
BEDDING FOR PVC GRAVITY SEWER PIPE	
DATE: XX0000XX	REVISED: Feb. 1997
BY: NTS	DATE: Jan. 2024
XII-1	



**STORM SEWER CROSSING
DETAIL**
NOT TO SCALE

NOTE:
FULL JOINT OF DUCTILE IRON PIPE, CENTERED AT CROSSING

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT	
STORM SEWER CROSSING DETAIL	
DATE: XX0000XX	REVISED: Feb. 1997
BY: NTS	DATE: XX0000XX
XII-3	

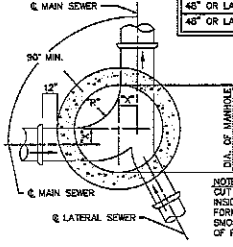


**SEWER CROSSING ABOVE WATER LINE
DETAIL**
NOT TO SCALE

NOTE:
FULL JOINT OF DUCTILE IRON PIPE FOR BOTH WATER AND SEWER TO BE CENTERED AT CROSSING.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT	
SEWER CROSSING ABOVE WATER LINE DETAIL	
DATE: XX0000XX	REVISED: Feb. 1997
BY: NTS	DATE: XX0000XX
XII-2	

STANDARD MANHOLES SCHEDULE OF GOVERNING DIMENSIONS				
PIPE SIZE	ANGLE Δ	MANHOLE DIAMETER	"R"	"X"
8" TO 15"	0° TO 90°	4'-0"	2'-0"	0"
18" TO 30"	0° TO 90°	5'-0"	2'-0"	6"
36" TO 42"	0° TO 60°	6'-0"	3'-0"	9"
36" TO 42"	60° TO 90°	6'-0"	3'-0"	1'-2"
48" OR LARGER	0° TO 45°	7'-0"	4'-0"	6"
48" OR LARGER	45° TO 90°	8'-0"	3'-0"	1'-3"

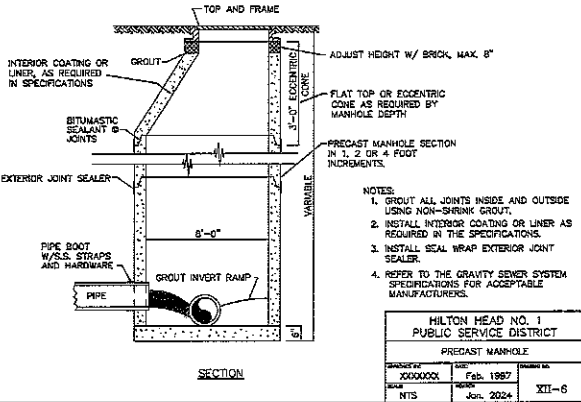


NOTES:

- EXCLUDING SERVICE CONNECTIONS LESS THAN FIFTY THOUSAND (50,000) GPD, SEWER CONNECTIONS TO GRAVITY SEWER LINES SHALL BE CONSTRUCTED SUCH THAT THE INTERNAL ANGLE OF DEFLECTION IS EQUAL TO OR GREATER THAN NINETY (90) DEGREES, INCLUDING CONNECTIONS AT MANHOLES. ANGLES LESS THAN THE REQUIRED NINETY (90) DEGREES MAY BE CONSIDERED ON A CASE-BY-CASE BASIS, WHEN THERE IS ADEQUATE JUSTIFICATION (E.G., DROP THROUGH THE MANHOLE) PROVIDED.

NOTE:
CUT ALL PIPE FLUSH WITH INSIDE WALL OF MANHOLE. FORM INVERT UNIFORM AND SMOOTH. CUT OFF TOP HALF OF PIPE AT WALL.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT	
TYPICAL PLAN STANDARD MANHOLE	
DATE: XX0000XX	REVISED: Feb. 1997
BY: NTS	DATE: Jan. 2024
XII-5	

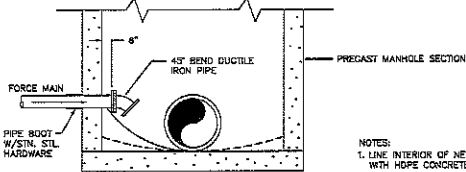


SECTION

NOTES:

- GROUT ALL JOINTS INSIDE AND OUTSIDE USING NON-SHRINKING GROUT.
- INSTALL INTERIOR COATING OR LINER AS REQUIRED IN THE SPECIFICATIONS.
- INSTALL SEAL WRAP EXTERIOR JOINT SEALERS.
- REFER TO THE GRAVITY SEWER SYSTEM SPECIFICATIONS FOR ACCEPTABLE MANUFACTURERS.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT	
PRECAST MANHOLE	
DATE: XX0000XX	REVISED: Feb. 1997
BY: NTS	DATE: Jan. 2024
XII-6	

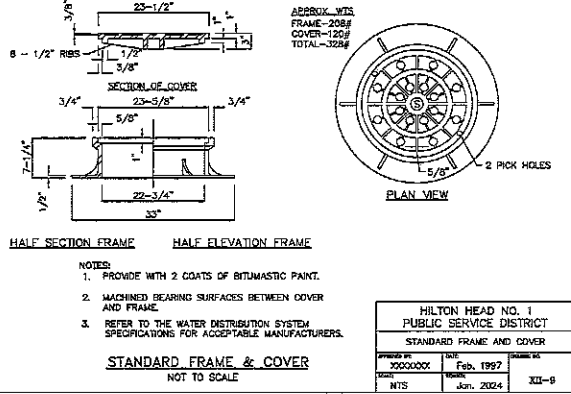


**FORCE MAIN DISCHARGE
DETAIL**
NOT TO SCALE

NOTES:

- LINE INTERIOR OF NEW PRECAST MANHOLES WITH HOPE CONCRETE PROTECTIVE LINER.
- COAT INTERIOR OF EXISTING MANHOLES.
- REFER TO THE PRESSURE SEWER (FORCE MAIN) SPECIFICATIONS FOR ACCEPTABLE MANUFACTURERS.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT	
FORCE MAIN DISCHARGE DETAIL	
DATE: XX0000XX	REVISED: Feb. 1997
BY: NTS	DATE: Jan. 2024
XVI-2	

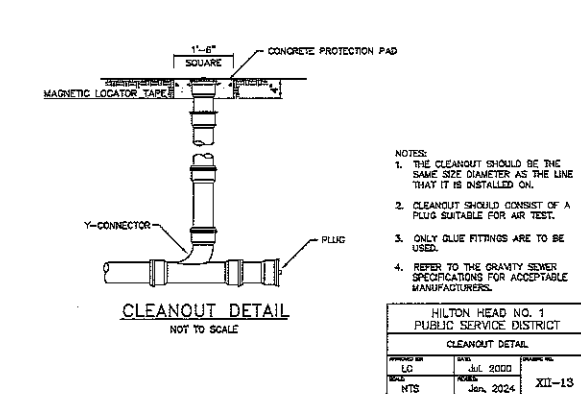


STANDARD FRAME & COVER
NOT TO SCALE

NOTES:

- PROVIDE WITH 2 COATS OF BITUMASTIC PAINT.
- MACHINED BEARING SURFACES BETWEEN COVER AND FRAME.
- REFER TO THE WATER DISTRIBUTION SYSTEM SPECIFICATIONS FOR ACCEPTABLE MANUFACTURERS.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT	
STANDARD FRAME AND COVER	
DATE: XX0000XX	REVISED: Feb. 1997
BY: NTS	DATE: Jan. 2024
XII-8	



CLEANOUT DETAIL
NOT TO SCALE

NOTES:

- THE CLEANOUT SHOULD BE THE SAME SIZE DIAMETER AS THE LINE THAT IT IS INSTALLED ON.
- CLEANOUT SHOULD CONSIST OF A PLUG SUITABLE FOR AIR TEST.
- ONLY GLOBE FITTINGS ARE TO BE USED.
- REFER TO THE GRAVITY SEWER SPECIFICATIONS FOR ACCEPTABLE MANUFACTURERS.

HILTON HEAD NO. 1 PUBLIC SERVICE DISTRICT	
CLEANOUT DETAIL	
DATE: LC	REVISED: Jul. 2022
BY: NTS	DATE: Jan. 2024
XII-13	

LJA Engineers, Inc.
11100 Highway 101
TTC Center Bldg.
Suite 100
Chickadee, South Carolina 29019



NO.	DATE	DESCRIPTION

**FIRST AFRICAN BAPTIST CHURCH
70 BEACH CITY RD.
SITE DEVELOPMENT PLANS**
SEWER DETAILS

DATE: 02/28/2024

DESIGNED BY: JAC
DRAWN BY: JAC
CHECKED BY: JAC
JOB NUMBER: 23272202



LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

SHEET NO. **C6.04**

PROJECT: 70 BEACH CITY RD. SITE DEVELOPMENT PLANS
 SHEET: C6.04 - SEWER DETAILS
 DATE: 02/28/2024
 TIME: 10:00 AM

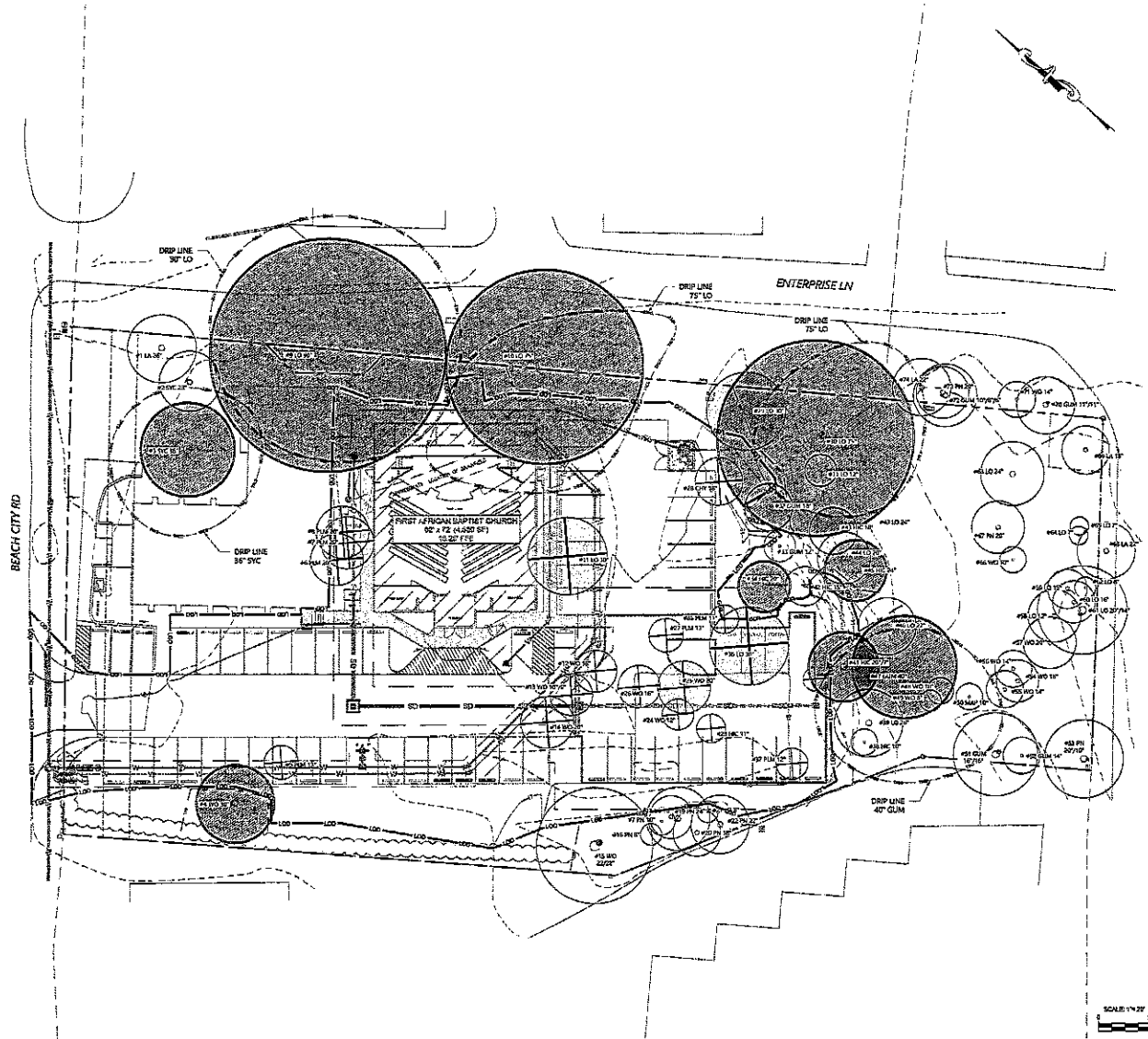
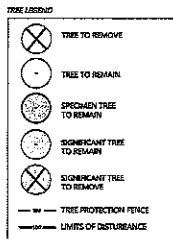
Tree No.	DIM (in)	Tree Species (Surveyed)	Retained?	Reason	Type (P/N/A/S)	J&K Comments	Encroachment from 20% spec/min	Category	AC
1	26	Liquid Oak	No					1	26
2	28	Sycamore	No					1	2725
3	34	Sycamore	No		Specimen			1	25
4	80	Water Oak	No		Specimen		19.08%	3.75	221.5
5	18	Palm	Yes	Partial Retention				0.5	4.5
6	20	Palm	Yes	Grading Limits				0.5	10
7	20	Palm	Yes	Grading Limits				0.5	10
8	20	Palm	Yes	Grading Limits				0.5	10
9	80	Jazz Oak	No		Specimen		10.97%	1	80
10	75	Jazz Oak	No		Specimen		8.9%	1	75
11	24	Live Oak	Yes	Partial Retention	Specimen			1	24
12	16	Water Oak	Yes	Partial Retention				0.75	12
13	80-85	Water Oak	Yes	Partial Retention	Multi-trunk			0.75	22
14	20	Water Oak	Yes	Partial Retention				0.75	12
15	22-22	Water Oak	No		Multi-trunk			0.75	33
16	8	Pine	No					0.5	4
17	10	Pine	No					0.5	4
18	16	Live Oak	No					1	16
19	24	Pine	No					0.5	12
20	18	Pine	No					0.5	8
21	8	Live Oak	No					0.5	8
22	24	Pine	No					0.5	12
23	11	Hickory	Yes					0.75	8.25
24	12	Water Oak	Yes					0.75	9
25	20	Water Oak	Yes	Partial Retention				0.75	15
26	16	Water Oak	Yes	Partial Retention				0.75	12
27	13	Palm	Yes	Partial Retention				0.5	6.5
28	18	Cherry	Yes	Grading Limits				0.55	9.9
29	20	Live Oak	No		Significant			1	20
30	12	Live Oak	No		Specimen		1.12%	1	12
31	12	Live Oak	No					1	12
32	16	Live Oak	No					0.75	12
33	12	Live Oak	No					0.75	12
34	20	Hickory	No		Specimen			0.75	15
35	11	Palm	Yes	Partial Retention				0.5	5.5
36	80	Live Oak	Yes	Partial Retention	Significant			1	80
37	12	Palm	Yes	Partial Retention				0.5	5
38	10	Hickory	No					0.75	7.5
39	26	Jazz Oak	No					0.75	26
40	8	Hickory	Yes	Partial Retention				0.25	2
41	20	Hickory	No		Specimen		10.97%	1	20
42	15	Hickory	No					0.75	11.25
43	18	Hickory	No		Significant			0.75	13.5
44	20	Live Oak	No					1	20
45	22	Hickory	No		Specimen		10.97%	1	22
46	22	Live Oak	No					1	22
47	40	Gum Tree	No		Specimen			0.75	30
48	10	Water Oak	No					0.75	7.5
49	8	Water Oak	No					0.75	6
50	10	Hickory	No					0.75	7.5
51	16-15	Gum Tree	No		Multi-trunk			0.75	24
52	18	Gum Tree	No					0.75	27
53	20-10	Pine	No					0.5	10
54	16	Water Oak	No					0.75	12
55	14	Water Oak	No					0.75	10.5
56	14	Water Oak	No					0.75	10.5
57	20	Water Oak	No					0.75	15
58	12	Live Oak	No					1	12
59	15	Live Oak	No					1	15
60	16	Live Oak	No					1	16
61	20-11	Live Oak	No		Multi-trunk			1	21
62	8	Live Oak	No					1	8
63	22	Live Oak	No					1	22
64	7	Live Oak	No					1	7
65	7	Live Oak	No					1	7
66	16	Water Oak	No					0.75	12
67	26	Pine	No					0.5	13
68	26	Live Oak	No					1	26
69	13	Live Oak	No					1	13
70	13-11	Gum Tree	No					0.75	10.5
71	14	Water Oak	No					0.75	10.5
72	16-14	Gum Tree	No					0.75	10.5
73	20	Pine	No					0.5	10
74	22	Live Oak	No					1	22

TREE ACI CALCULATIONS

TOTAL SITE AREA: 124 AC
 IMPERVIOUS AREA: 8.73 AC
 PERVIOUS AREA: 8.83 AC

ACI REQUIRED: 747 (0.6) AC X 500 ACI
 EXISTING ACI: 1,208 ACI
 REMAINING ACI: 256 ACI
 TOTAL ACI: 1,003 ACI

PRE-DEVELOPMENT & POST-DEVELOPMENT ACI IS GREATER THAN THE REQUIRED 747 ACI, THEREFORE NO RECOMPHES IS REQUIRED.



SCALE: 1/4\"/>

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.

811
 Know what's below.
 Call before you dig.

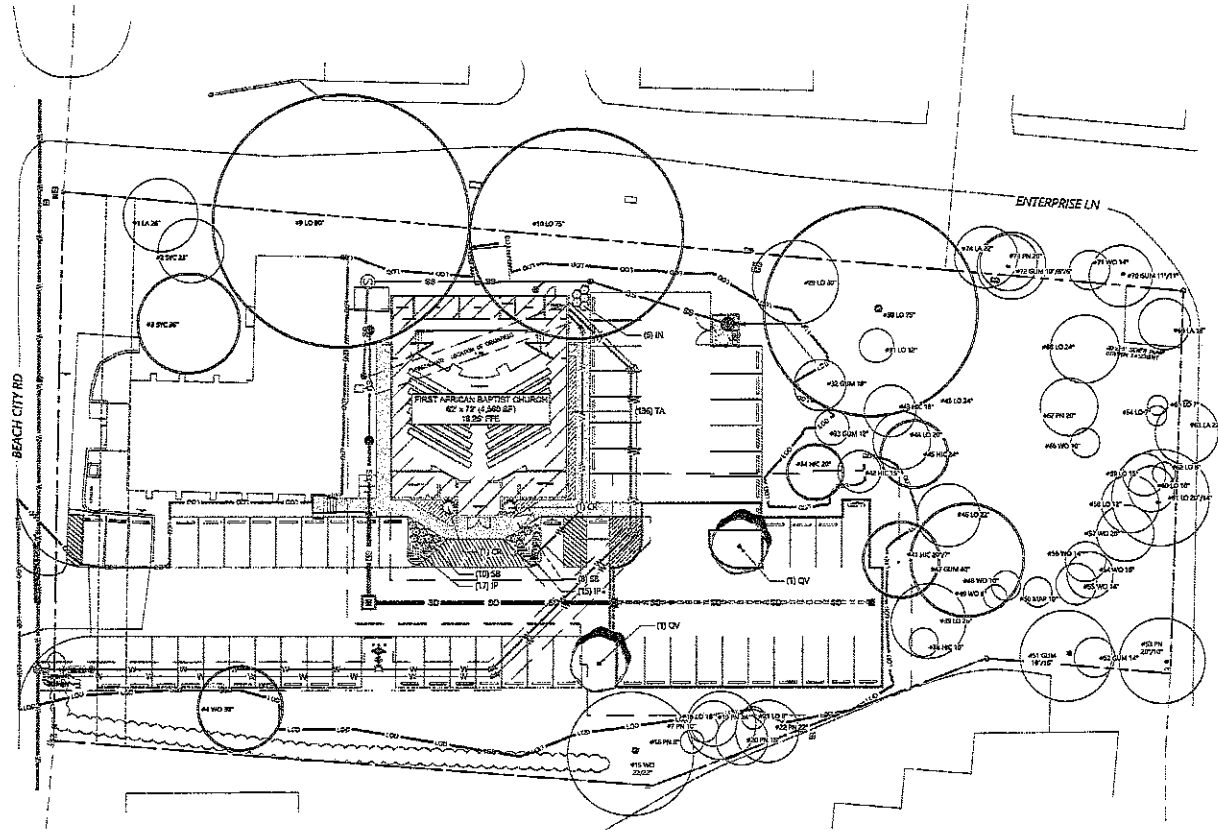
LJA Engineering, Inc.
 11700 West 10th
 Suite 100
 Centennial, South Carolina 29010
 P: 803-751-1111
 F: 803-751-1118



FIRST AFRICAN BAPTIST CHURCH
 70 BEACH CITY RD.
 PERMIT PLANS

DATE: 05/25/2018
 DESIGNED BY: [Signature]
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 IN CHARGE: [Signature]

SHEET NO. **L.1**



PLANT SCHEDULE							
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	
TREES							
	OV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	15" GAL	865	2	
SHRUBS							
	OR	CYCAS REVOLUTA	SAGO PALM	7 GAL	POT	2	
	IN	ILEX VOMITORIA 'NANA'	DWARF YALPON HOLLY	3 GAL	POT	5	
	SP	SPARTINA BAKERS	SAND CORDOGRASS	3 GAL	POT	18	
SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY
GROUND COVERS							
	IP	IRIS PSEMPATICA	BLUE FLAG IRIS	1 GAL	POT	18" o.c.	30
	TA	TRACHELOSPERMUM ASBATKON	ASBATHASMINE	1 GAL	POT	12" o.c.	405

SCALE: 1/8" = 1'

LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE. LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



Know what's below. Call before you dig.

LJA
LJA Engineering, Inc.
7700 Westwood Blvd
Suite 100
Chattanooga, TN 37411
Phone: 423-249-1111
Fax: 423-249-1112
www.lja.com
FRN-031818



NO.	REVISION	DESCRIPTION	DATE

FIRST AFRICAN BAPTIST CHURCH
70 BEACH CITY RD.
PERMIT PLANS

DATE: 05/20/2019 10:23:08

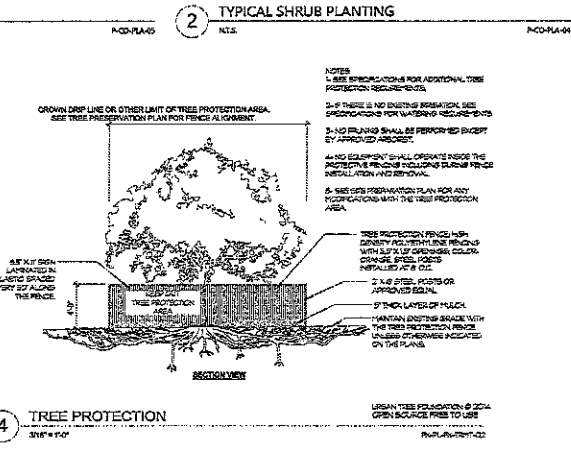
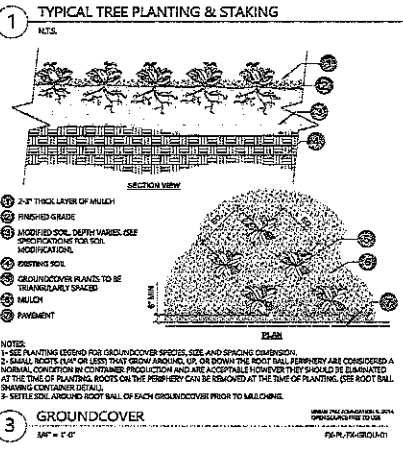
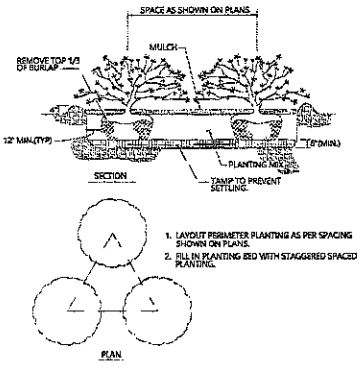
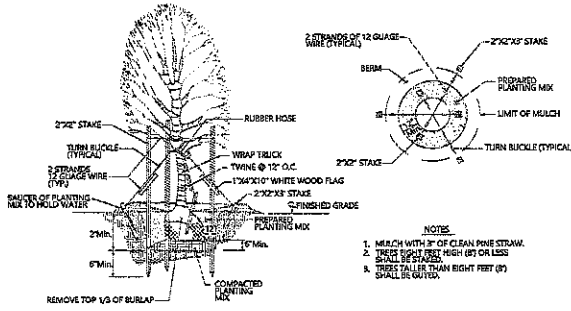
DRAWN BY: JH

CHECKED BY: JH

JOB NUMBER: 201902001

SHEET NO.

L.2



LOCATION OF EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO BEGINNING WORK AND SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR.



LJA Engineering, Inc.
 1111 Church Street
 Suite 100
 Charleston, South Carolina 29401
 Phone: 803.733.4444
 www.lja.com
 EIT: Charles E. Lott
 EIT: Robert L. Smith
 EIT: David S. Smith
 EIT: David S. Smith

**FIRST AFRICAN BAPTIST CHURCH
 70 BEACH CITY RD.
 PERMIT PLANS**

DATE: 05/20/2018
 DRAWN BY: JL
 CHECKED BY: JL
 JOB NUMBER: SC 175-131
 SHEET NO: L3

**Fist African Baptist Church
70 Beach City Road
Final - Staff Comments
November 25, 2025
DRB-001095-2025**

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 70 Beach City Road – First African Baptist Church

DRB-001095-2025

DATE: 11/25/2025

CATEGORY: Final

RECOMMENDATION: Approval Approval with Conditions Denial

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Existing Conditions match As-Built	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
New Building Details Match Existing Building Details	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Accessory elements are designed to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the Landscape plan	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large, grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

COMMENTS & CONDITIONS

Staff recommend approval of the Final submittal for 70 Beach City Road, First African Baptist Church with the following conditions:
1. Any additional information as required by the Board.

**Chase Bank
2 Lafayette Place
Alteration
November 25, 2025
DRB-001104-2025**



Town of Hilton Head Island
Community Development Department
One Town Center Court
Hilton Head Island, SC 29928
Phone: 843-341-4757 Fax: 843-842-8908
www.hiltonheadislandsc.gov

FOR OFFICIAL USE ONLY
Date Received: _____
Accepted by: _____
DRB #: _____
Meeting Date: _____

Applicant/Agent Name: Christy Chapman Company: Pulley Studios
Mailing Address: 117 Abel Peterson Drive City: Mount Holly State: NC Zip: 28120
Telephone: 704.336.9863 Fax: _____ E-mail: christy@withpulley.com
Project Name: Chase - Hilton Head Island Project Address: 2 Lafayette Pl, Hilton Head Island, SC 29926
Parcel Number [PIN]: R 510-008-000-0409-0000. _____
Zoning District: Main Street District Overlay District(s): COD

**CORRIDOR REVIEW, MAJOR
DESIGN REVIEW BOARD (DRB) SUBMITTAL REQUIREMENTS**

Digital Submissions may be accepted via e-mail by calling 843-341-4757.
Project Category:
 Concept Approval – Proposed Development Alteration/Addition
 Final Approval – Proposed Development Sign

Submittal Requirements for *All* projects:
 Private Architectural Review Board (ARB) Notice of Action (if applicable): When a project is within the jurisdiction of an ARB, the applicant shall submit such ARB’s written notice of action per LMO Section 16-2-103.I.4.b.iii.01. Submitting an application to the ARB to meet this requirement is the responsibility of the applicant.
 Filing Fee: Concept Approval-Proposed Development \$175, Final Approval – Proposed Development \$175, Alterations/Additions \$100, Signs \$25; cash or check made payable to the Town of Hilton Head Island.

Additional Submittal Requirements:
Concept Approval – Proposed Development
 A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
 A site analysis study to include specimen trees, access, significant topography, wetlands, buffers, setbacks, views, orientation and other site features that may influence design.
 A draft written narrative describing the design intent of the project, its goals and objectives and how it reflects the site analysis results.
 Context photographs of neighboring uses and architectural styles.
 Conceptual site plan (to scale) showing proposed location of new structures, parking areas and landscaping.
 Conceptual sketches of primary exterior elevations showing architectural character of the proposed development, materials, colors, shadow lines and landscaping.

Additional Submittal Requirements:

Final Approval – Proposed Development

- A final written narrative describing how the project conforms with the conceptual approval and design review guidelines of Sec. 16-3-106.F.3.
- Final site development plan meeting the requirements of Appendix D: D-6.F.
- Final site lighting and landscaping plans meeting the requirements of Appendix D: D-6.H and D-6.I.
- Final floor plans and elevation drawings (1/8"=1'-0" minimum scale) showing exterior building materials and colors with architectural sections and details to adequately describe the project.
- A color board (11"x17" maximum) containing actual color samples of all exterior finishes, keyed to the elevations, and indicating the manufacturer's name and color designation.
- Any additional information requested by the Design Review Board at the time of concept approval, such as scale model or color renderings, that the Board finds necessary in order to act on a final application.

Additional Submittal Requirements:

Alterations/Additions

- All of the materials required for final approval of proposed development as listed above, plus the following additional materials.
- A survey (1"=30' minimum scale) of property lines, existing topography and the location of trees meeting the tree protection regulations of Sec. 16-6-104.C.2, and if applicable, location of bordering streets, marshes and beaches.
- Photographs of existing structure.

Additional Submittal Requirements:

Signs

- Accurate color rendering of sign showing dimensions, type of lettering, materials and actual color samples.

For freestanding signs:

- Site plan (1"=30' minimum scale) showing location of sign in relation to buildings, parking, existing signs, and property lines.
- Proposed landscaping plan.

For wall signs:

- Photograph or drawing of the building depicting the proposed location of the sign.
- Location, fixture type, and wattage of any proposed lighting.

Note: All application items must be received by the deadline date in order to be reviewed by the DRB per LMO Appendix D: D-23.

A representative for each agenda item is strongly encouraged to attend the meeting.

Are there recorded private covenants and/or restrictions that are contrary to, conflict with, or prohibit the proposed request? If yes, a copy of the private covenants and/or restrictions must be submitted with this application. YES NO

To the best of my knowledge, the information on this application and all additional documentation is true, factual, and complete. I hereby agree to abide by all conditions of any approvals granted by the Town of Hilton Head Island. I understand that such conditions shall apply to the subject property only and are a right or obligation transferable by sale.

I further understand that in the event of a State of Emergency due to a Disaster, the review and approval times set forth in the Land Management Ordinance may be suspended.

Christy Chapman
SIGNATURE

11/12/2025
DATE

**Chase Bank
2 Lafayette Place
Plan Set
November 25, 2025
DRB-001104-2025**



Hilton Head - Design Review Board

JPM Chase Retail Banking Center
 2 Lafayette Place,
 Hilton Head Island, SC 29926
 CHASE # 48100R024455
 Version 20.7

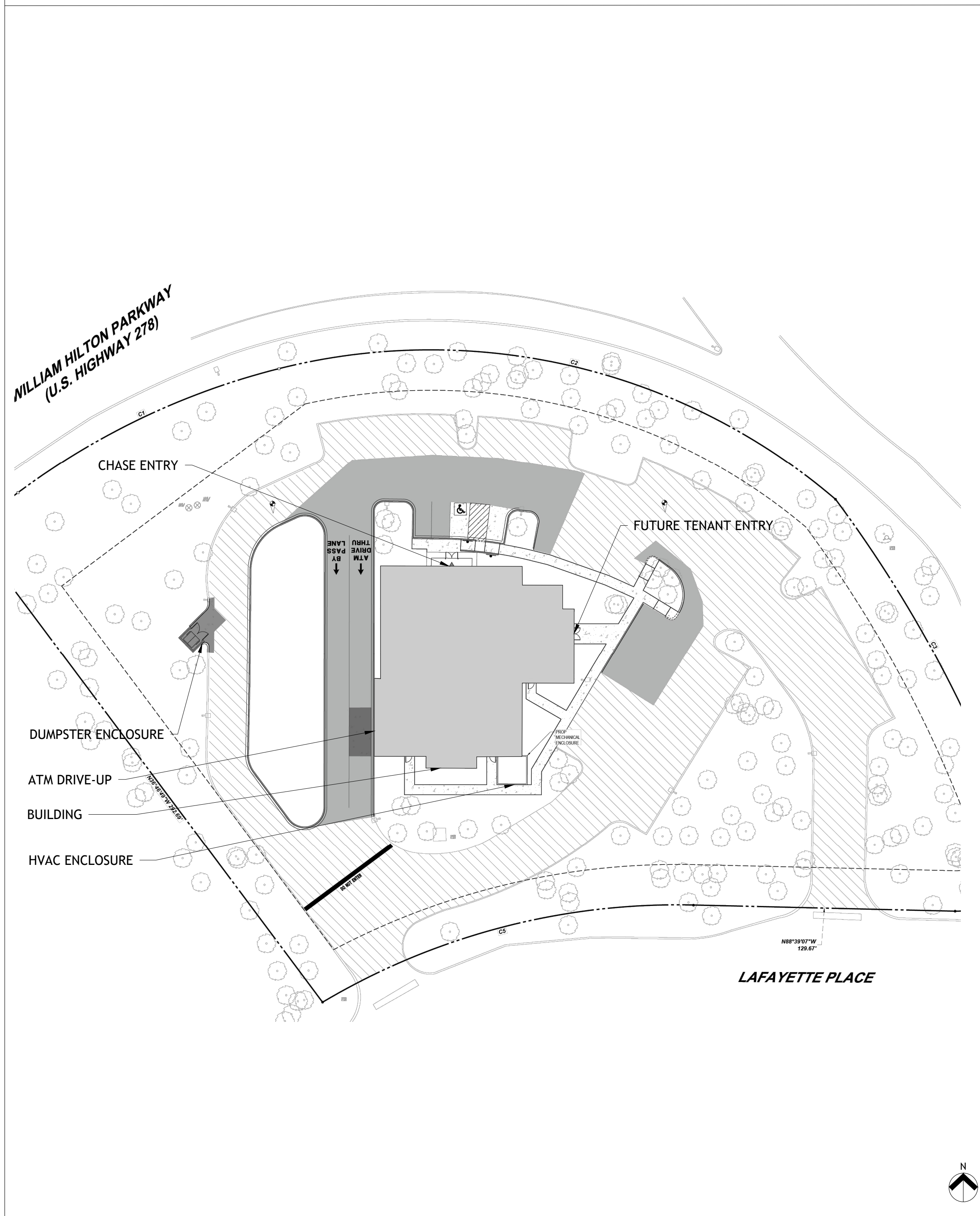


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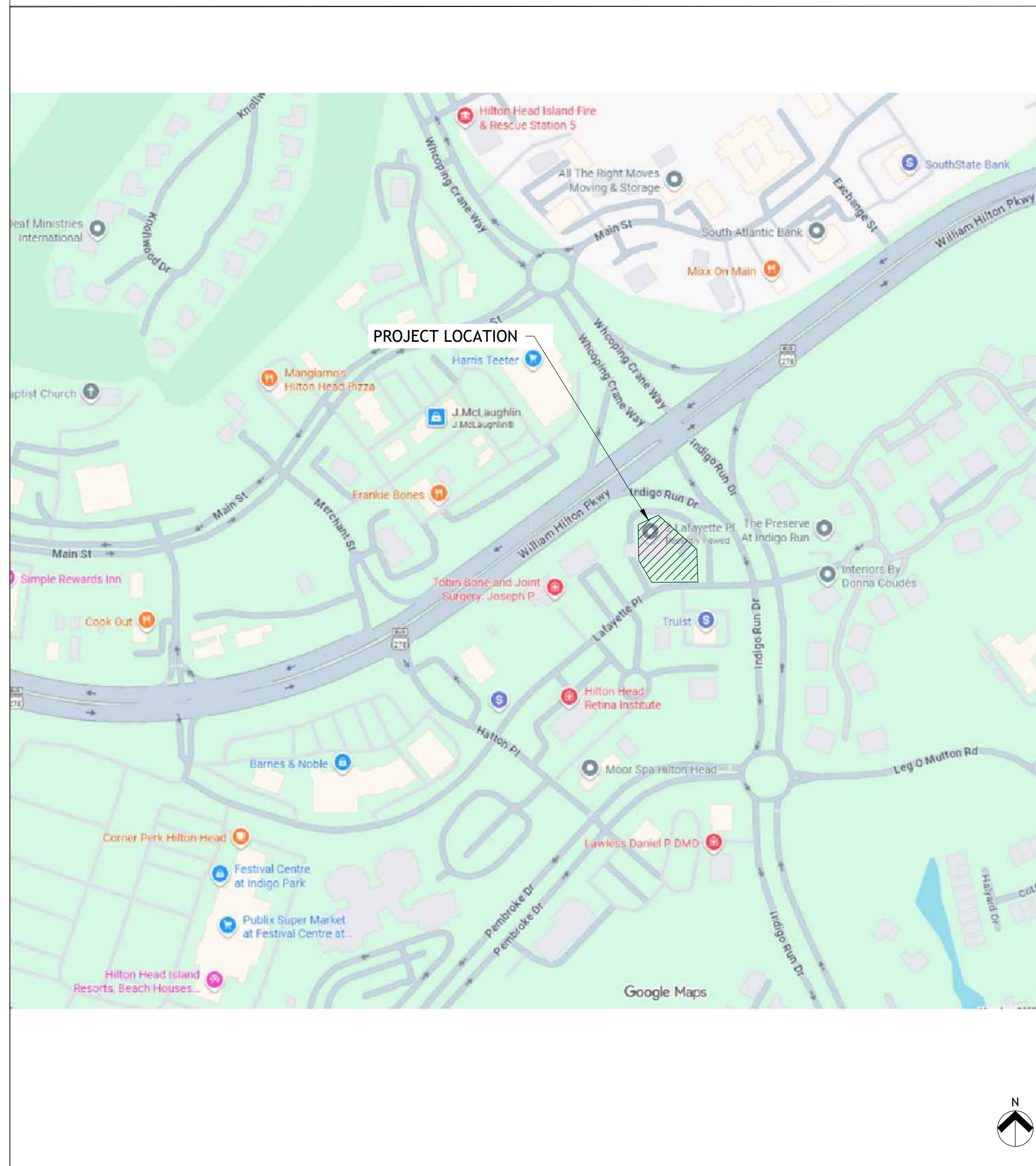


Hilton Head
 Design Review Board
 JPM Chase Retail Banking Center
 2 Lafayette Place,
 Hilton Head Island, SC 29926

KEY SITE PLAN (FOR REFERENCE ONLY. SEE CIVIL)



LOCATION MAP



SCOPE OF WORK

EXTERIOR SITE: GENERAL CLEAN UP OF EXISTING FOLIAGE, INCLUDING TRIMMING TREES AND EXISTING BRUSH. MILL AND OVERLAY EXISTING SITE, PROVIDE HEAVY DUTY CONCRETE AT SELECT AREAS. REMEDIATE EXISTING SIDEWALKS FOR ADA COMPLIANCE FROM ENTRIES AND EXITS TO ADA PARKING STALLS. REMEDIATE ADA PARKING STALLS FOR COMPLIANCE. REPLACE ALL LIGHT POLES INCLUDING FIXTURES AND ADD NEW POLES TO IMPROVE LIGHT LEVELS ON SITE. WHERE DRIVE-UP CANOPY STRUCTURE IS REMOVED, PROVIDE NEW CURB ISLAND WITH XERISCAPE LANDSCAPING. PROVIDE NEW CURB CUTS AND PAD FOR DUMPSTER ENCLOSURE.

EXTERIOR BUILDING: REMOVE EXISTING DRIVE-UP CANOPY AND REPLACE WITH HIP ROOF TO MATCH EXISTING ROOF. REMOVE DORMERS AND (3) BARREL VAULT ROOFS. REPLACE ROOF NEW ASPHALT SHINGLES AND INFILL WITH BUILT UP GABLE ROOF WHERE BARREL VAULTS REMOVED. REPLACE ALL WINDOWS AND CURTAIN WALLS. REMOVE UTILITY YARD FENCE AND REPLACE WITH NEW TREX COMPOSITE FENCING TO SCREEN HVAC EQUIPMENT. PROVIDE NEW AIR INTAKE AND EXHAUST LOUVERS NEAR THE MECHANICAL YARD. REMOVE EXISTING FENCE AND PROVIDE NEW STUCCO + CMU DUMPSTER ENCLOSURE. REMOVE DRIVE-UP WINDOW AND ASSOCIATED EQUIPMENT, REPLACE WITH WALL INFILL TO MATCH ADJACENT EXISTING WALLS AND INSTALL THRU-WALL ATM AND AHD. REPAINT AND PATCH EXISTING EIFS FINISHES AND PLASTER COLUMNS.

BUILDING FLOOR AREA = 8,200 SF

SITE AREA = 109,025 SF

SHEET INDEX

ARCHITECTURAL DRAWINGS	
A00.0	DESIGN REVIEW BOARD PACKAGE COVER SHEET
A00.1	FURNITURE FLOOR PLAN
A00.2	BUILDING RENDERINGS
A00.3	BUILDING RENDERINGS
A00.4	BUILDING RENDERINGS
A00.5	BUILDING RENDERINGS
A00.6	DUMPSTER RENDERINGS
A00.7	EXTERIOR ELEVATIONS
A00.8	EXTERIOR ELEVATIONS
CIVIL DRAWINGS	
C-203	EXISTING CONDITIONS AND DEMOLITION PLAN
C-301	SITE PLAN
L-101	LANDSCAPE PLAN

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SEAL

Architect of Record:
 Christopher Kirschner, AIA, LEED AP
 SC License No. 5822

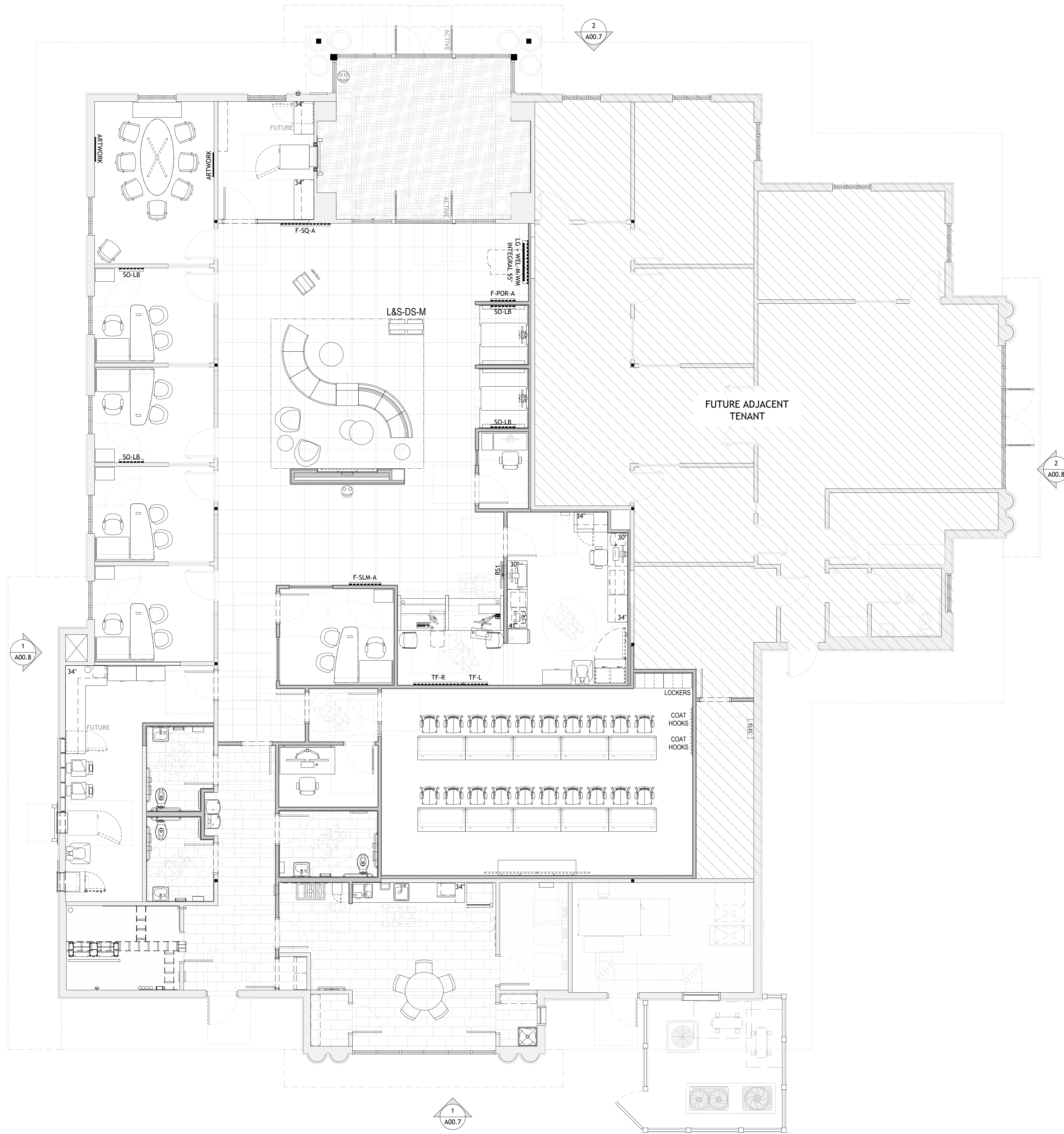
ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK	
JOB #:	254009
DATE:	11-12-2025
DRAWN BY:	LV
CHECKED BY:	TN

SHEET TITLE
**DESIGN REVIEW BOARD
 PACKAGE
 COVER SHEET**

SHEET NUMBER

A00.0



Hilton Head
Design Review Board
JPM Chase Retail Banking Center
2 Lafayette Place,
Hilton Head Island, SC 29926

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PROJECT INFORMATION BLOCK	
JOB #:	254009
DATE:	11-12-2025
DRAWN BY:	LV
CHECKED BY:	TN

SHEET TITLE
FURNITURE FLOOR PLAN

SHEET NUMBER
A00.1

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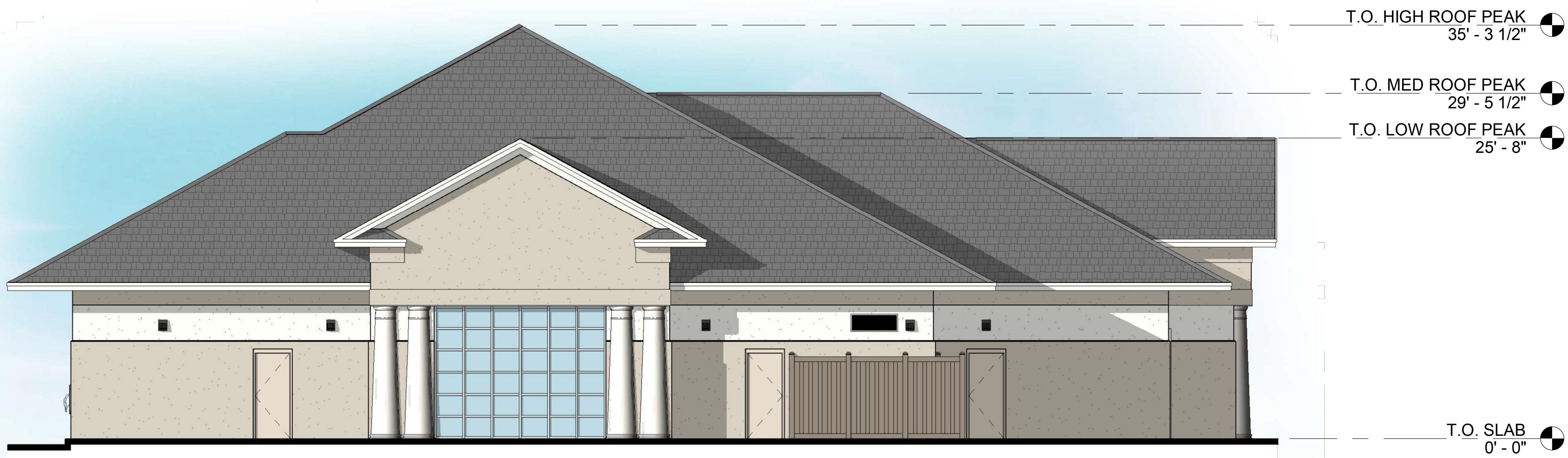
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SHEET TITLE

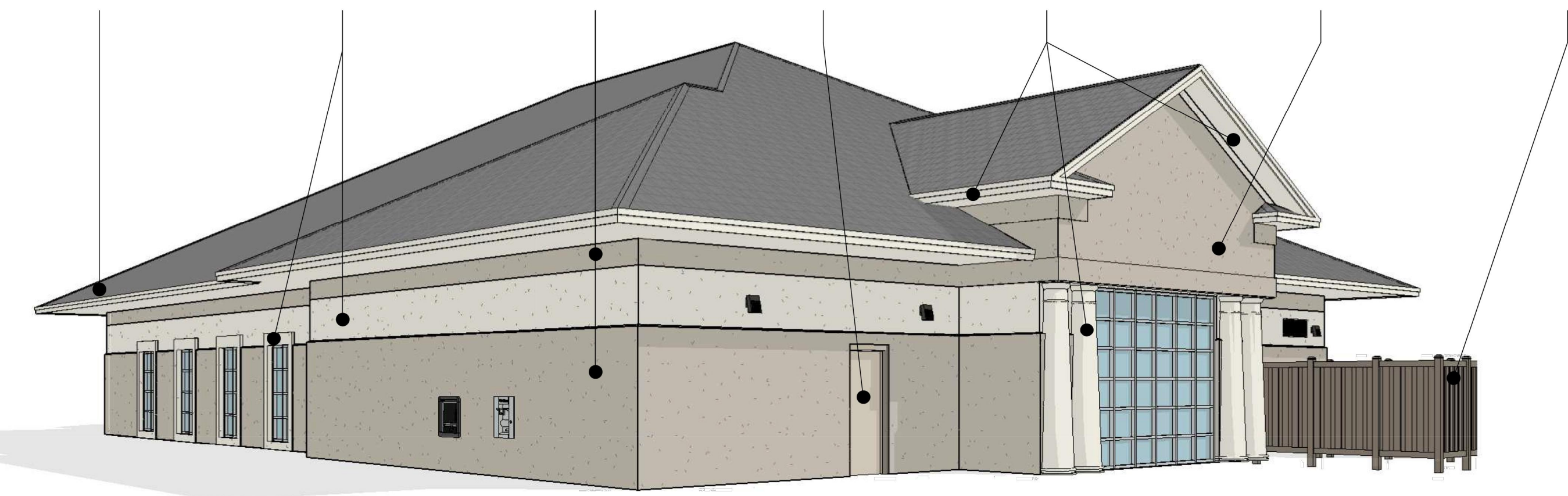
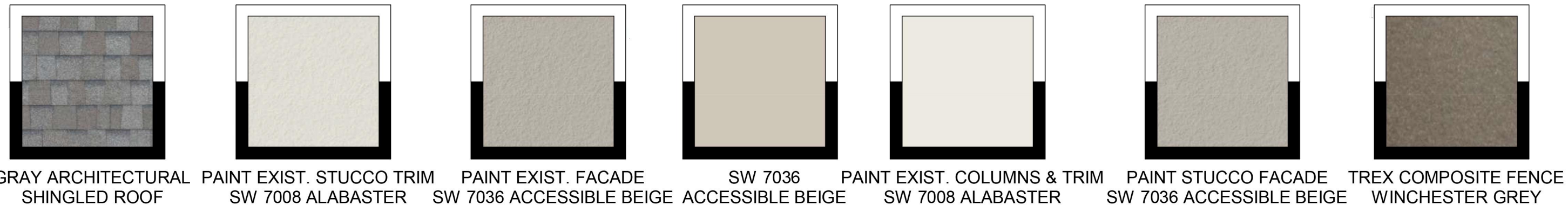
BUILDING RENDERINGS

SHEET NUMBER

A00.3



SOUTH ELEVATION



HILTON HEAD

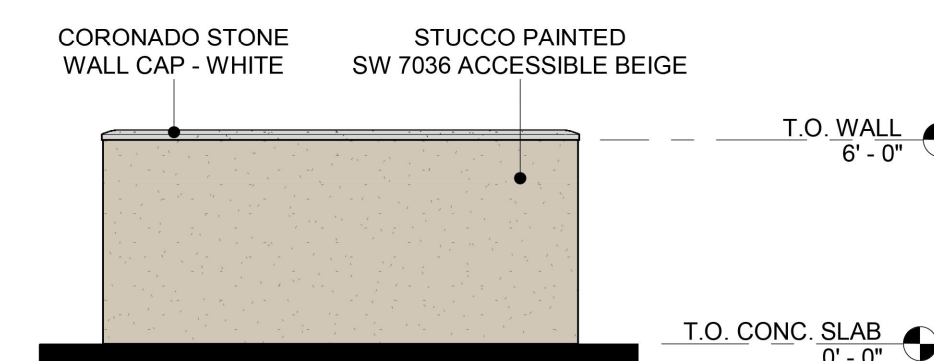
2 LAFAYETTE PLACE
HILTON HEAD ISLAND, SC 29926

THE COLORS SHOWN IN THIS RENDERING ARE CLOSE APPROXIMATIONS. DUE TO VARIATIONS MONITORS, INK, AND DIFFERENCES IN PRINTERS, AN EXACT MATCH CANNOT BE ACHIEVED. THE VIEWER IS ADVISED TO USE THE RENDERING AS A GUIDELINE FOR THE ARRANGEMENT OF COLORS ON THE BUILDING, AND TO THEN REFER TO THE ACTUAL COLOR OR MATERIAL SAMPLES PROVIDED.

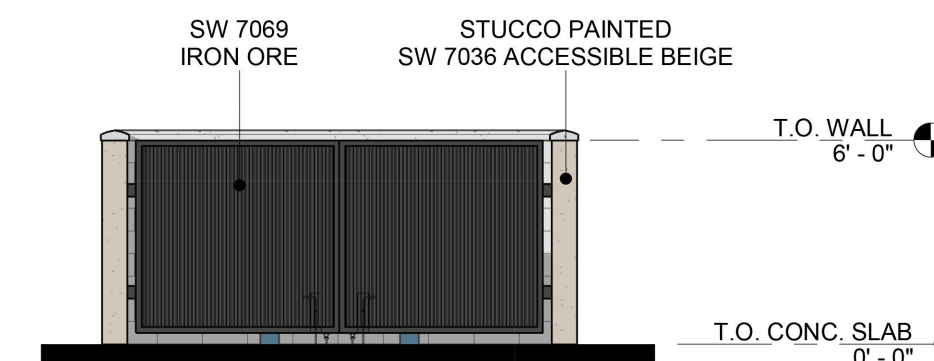
EXTERIOR FINISH MATERIALS

THIS SCHEDULE IS COMPREHENSIVE. NOT ALL LISTED ITEMS ARE USED IN THIS PROJECT

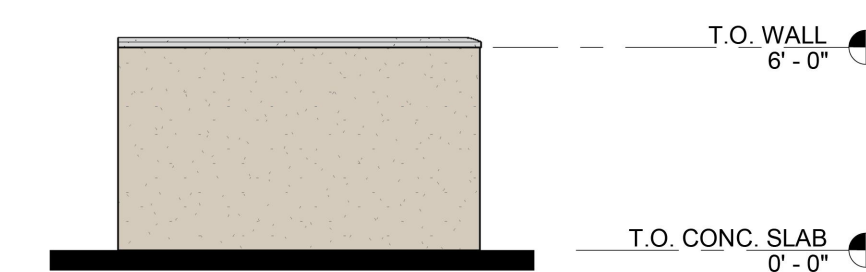
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	MANUFACTURER	CERTAINTED
	PRODUCT	LANDMARK- ASPHALT SHINGLES
	COLOR	COBBLESTONE GRAY
ST-1	STUCCO FINISH	
	MANUFACTURER	STO CORP.
	COLOR	TO MATCH EPT-1
	FINISH	SAND FINISH
TR-1	TRIM BOARD	
	MANUFACTURER	JAMES HARDIE
	PRODUCT	5/4 HARDIE TRIM BOARD (SMOOTH)
	COLOR	PAINT TO MATCH EPT-2
	SIZE	144" LENGTH X 7.25" WIDTH X 1" THICKNESS
TR-2	SOFFIT BOARD	
	MANUFACTURER	JAMES HARDIE
	PRODUCT	HARDIE VENTED SOFFIT PANELS
	COLOR	PAINT TO MATCH EPT-2
	SIZE	144" LENGTH X 16" WIDTH X 0.25" THICKNESS
EPT-1	EXTERIOR PAINT	
	MANUFACTURER	BENJAMIN MOORE
	PRODUCT	BM ULTRA SPEC EXT
	COLOR	PAINT TO MATCH SW 7036 ACCESSIBLE BEIGE
	FINISH	SEMI-GLOSS
EPT-2	EXTERIOR PAINT	
	MANUFACTURER	BENJAMIN MOORE
	PRODUCT	BM ULTRA SPEC EXT
	COLOR	PAINT TO MATCH SW 7008 ALABASTER
	FINISH	SEMI-GLOSS
EPT-3	EXTERIOR PAINT	
	MANUFACTURER	BENJAMIN MOORE
	PRODUCT	BM ULTRA SPEC EXT
	COLOR	PAINT TO MATCH SW 7069 IRON ORE
	FINISH	SEMI-GLOSS
EIFS-1	EIFS PARAPET (DARK COLOR)	
	MANUFACTURER	STO CORP. (OR APPROVED EQUAL)
	PRODUCT	STOTHERM PREMIER NEXT
	COLOR	TO MATCH EPT-1
	FINISH	MATCH EXISTING
EIFS-2	EIFS PARAPET (LIGHT COLOR)	
	MANUFACTURER	STO CORP. (OR APPROVED EQUAL)
	PRODUCT	STOTHERM PREMIER NEXT
	COLOR	TO MATCH EPT-2
	FINISH	MATCH EXISTING
DFS-1	DIRECT-APPLY FINISH SYSTEM	
	MANUFACTURER	STO
	PRODUCT	STOQUIK GOLD
	COLOR	MATCH SHERWIN WILLIAMS SW 6995 SUPERWHITE
	FINISH	STOLT 1.0



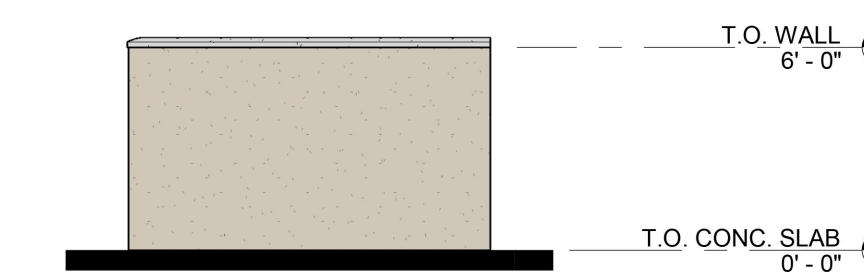
SOUTH ELEVATION



NORTH ELEVATION



WEST ELEVATION

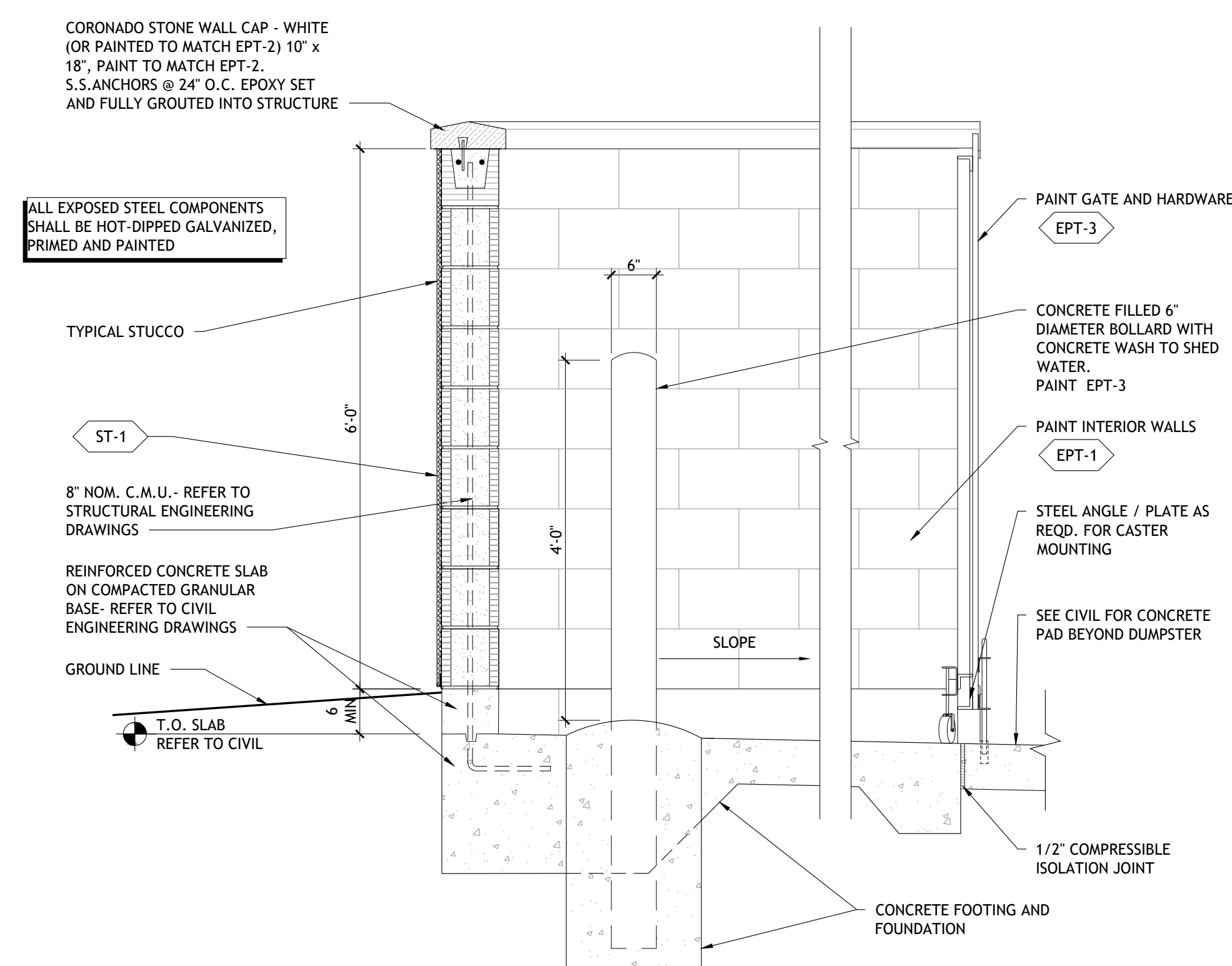


EAST ELEVATION



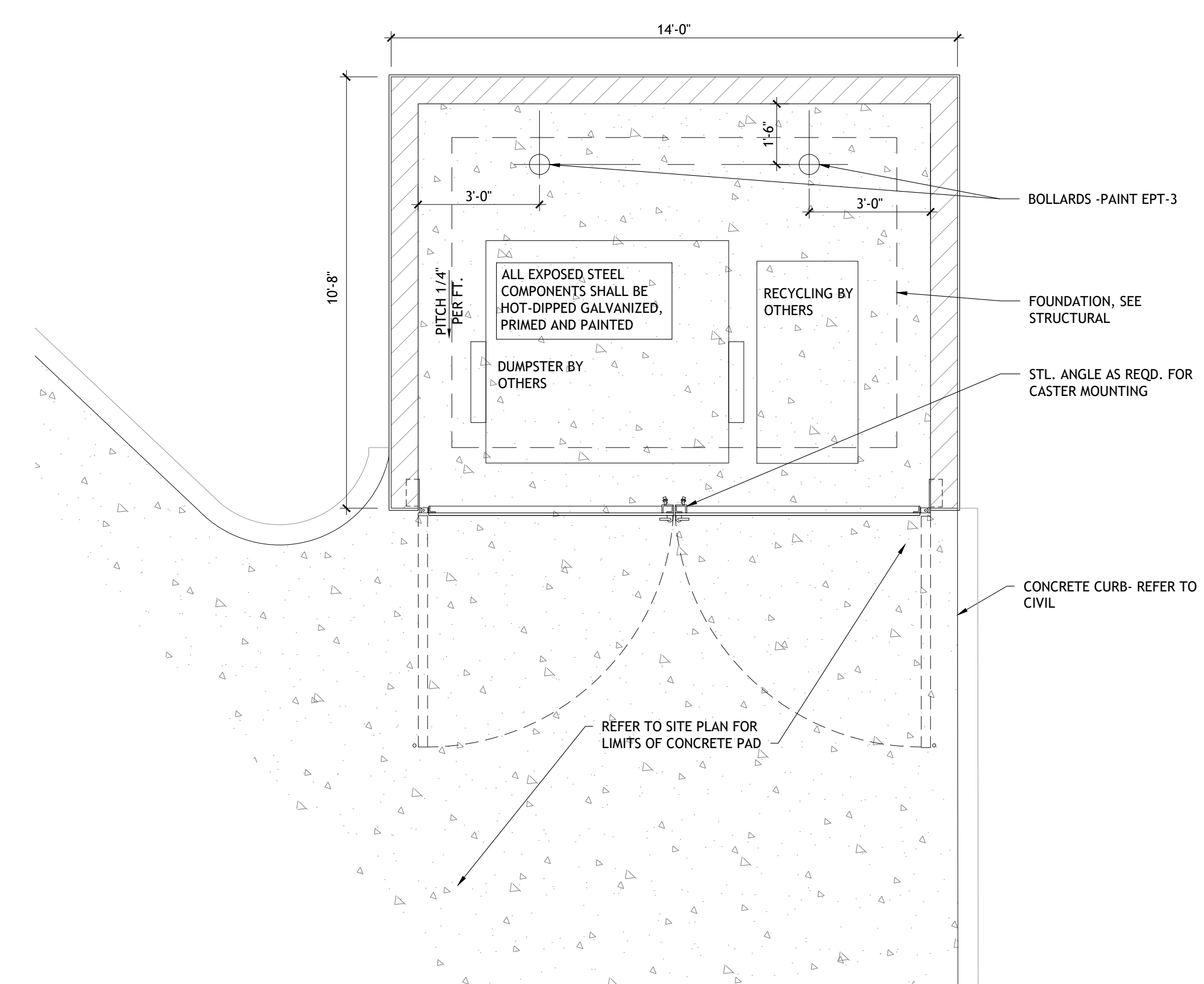
DUMPSTER ELEVATIONS

SCALE	3
NTS	



DUMPSTER SECTION

SCALE	2
3/4" = 1'-0"	



DUMPSTER PLAN

SCALE	1
3/8" = 1'-0"	



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FL LIC#AR-0014752
www.bdgllp.com



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SC License No. 5822

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PROJECT INFORMATION BLOCK	
JOB #:	254009
DATE:	11-12-2025
DRAWN BY:	LV
CHECKED BY:	TN

SHEET TITLE

DUMPSTER RENDERINGS

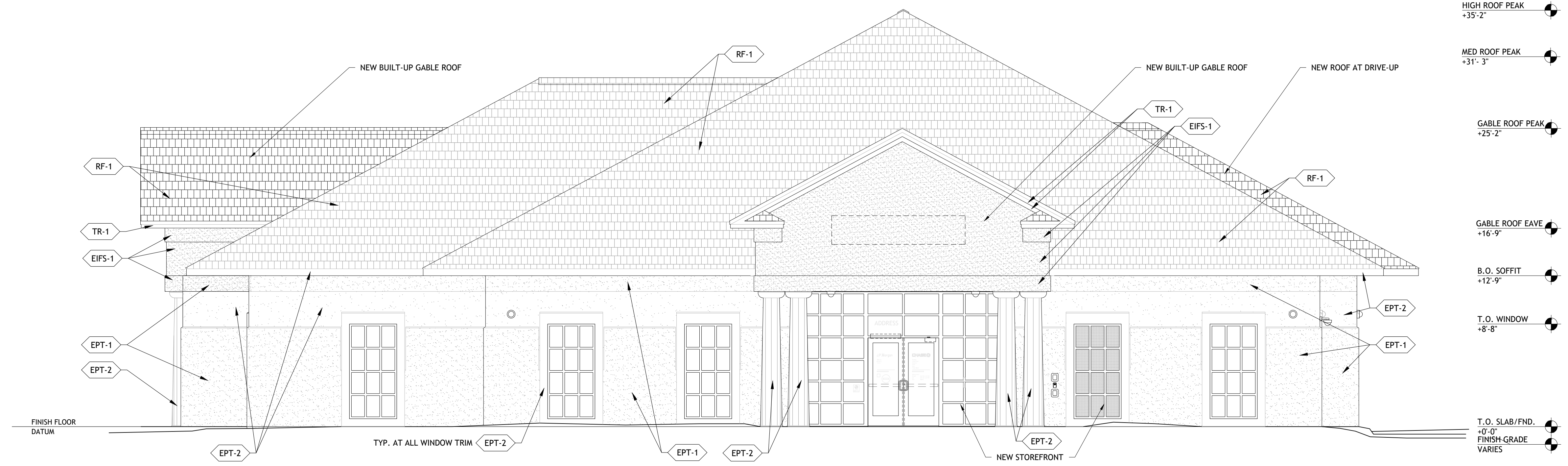
SHEET NUMBER

A00.6

EXTERIOR FINISH MATERIALS

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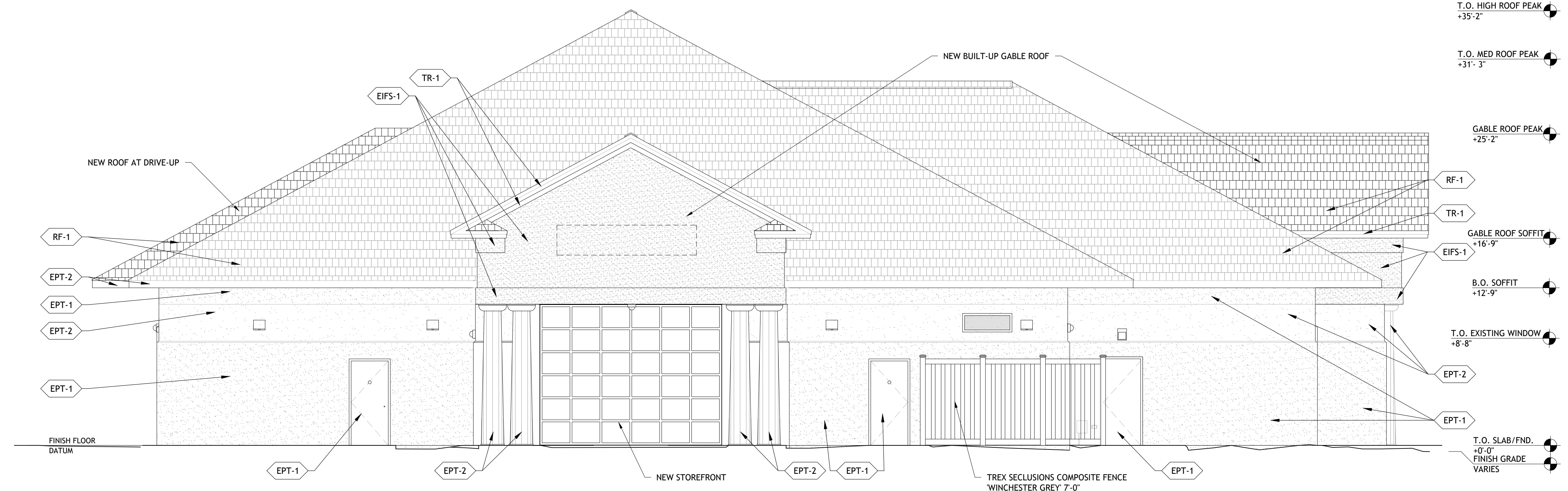
RF-1	ROOF FINISH	
	MANUFACTURER	CERTAINTEED
	PRODUCT	LANDMARK- ASPHALT SHINGLES
	COLOR	COBBLESTONE GRAY
ST-1	STUCCO FINISH	
	MANUFACTURER	STO CORP.
	COLOR	TO MATCH EPT-1
	FINISH	SAND FINISH
TR-1	TRIM BOARD	
	MANUFACTURER	JAMES HARDIE
	PRODUCT	5/4 HARDIE TRIM BOARD (SMOOTH)
	COLOR	PAINT TO MATCH EPT-2
	SIZE	144" LENGTH X 7.25" WIDTH X 1" THICKNESS
TR-2	SOFFIT BOARD	
	MANUFACTURER	JAMES HARDIE
	PRODUCT	HARDIE VENTED SOFFIT PANELS
	COLOR	PAINT TO MATCH EPT-2
	SIZE	144" LENGTH X 16" WIDTH X 0.25" THICKNESS
EPT-1	EXTERIOR PAINT	
	MANUFACTURER	BENJAMIN MOORE
	PRODUCT	BM ULTRA SPEC EXT
	COLOR	PAINT TO MATCH SW 7036 ACCESSIBLE BEIGE
	FINISH	SEMI-GLOSS
EPT-2	EXTERIOR PAINT	
	MANUFACTURER	BENJAMIN MOORE
	PRODUCT	BM ULTRA SPEC EXT
	COLOR	PAINT TO MATCH SW 7008 ALABASTER
	FINISH	SEMI-GLOSS
EPT-3	EXTERIOR PAINT	
	MANUFACTURER	BENJAMIN MOORE
	PRODUCT	BM ULTRA SPEC EXT
	COLOR	PAINT TO MATCH SW 7069 IRON ORE
	FINISH	SEMI-GLOSS
EIFS-1	EIFS PARAPET (DARK COLOR)	
	MANUFACTURER	STO CORP. (OR APPROVED EQUAL)
	PRODUCT	STOTHERM PREMIER NEXT
	COLOR	TO MATCH EPT-1
	FINISH	MATCH EXISTING
EIFS-2	EIFS PARAPET (LIGHT COLOR)	
	MANUFACTURER	STO CORP. (OR APPROVED EQUAL)
	PRODUCT	STOTHERM PREMIER NEXT
	COLOR	TO MATCH EPT-2
	FINISH	MATCH EXISTING
DFS-1	DIRECT-APPLY FINISH SYSTEM	
	MANUFACTURER	STO
	PRODUCT	STOQUIK GOLD
	COLOR	MATCH SHERWIN WILLIAMS SW 6995 SUPERWHITE
	FINISH	STOLT 1.0



NORTH BUILDING ELEVATION - WILLIAM HILTON PKWY (US HWY 278)

SCALE
3/16" = 1'-0"

2



SOUTH BUILDING ELEVATION - LAFAYETTE PLACE

SCALE
3/16" = 1'-0"

1

bdg
architects

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CHASE

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2 Lafayette Place,
Hilton Head Island, SC 29926

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SEAL

Architect of Record:
Christopher Kirschner, AIA, LEED AP
SC License No. 5822

ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK	
JOB #:	254009
DATE:	11-12-2025
DRAWN BY:	LV
CHECKED BY:	TN

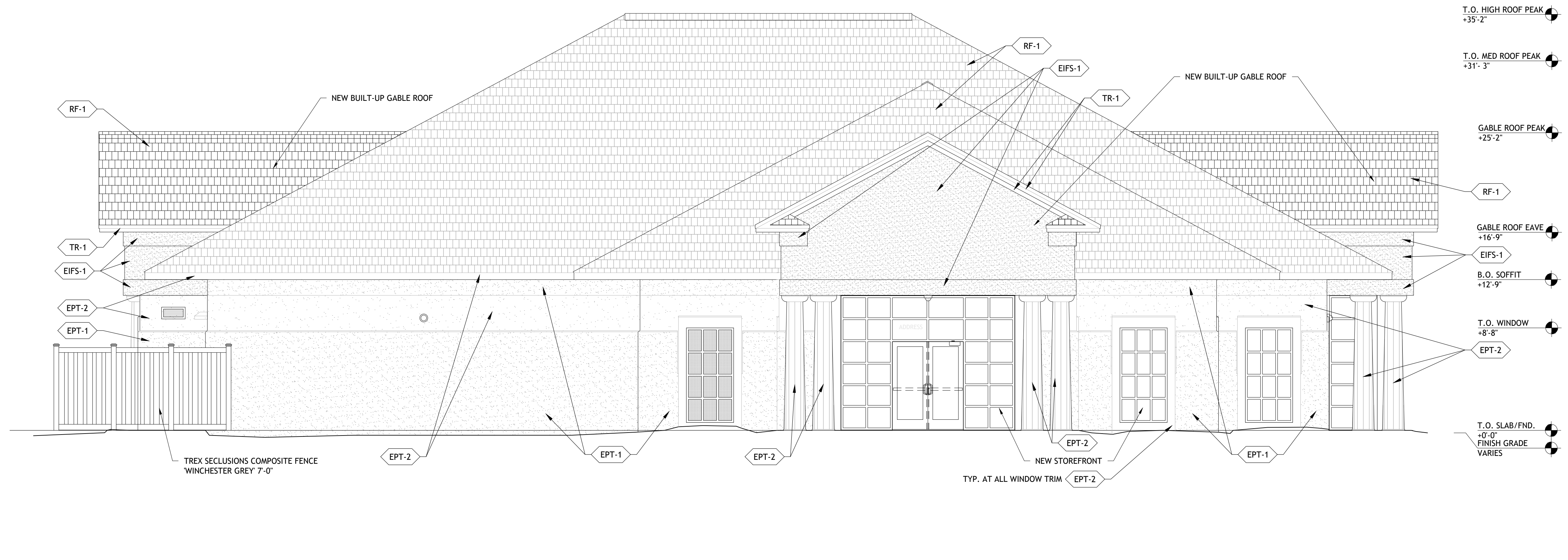
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER
A00.7

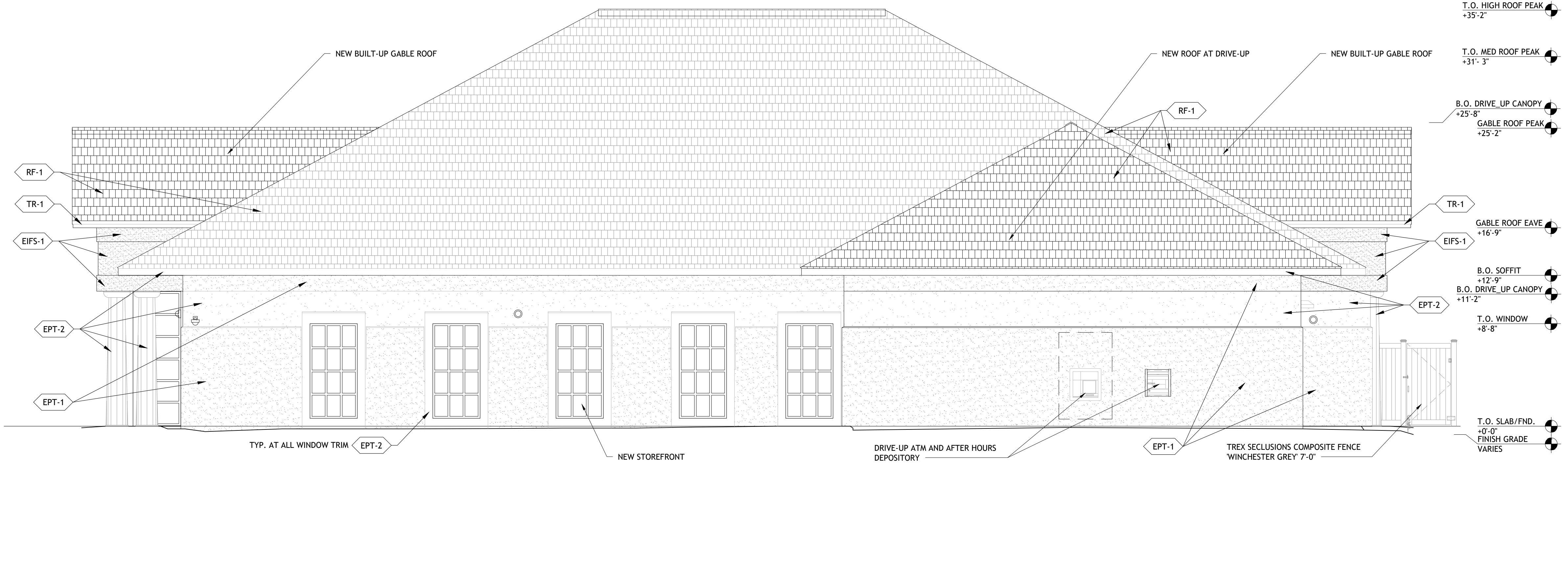
EXTERIOR FINISH MATERIALS

THIS SCHEDULE IS COMPREHENSIVE. NOT ALL LISTED ITEMS ARE USED IN THIS PROJECT

RF-1	ROOF FINISH	
	MANUFACTURER	CERTAINTEED
	PRODUCT	LANDMARK- ASPHALT SHINGLES
ST-1	STUCCO FINISH	
	MANUFACTURER	STO CORP.
	COLOR	TO MATCH EPT-1
TR-1	TRIM BOARD	
	MANUFACTURER	JAMES HARDIE
	PRODUCT	5/4 HARDIE TRIM BOARD (SMOOTH)
TR-2	SOFFIT BOARD	
	MANUFACTURER	JAMES HARDIE
	PRODUCT	HARDIE VENTED SOFFIT PANELS
EPT-1	EXTERIOR PAINT	
	MANUFACTURER	BENJAMIN MOORE
	PRODUCT	BM ULTRA SPEC EXT
EPT-2	EXTERIOR PAINT	
	MANUFACTURER	BENJAMIN MOORE
	PRODUCT	BM ULTRA SPEC EXT
EPT-3	EXTERIOR PAINT	
	MANUFACTURER	BENJAMIN MOORE
	PRODUCT	BM ULTRA SPEC EXT
EIFS-1	EIFS PARAPET (DARK COLOR)	
	MANUFACTURER	STO CORP. (OR APPROVED EQUAL)
	PRODUCT	STOTHERM PREMIER NEXT
EIFS-2	EIFS PARAPET (LIGHT COLOR)	
	MANUFACTURER	STO CORP. (OR APPROVED EQUAL)
	PRODUCT	STOTHERM PREMIER NEXT
DFS-1	DIRECT-APPLY FINISH SYSTEM	
	MANUFACTURER	STO
	PRODUCT	STOQUIK GOLD



EAST BUILDING ELEVATION - PARKING SCALE 3/16" = 1'-0" 2



WEST ELEVATION - DRIVE-UP SCALE 3/16" = 1'-0" 1

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SEAL

Architect of Record:
Christopher Kirschner, AIA, LEED AP
SC License No. 5822

ISSUE/BY	DATE	DESCRIPTION

PROJECT INFORMATION BLOCK

JOB #:	254009
DATE:	11-12-2025
DRAWN BY:	LV
CHECKED BY:	TN

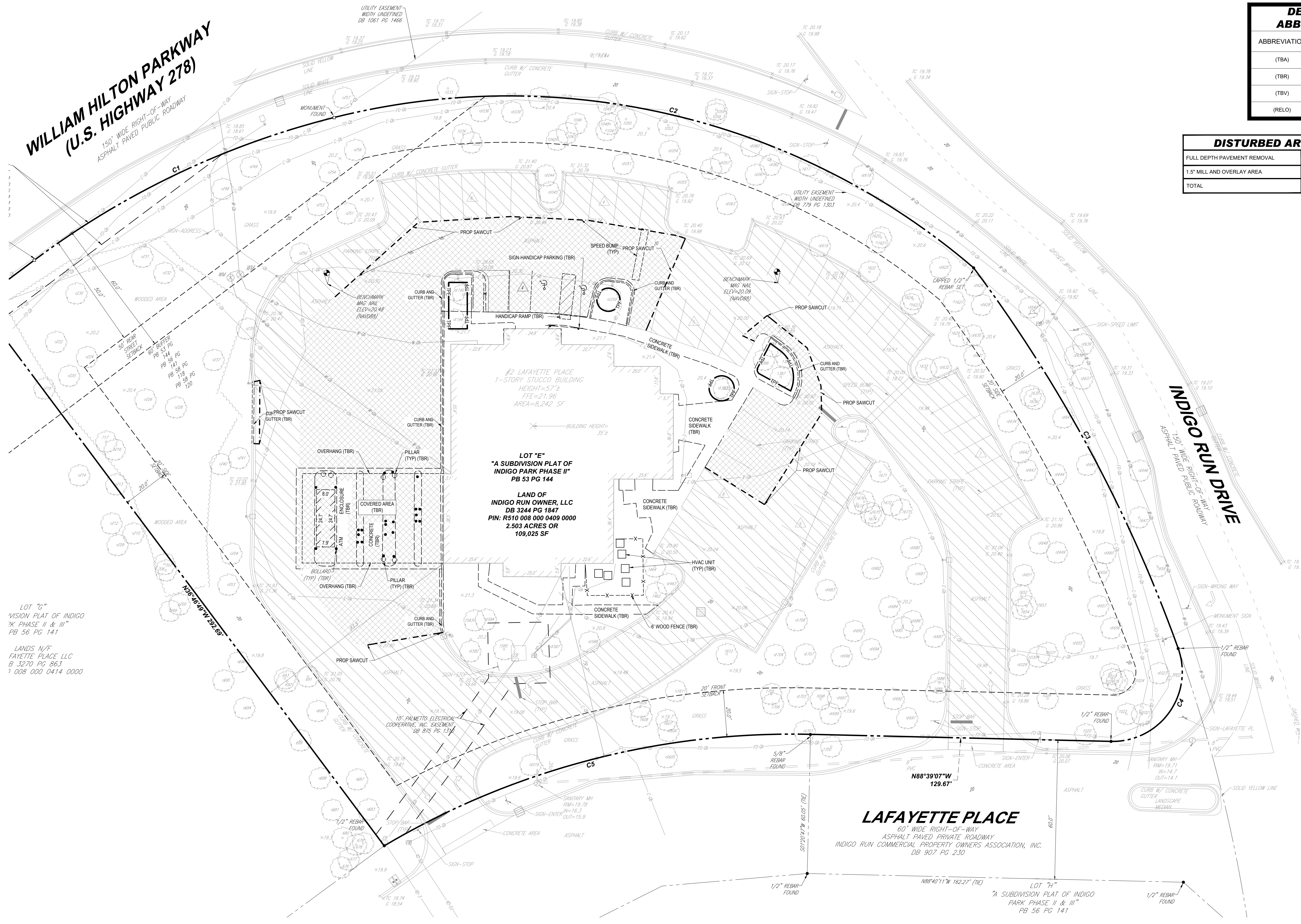
SHEET TITLE

EXTERIOR ELEVATIONS

SHEET NUMBER

A00.8

**WILLIAM HILTON PARKWAY
(U.S. HIGHWAY 278)**
150' WIDE RIGHT-OF-WAY
ASPHALT PAVED PUBLIC ROADWAY



DEMOLITION ABBREVIATIONS	
ABBREVIATION	DESCRIPTION
(TBA)	TO BE ABANDONED
(TBR)	TO BE REMOVED
(TBV)	TO BE VACATED
(RELO)	TO BE RELOCATED

DISTURBED AREA SUMMARY	
FULL DEPTH PAVEMENT REMOVAL	14,978 SF (0.34AC)
1.5" MILL AND OVERLAY AREA	27,682 SF (0.64AC)
TOTAL	42,660 SF (0.98AC)

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PERMITTING SERVICES
TRANSPORTATION SERVICES

REVISIONS			
REV	DATE	COMMENT	DRAWN BY

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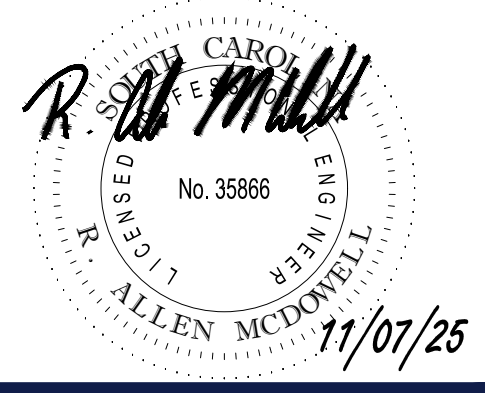
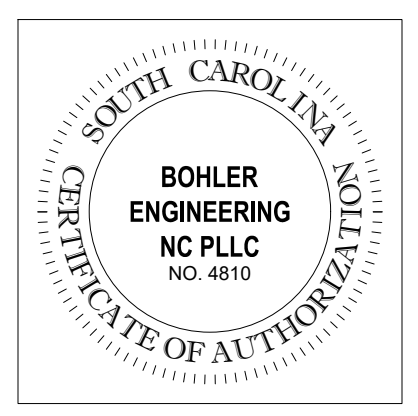
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PROJECT No.: NCA250028-00-0A
DRAWN BY: HM
DATE: 10/27/2025
CAD ID: P-CIVL-EXDM

PROP. SITE PLAN DOCUMENTS
FOR

CHASE
PROPOSED CHASE BANK
2 LAFAYETTE PLACE
HILTON HEAD ISLAND, SC 29926
PID: R510 008 000 0409 0000

BOHLER
BOHLER ENGINEERING NC, PLLC
1927 S. TRYON STREET, SUITE 310
CHARLOTTE, NC 28203
Phone: (980) 272-3400
Fax: (980) 272-3401
NC@BohlerEng.com

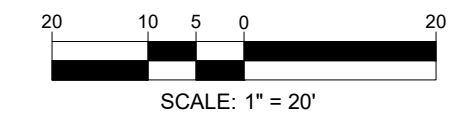


SHEET TITLE:
EXISTING CONDITIONS AND DEMOLITION PLAN

SHEET NUMBER:
C-203

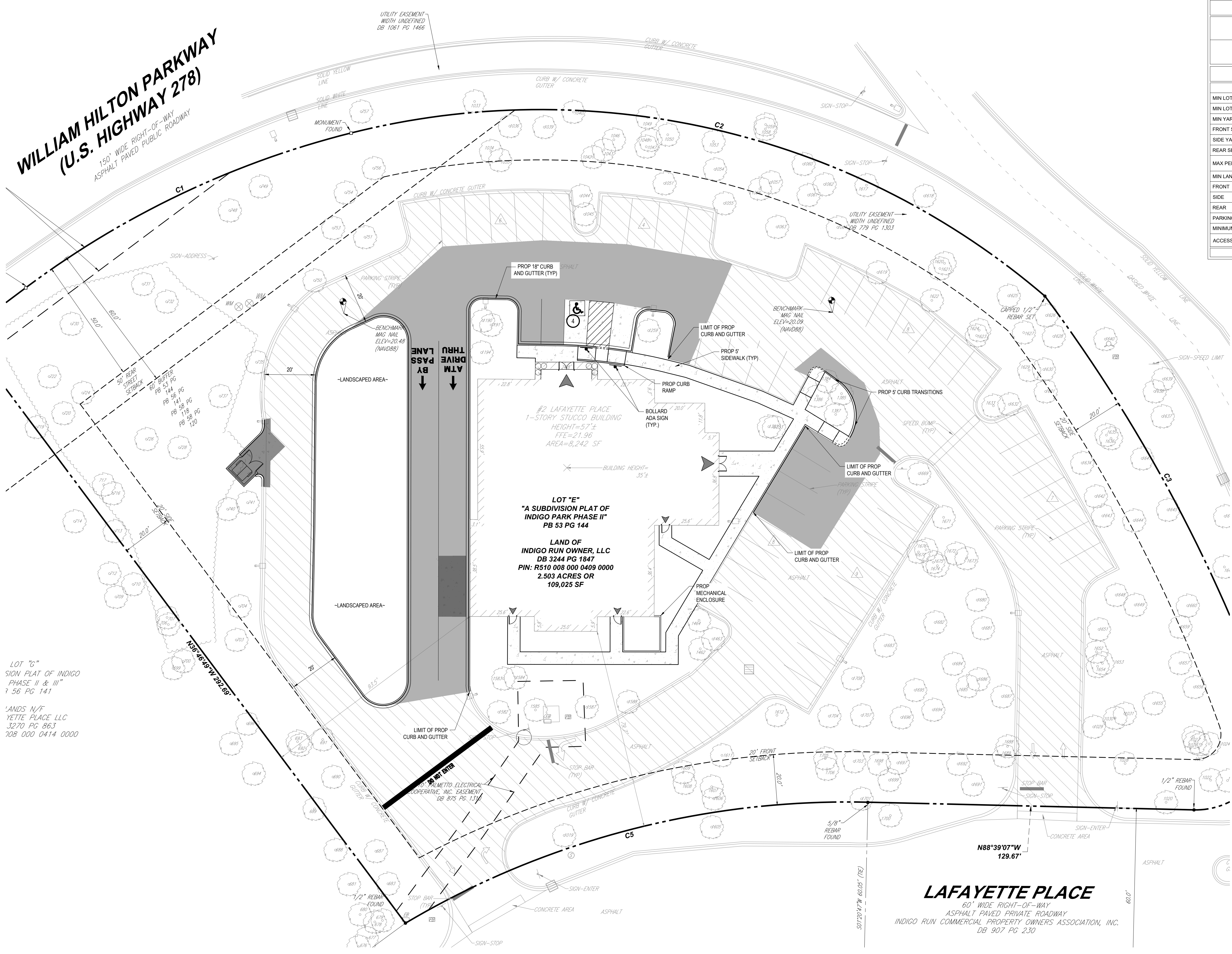
ORG. DATE - #####

THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY



Nov 07, 2025
H:\2025\NCA250028-00\CAD\DRAWINGS\PLAN SET\CIVIL SITE PLAN\SP-CIVL-EXDM-NCA250028-00-0A-LAYOUT_C-203-EXDM

**WILLIAM HILTON PARKWAY
(U.S. HIGHWAY 278)**
150' WIDE RIGHT-OF-WAY
ASPHALT PAVED PUBLIC ROADWAY



LOT "G"
S10N PLAT OF INDIGO
PHASE II & III
1 56 PG 141
LANDS N/F
YETTE PLACE LLC
3270 PG 863
708 000 0414 0000

LOT "E"
"A SUBDIVISION PLAT OF
INDIGO PARK PHASE II"
PB 53 PG 144
LAND OF
INDIGO RUN OWNER, LLC
DB 3244 PG 1847
PIN: R510 008 000 0409 0000
2.503 ACRES OR
109,025 SF

LAFAYETTE PLACE
60' WIDE RIGHT-OF-WAY
ASPHALT PAVED PRIVATE ROADWAY
INDIGO RUN COMMERCIAL PROPERTY OWNERS ASSOCIATION, INC.
DB 907 PG 230

ZONING TABLE		
ZONE: MAIN STREET (MS)		
USE: OTHER, COMMERCIAL SERVICES		
APPLICANT/ OWNER INFORMATION		
APPLICANT:	JPMORGAN CHASE N.A. 1111 POLARIS PARKWAY, COLUMBUS, OH 43240	
PROPERTY OWNER:	INDIGO RUN OWNER LLC 41 ISLE OF VENICE DR. APT 302 FORT LAUDERDALE, FL 33301	
BULK REQUIREMENTS		
ITEM	REQUIRED	PROPOSED
MIN LOT AREA	N/A	2.503 (AC)
MIN LOT WIDTH	N/A	TBD
MIN YARD SETBACKS		
FRONT SETBACK	20'	20'
SIDE YARD SETBACK	20'	20'
REAR SETBACK	50'	50'
MAX PERMITTED HEIGHT	45'	TBD
MIN LANDSCAPE BUFFERS		
FRONT	NONE	-
SIDE	NONE	-
REAR	60' REAR BUFFER	60'
PARKING REQUIREMENTS		
MINIMUM REQUIRED STALLS	1 SPACE PER 350 SF GFA (24 SPACES)	51
ACCESSIBLE STALLS	2 ADA SPACE FOR 26 TO 50 TOTAL SPACES	2

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DRAWN BY: HM
CHECKED BY: MJ
DATE: 10/27/2025
CAD ID: P-CIVL-SITE

PROP. SITE PLAN DOCUMENTS
FOR

CHASE
PROPOSED
CHASE BANK
2 LAFAYETTE PLACE
HILTON HEAD ISLAND, SC 29926
PID: R510 008 000 0409 0000

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CHARLOTTE, NC 28203
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BOHLER ENGINEERING NC, PLLC
NO. 35866
11/07/25

SITE PLAN

SHEET NUMBER:
C-301

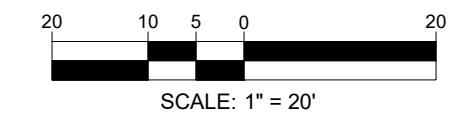
ORG. DATE - #####

PAVING LEGEND

[Pattern]	REGULAR DUTY ASPHALT
[Pattern]	CONCRETE SIDEWALK
[Pattern]	HEAVY DUTY CONCRETE
[Pattern]	1.5" MILL AND OVERLAY (PER HILTON HEAD STANDARDS)

SEE SECTION DETAILS ON SHEET C-901

THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY

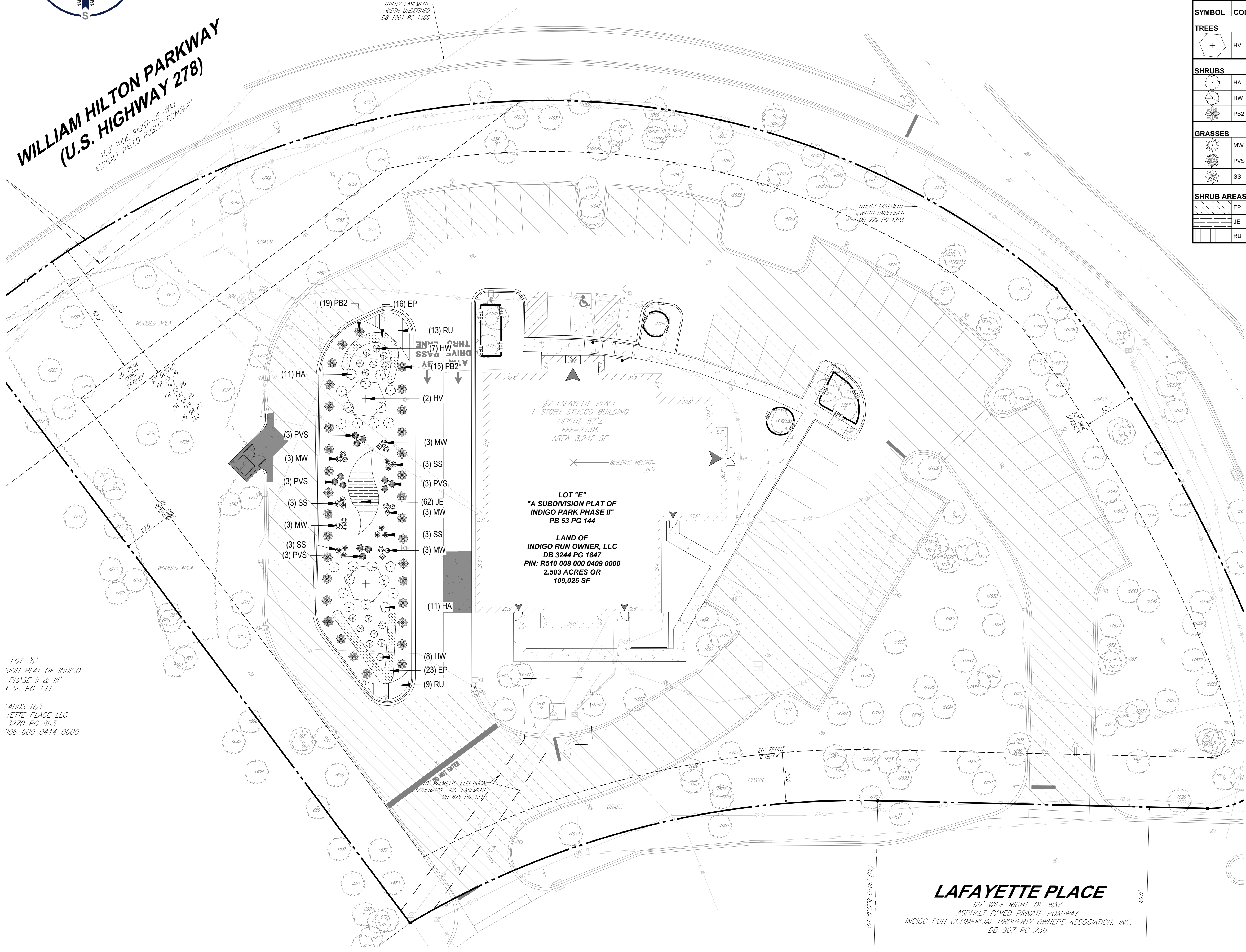


DISTURBED AREA SUMMARY

FULL DEPTH PAVEMENT	9,725 SF (0.22AC)
1.5" MILL AND OVERLAY AREA	27,682 SF (0.64AC)
TOTAL	37,407 SF (0.86AC)



WILLIAM HILTON PARKWAY
 (U.S. HIGHWAY 278)
 150' WIDE RIGHT-OF-WAY
 ASPHALT PAVED PUBLIC ROADWAY



GENERAL LANDSCAPE NOTES:

1. THESE LANDSCAPE PLANS ARE TO BE READ IN CONJUNCTION WITH THE LANDSCAPE SPECIFICATIONS, AND ASSOCIATED DETAILS FOUND ON THE LANDSCAPE DETAILS SHEET. THE GENERAL NOTES, FOUND ON THE NOTES PAGE OF THIS PLAN SET, ARE CONSIDERED PART OF LANDSCAPE PLANS. THE CONTRACTOR MUST REFER TO, AND FULLY COMPLY WITH, ALL NOTES, SPECIFICATIONS AND DETAILS DESCRIBED HEREIN, ON THE LANDSCAPE PLANS AND IN THE LANDSCAPE DETAILS SHEET.
2. ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH "MATERIALS" SECTION OF THE LANDSCAPE SPECIFICATIONS, UNLESS OTHERWISE SPECIFICALLY STATED ON THIS PLAN.
3. SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
4. PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER AND THE MUNICIPALITY'S ENGINEERING AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
5. WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY STORMWATER FACILITY, INCLUDING RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.
6. IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCTS MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL PROJECT MAINTENANCE IS TURNED OVER TO THE PROPERTY OWNER OR OTHER RESPONSIBLE PARTY. SUCH RESPONSIBILITIES INCLUDE, BUT ARE NOT LIMITED TO, THE CARE, WATERING, AND MAINTENANCE OF ALL PLANT MATERIAL; LAWN MOWING; AND SEASONAL MAINTENANCE.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TREES						
	HV	2	HAMAMELIS VIRGINIANA	COMMON WITCH HAZEL	1.5" CAL. MIN.	CONTAINER/B&B
SHRUBS						
	HA	23	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE HYDRANGEA	18-24" HT.	CONTAINER
	HW	15	HYDRANGEA QUERCIFOLIA 'PEE WEE'	PEE WEE OAKLEAF HYDRANGEA	12-18" HT.	CONTAINER
	PB2	34	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	1 GAL.	CONTAINER
GRASSES						
	MW	16	MUHLENBERGIA CAPILLARIS 'WHITE CLOUD'	WHITE CLOUD MUHLY GRASS	1 GAL.	CONTAINER
	PVS	12	PANICUM VIRGATUM 'SHENANDOAH'	SHENANDOAH SWITCH GRASS	1 GAL.	CONTAINER
	SS	12	SCHIZACHYRIUM SCOPARIUM 'THE BLUES'	THE BLUES LITTLE BLUESTEM	1 GAL.	CONTAINER
SHRUB AREAS						
	EP	39	ECHINACEA PURPUREA	CONEFLOWER	1 GAL.	CONTAINER
	JE	62	JUNCUS EFFUSUS	SOFT RUSH	1 GAL.	CONTAINER
	RU	22	RUDBECKIA X 'AMERICAN GOLD RUSH'	AMERICAN GOLD RUSH CONEFLOWER	1 GAL.	CONTAINER

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REVISIONS

REV	DATE	COMMENT	DRAWN BY	CHECKED BY

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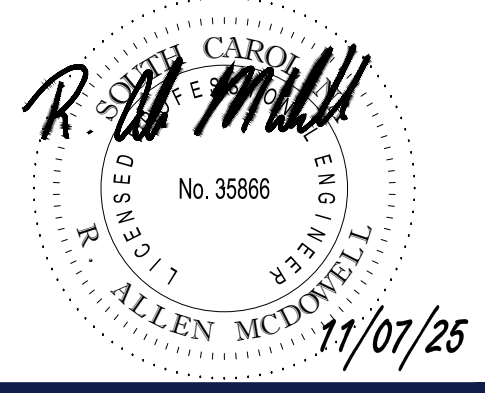
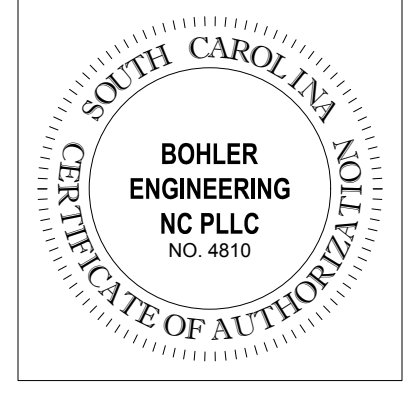
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PROJECT No.: NCA250028-00-0A
 DRAWN BY: HM
 CHECKED BY: MJ
 DATE: 10/27/2025
 CAD ID: P-CIVIL-SCP

PROP. SITE PLAN DOCUMENTS
 FOR

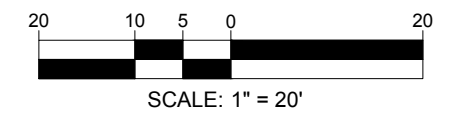
CHASE
 PROPOSED CHASE BANK
 2 LAFAYETTE PLACE
 HILTON HEAD ISLAND, SC 29926
 PID: R510 008 000 0409 0000

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 BOHLER ENGINEERING NC, PLLC
 1927 S. TRYON STREET, SUITE 310
 CHARLOTTE, NC 28203
 Phone: (980) 272-3400
 Fax: (980) 272-3401
 NC@BohlerEng.com



SHEET TITLE:
LANDSCAPE PLAN
 SHEET NUMBER:
L-101
 ORG. DATE - #####

THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY



LAFAYETTE PLACE
 60' WIDE RIGHT-OF-WAY
 ASPHALT PAVED PRIVATE ROADWAY
 INDIGO RUN COMMERCIAL PROPERTY OWNERS ASSOCIATION, INC.
 DB 907 PG 230

Nov 12, 2025
 H:\2025\NCA250028-00\CAD\DRAWINGS\PLAN SET\CIVIL-CIVIL-SCP-NCA250028-00-0A-LAYOUT-L-101.LSP

LOT "C"
 SIGN PLAT OF INDIGO
 PHASE II & III
 1 56 PG 141
 LANDS N/F
 YETIE PLACE LLC
 3270 PG 863
 708 000 0414 0000

UTILITY EASEMENT
 WIDTH UNDEFINED
 DB 1061 PG 1466

UTILITY EASEMENT
 WIDTH UNDEFINED
 DB 279 PG 1303

10' PERMITS ELECTRICAL
 COOPERATIVE, INC. EASEMENT
 DB 875 PG 1310

50720' W. 60.05' (TEE)

**Chase Bank
2 Lafayette Place
Staff Comments
November 25, 2025
DRB-001104-2025**

DESIGN TEAM/DRB COMMENT SHEET

*The comments below are staff recommendations to the Design Review Board (DRB)
and do NOT constitute DRB approval or denial.*

PROJECT NAME: 2 Lafayette Place – Chase Bank

DRB-001104-2025

DATE: 11/25/2025

CATEGORY: Alteration

RECOMMENDATION: Approval Approval with Conditions Denial

APPLICATION MATERIAL

DRB REQUIREMENTS	Complies Yes	No	Not Applicable	Comments or Conditions
Demolition Plan if needed	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Existing Conditions match As-Built	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Dimensioned Details and of Sections	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Detail Illustrating Connection to Existing Structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
New Building Details Match Existing Building Details	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

ARCHITECTURAL DESIGN

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Structure is designed to be appropriate to the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Promotes pedestrian scale and circulation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is unobtrusive and set into the natural environment	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes natural materials and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Provide a materials board
Avoids distinctive vernacular styles	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Design is appropriate for its use	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
All facades shall have equal design characteristics	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

Avoids monotonous planes or unrelieved repetition	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Has a strong roof form with enough variety to provide visual interest	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Provide a roof plan
Overhangs are sufficient for the façade height.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Forms and details are sufficient to reduce the mass of the structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Human scale is achieved by the use of proper proportions and architectural elements	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilizes a variety of materials, textures and colors	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Incorporates wood or wood simulating materials	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Windows are in proportion to the facade	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Details are clean, simple and appropriate while avoiding excessive ornamentation	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Utilities and equipment are concealed from view	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Decorative lighting is limited and low wattage and adds to the visual character	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide any exterior lighting cut sheets you may be placing on or around the building.
Accessory elements are designed to coordinate with the primary structure	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

LANDSCAPE DESIGN				
DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
Treats the Landscape as a major element of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	There could be more landscaping at the front entrance of the building or around the building.
Provides Landscaping of a scope and size that is in proportion to the scale of the development	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Landscape is designed so that it may be maintained in its natural shape and size	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Preserves a variety of existing native trees and shrubs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides for a harmonious setting for the site's structures, parking areas or other construction	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Location of existing trees and new trees provides street buffers, mitigation for parking lots, and an architectural complement that visually mitigates between parking lots and building(s)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Shrubs are selected to complement the natural setting, provide visual interest and screen less-desirable elements of the project	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of species is selected for texture and color	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Provides overall order and continuity of the	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

Landscape plan				
Native plants or plants that have historically been prevalent on the Island are utilized	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
A variety of sizes is selected to create a “layered” appearance for visual interest and a sense of depth	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The location of existing mature trees is taken into account in placement of shrubs so as not to damage tree roots	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proper spacing and location for plants to reach their mature size and natural shape while avoiding excessive or unnatural pruning	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Proposed groundcovers are evergreen species with low maintenance needs	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Large, grassed lawn areas encompassing a major portion of the site are avoided	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
The adjacent development is taken into account in determining the most appropriate buffer so as not to depart too dramatically from the neighborhood	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Ornamentals and Annuals are limited to entrances and other focal points	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

NATURAL RESOURCE PROTECTION

DESIGN GUIDE/LMO CRITERIA	Complies Yes	No	Not Applicable	Comments or Conditions
An effort has been made to preserve existing trees and under story plants	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Supplemental and replacement trees meet LMO requirements for size, species and number	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Wetlands if present are avoided and the required buffers are maintained	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	
Sand dunes if present are not disturbed	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	

COMMENTS & CONDITIONS

Staff recommend approval of the Alteration submittal for 2 Lafayette Place, Chase Bank with the following conditions:

1. Provide a materials board.
2. Provide a roof plan.
3. Provide any exterior lighting cut sheets you may be placing on or around the building.
4. There could be more landscaping at the front entrance of the building or around the building.
5. Any additional information as required by the Board.