



## Town of Hilton Head Island

### **Planning Commission Meeting** **Wednesday, November 19, 2025, 2:00 PM** **1 Town Center Court, Hilton Head Island, SC** **Benjamin M. Racusin Council Chambers**

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The meeting can be viewed on the [Town's YouTube Channel](#), the [Beaufort County Channel](#), and Spectrum Channel 1304.

- 1. Call to Order**
- 2. Pledge to the Flag**
- 3. Adoption of the Agenda**
- 4. Approval of the Minutes**
  - a. Regular Meeting Minutes of September 17, 2025.
- 5. Unfinished Business**
  - a. Public Hearing for Consideration of an Ordinance of the Town of Hilton Head Island to Amend Title 16 of the Municipal Code, the Land Management Ordinance, to Amend Sections 16-3-105.H, 16-4-102.A.6, 16-4-105, and 16-4-102.B.1 to allow residential Workforce Housing within the Medical (MED) Zoning District. - Shawn Leininger, Deputy Town Manager
- 6. New Business**
  - a. ZA-001007-2025: Public Hearing for Consideration of an Ordinance of the Town of Hilton Head Island to Amend the Official Zoning Map with Respect to the Real Property located at Bethea Drive to Amend the Palmetto Headlands/H.H. Hospital Master Plan within the Planned Development Overlay District (PD-2) for Beaufort County Tax Map Parcels R510 008 000 337A 0000, R510 008 000 0337 0000 and R510 008 000 0452 0000 to change the allocated uses from Commercial Use to Commercial or Residential Use and to Provide for Severability and an Effective Date. - Michael Connolly, Senior Planner
  - b. PPR-001035-2025: Public Hearing Request from Neal Eike, with the Town of Hilton Head Island, for an Application for Public Project Review for the property identified on Beaufort County Tax Maps as Parcel R550 014 000 0763 0000, also identified as 30 Arrow Road, for the development of a new pickleball

facility on a Town-owned parcel. - Shea Farrar, Principal Planner

**7. Public Comment - Non Agenda Items**

**8. Commission Business**

- a. Adoption of Proposed 2026 Meeting Dates.

**9. Chairman's Report**

**10. Staff Reports**

**11. Adjournment**

FOIA Compliance: Public notification of this meeting has been published, posted, and distributed in compliance with the South Carolina Freedom of Information Act and the requirements of the Town of Hilton Head Island.

In accordance with the requirements of Title II of the Americans with Disabilities Act of 1990 ("ADA"), the Town of Hilton Head Island will not discriminate against qualified individuals with disabilities on the basis of disability in its services, programs, or activities. Auditory accommodations are available. Any person requiring further accommodation should contact the Town of Hilton Head Island ADA Coordinator as soon as possible but no later than 48 hours before the scheduled event.

Municipal Association of South Carolina (MASC) Civility Pledge:

"I pledge to build a stronger and more prosperous community by advocating for civil engagement, respecting others and their viewpoints, and finding solutions for the betterment of my city or town."



# Town of Hilton Head Island PLANNING COMMISSION MEETING Wednesday, September 17, 2025, 2:00 PM Minutes

## 1. Call to Order

Chairman Henz called the meeting to order at 2 pm.

## 2. Pledge to the Flag

## 3. Adoption of the Agenda

Vice Chair Whaley made a motion to adopt the agenda as presented. Commissioner Cordes seconded. Motion carried 9-0.

## 4. Approval of the Minutes

### a. Regular Meeting Minutes of August 20, 2025

Chairman Henz requested staff update presenters. Commissioner Lobaugh moved to approve the amended meeting minutes from August 20, 2025. Commissioner Hewitt seconded the motion. The motion passed unanimously, 9-0.

## 5. Unfinished Business

### a. Consideration of an Ordinance of the Town of Hilton Head Island to Amend Chapter 16 of the Municipal Code, the Land Management Ordinance, to Amend the Traffic Impact Analysis Plan Requirements and Traffic Analysis Standards in Land Management Ordinance Sections 16-2-103, 16-5-106 and Appendix D, and Providing for Severability and an Effective Date - Shea Farrar, Pricipal Planner

Chairman Henz introduced the item for consideration. Shea Farrar, Principal Planner, presented the proposed ordinance to amend Chapter 16 of the Municipal Code (the Land Management Ordinance) regarding the Traffic Impact Analysis Plan Requirements and Traffic Analysis Standards. The item was returned to the Planning Commission for approval due to a change made by Town Council.

After questions from the Commissioners, Vice Chair Whaley made a motion to recommend approval to Town Council and that special consideration be given to the cumulative effects of development on the island's roadways. Commissioner Lobaugh seconded, and the motion passed unanimously.

## 6. New Business

### a. **PPR-000829-2025-** Public Hearing Request from Scott Harris, with the Town of Hilton Head Island, for the Public Project Review for a new park facility on the Town-

owned parcel located at 23 Marshland Road. The affected parcel is Beaufort County Tax Map Parcel R510 008 000 008D 0000. - Shea Farrar, Pricipal Planner

Chairman Henz introduced the item and declared the Public Hearing open. Shea Farrar, Principal Planner, introduced the request for the Public Project Review for a new park facility on Town-owned property located at 23 Marshland Road, identified as Beaufort County Tax Map Parcel R510 008 000 008D 0000. Scott Harris, Senior Project Manager, responded to questions from the Commission. The Public Hearing was then closed. With no further discussion, Commissioner Hewitt made a motion to approve. Commissioner Siebold seconded. The motion passed unanimously.

## **7. Public Comment - Non Agenda Items**

## **8. Commission Business**

## **9. Chairman's Report**

## **10. Staff Reports**

- a. DPR-001043-2024** – Axis Engineering Consultants is proposing the development of an Aldi grocery store at Sea Turtle Marketplace. The subject property is located at 80 Mathews Drive and is identified as Beaufort County Tax Map Parcel R511 008 000 0156 0000. - Michael Connolly, Senior Planner

Michael Connolly, Senior Planner, presented the proposed development of an Aldi grocery store at Sea Turtle Marketplace.

- b. DPR-000104-2025** - Casey Warfield of Kimley-Horn and Associates is proposing the redevelopment of 70 Pope Ave for a grocery store. The subject properties are identified as Beaufort County Tax Map Parcels R553 018 000 0268 0000 and R553 018 000 0269 0000. - Michael Connolly, Senior Planner

Mr. Connolly presented the proposed redevelopment of a new grocery store, which will be located at 70 Pope Ave.

- c. DPR-000518-2025** - James Atkins, of Court Atkins Group, is proposing the redevelopment of 2 Tanglewood Drive for multifamily use. The subject property is identified as Beaufort County Tax Map Parcel R553 018 000 0330 0000. - Brian Eber, Principal Planner

Brian Eber, Principal Planner, presented the proposed redevelopment of the existing building at 2 Tanglewood Drive into a three-story hotel with an underground parking garage. The project is under review by the Town. The agenda had listed the use as multifamily; however, the applicants revised the use to hotel after publication. The Commissioners were informed, and the updated information was submitted for the record.

## **11. Adjournment**

This meeting adjourned at 2:57pm.

The full recording and a transcript of this meeting can be found on the Town's website at [www.hiltonheadislandsc.gov](http://www.hiltonheadislandsc.gov)



# TOWN OF HILTON HEAD ISLAND

## *Planning Commission*

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**TO:** Planning Commission  
**FROM:** Michelle Mealer, Community Planning Manager  
**VIA:** Zac Gordon, AICP, Planning Director  
**CC:** Shawn Leininger, AICP, Deputy Town Manager  
Marc Orlando, Town Manager, ICMA-CM  
**DATE:** November 19, 2025  
**SUBJECT:** Consideration of an Ordinance of the Town of Hilton Head Island to Amend Title 16 of the Municipal Code, the Land Management Ordinance (LMO), to Amend Sections 16-3-105.H, 16-4-102.A.6, 16-4-102.B.1, and 16-4-105 to allow the construction of workforce housing within the Medical (MED) District, and to Provide for Severability and an Effective Date.

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### **RECOMMENDATION:**

Planning Commission is requested to review and consider an Ordinance to Amend Title 16 of the Municipal Code, the LMO, to Amend Sections 16-3-105.H, 16-4-102.A.6, 16-4-102.B.1, and 16-4-105 to allow the construction of workforce housing within the MED District, and to Provide for Severability and an Effective Date.

### **BACKGROUND:**

A partnership between Abode Development, Novant Health, and the Coastal Community Development Corporation (CCDC) is proposing to construct workforce housing on previously developed land adjacent to Hilton Head Medical Center. The housing would serve healthcare staff, first responders, and other essential workers on Hilton Head Island.

The site consists of three parcels totaling 12.6 acres along Bethea Drive, owned by Hilton Head Medical Center LLC. The property includes approximately 24,000 square feet of vacant office space, which previously housed outpatient rehabilitation services. As shown in Attachment 2, the buildings are in poor condition.

As shown in Attachment 1, the properties are zoned MED District. The 12.6-acre site is also located within a Planned Development Overlay District (PD-2) as part of the Palmetto Headlands and Hilton Head Hospital Master Plan. While the MED District allows workforce housing through the conversion of existing commercial buildings, the PD-2 Master Plan does not currently permit residential use on these parcels. Therefore, to allow the construction of new workforce housing, the text of the MED District and the PD-2 Master Plan must be amended.

On July 16, 2025, Abode Development requested that the Planning Commission consider amending the text of the MED District to allow for the redevelopment of the site with workforce housing at a proposed density of 10 units per acre. Pursuant to LMO Section 16-2-103.B.2.a., the Planning Commission voted unanimously to initiate the text amendment process.

Abode Development is also proposing a corresponding PD-2 Master Plan Amendment. The subject parcels are located within the Palmetto Headlands and Hilton Head Hospital Master Plan, and identified as G-1, G-2, and E, which do not currently permit residential uses. G-1 and G-2 are approved for medical-related uses, while E is designated as a wetland and will remain a wetland. Abode Development has submitted a concurrent Zoning Map Amendment application to permit workforce housing on G-1 and G-2.

This amendment and the associated rezoning were first presented to the Planning Commission on August 20, 2025. The applicant requested to postpone the rezoning to allow for additional updates to the application materials. Recognizing the delay in the public hearing and in consultation with the Town Attorney, both the text amendment and rezoning public notices have been reissued in accordance with LMO requirements for a new public hearing to be held at the November 19, 2025 Planning Commission meeting.

#### **SUMMARY OF AMENDMENT:**

The proposed amendment would allow the construction of new workforce housing in the MED District that is not limited to the conversion of existing commercial buildings, establish a maximum density of 10 units per acre, restrict such development to specific properties identified in a PD-2 Master Plan adopted by Town Council, and require that at least 30% of the units comply with the Town's Workforce Housing Program, including income eligibility, employment on Hilton Head Island, long-term affordability, and the prohibition of short-term rentals.

#### **ANALYSIS:**

##### Proposed Amendments

The proposed amendment would:

1. Amend the MED District to permit workforce housing outside of commercial conversion, provided the development is consistent with the PD-2 Master Plan adopted by Town Council.
2. Amend the Workforce Housing Program in the MED District to require that at least 30% of the units meet the workforce housing program standards, including income limits not exceeding 80% of the area median income, at least one household member working on Hilton Head Island, prohibition of short-term rentals, and a minimum 30-year affordability term.

## PD-2 Overlay Considerations

All properties zoned MED District also have a PD-2 Overlay. If these text amendments are adopted, any new multifamily workforce housing proposal would require a PD-2 Master Plan amendment. This process is completed through a Zoning Map Amendment application, requiring review by the Planning Commission and final approval by Town Council.

## Nonconformities

The amendments would apply only to new development and not create nonconformities.

## Text Amendment Review Standards

LMO Section 16-2-103.B.3 establishes standards for evaluating proposed text amendments. In determining whether to recommend that Town Council adopt or deny a proposed amendment, the Planning Commission may consider the relevance of, and the extent to which, the amendment:

1. Is in accordance with the Comprehensive Plan.
2. Is required by changed conditions.
3. Addresses a demonstrated community need.
4. Is consistent with the purpose and intent of the zoning districts, or would improve compatibility among uses and ensure efficient development within the Town.
5. Would result in a logical and orderly development pattern.
6. Would not result in significantly adverse impacts on the natural environment, including but not limited to water, air, noise, stormwater management, wildlife, vegetation, wetlands, and the natural functioning of the environment.

The proposed text amendments align with the review criteria, as they:

1. Support the economic growth and housing goals of the Comprehensive Plan.
2. Respond to changing conditions by aligning development requirements with strategic objectives.
3. Address a demonstrated community need for workforce housing.
4. Uphold the intent of zoning regulations by allowing reasonable, limited increases in residential density when consistent with Town goals.
5. Ensure workforce housing development in the MED District is in appropriate and compatible locations.

## **PLANNING COMMISSION ACTION:**

LMO Sec.16-2-103-B.2.d states that the Planning Commission's recommendation shall be based on the standards in Section 16-2-103.B.3, Text Amendment Review Standards. The Planning Commission has the following options when considering a text amendment:

1. Recommend approval to Town Council.

2. Recommend denial to Town Council.
3. Recommend approval with conditions to Town Council.

**CONCLUSION:**

Planning Commission is requested to review and consider an Ordinance to Amend Title 16 of the Municipal Code, the LMO, to Amend Sections 16-3-105.H, 16-4-102.A.6, 16-4-102.B.1, and 16-4-105 to allow the construction of workforce housing within the MED District, and to Provide for Severability and an Effective Date.

**ATTACHMENTS:**

1. Base Zoning Map
2. Ordinance
3. Text Amendment

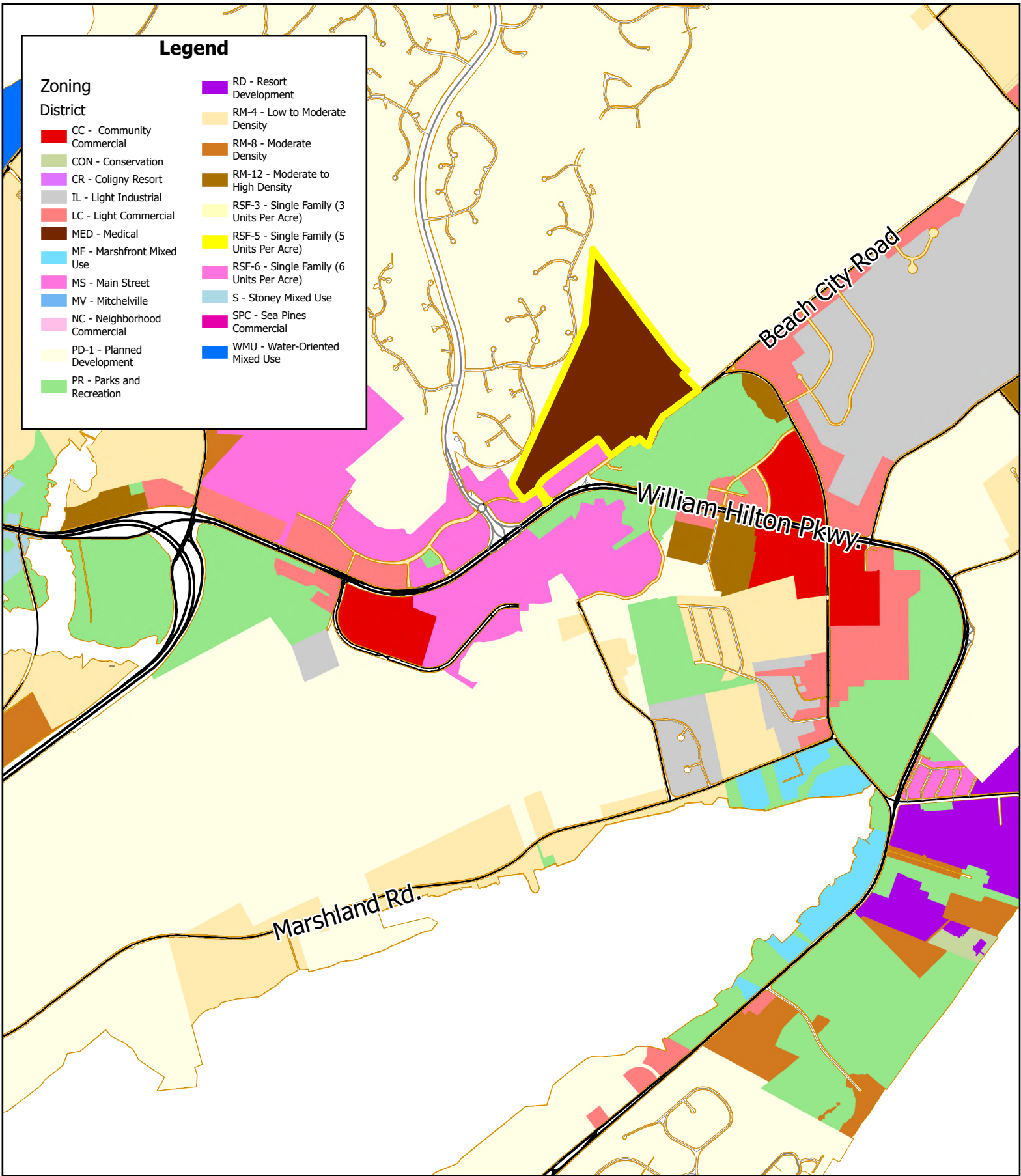
**Legend**

**Zoning**

**District**

- CC - Community Commercial
- CON - Conservation
- CR - Coligny Resort
- IL - Light Industrial
- LC - Light Commercial
- MED - Medical
- MF - Marshfront Mixed Use
- MS - Main Street
- MV - Mitchelville
- NC - Neighborhood Commercial
- PD-1 - Planned Development
- PR - Parks and Recreation

- RD - Resort Development
- RM-4 - Low to Moderate Density
- RM-8 - Moderate Density
- RM-12 - Moderate to High Density
- RSF-3 - Single Family (3 Units Per Acre)
- RSF-5 - Single Family (5 Units Per Acre)
- RSF-6 - Single Family (6 Units Per Acre)
- S - Stoney Mixed Use
- SPC - Sea Pines Commercial
- WMU - Water-Oriented Mixed Use



**Zoning Map - MED District**  
 Subject District  
 November, 2025

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**AN ORDINANCE OF THE TOWN OF HILTON HEAD ISLAND,  
SOUTH CAROLINA**

**ORDINANCE NO.: 2025-\_\_\_\_\_**

**AN ORDINANCE OF THE TOWN OF HILTON HEAD ISLAND TO AMEND  
TITLE 16 OF THE MUNICIPAL CODE, THE LAND MANAGEMENT  
ORDINANCE SECTIONS 16-3-105.H, 16-4-102.A.6, 16-4-105, 16-4-102.B.1 TO  
ALLOW RESIDENTIAL WORKFORCE HOUSING WITHIN THE MEDICAL  
(MED) DISTRICT AND TO PROVIDE FOR SEVERABILITY AND EFFICTIVE  
DATE.**

**BE IT ORDERED AND ORDAINED BY THE TOWN COUNCIL FOR THE TOWN OF  
HILTON HEAD ISLAND, SOUTH CAROLINA, AND IT IS HEREBY ORDERED AND  
ORDAINED UNDER THE AUTHORITY OF THE TOWN COUNCIL AS  
FOLLOWS:**

**Section 1. Findings and Determinations:**

1. The Town Council for the Town of Hilton Head Island, South Carolina (herein, the “Town Council”), has identified a continued need for the adoption of Amendments to the Land Management Ordinance to address needs and issues in the Town as such are identified.
2. The Town Council finds that there is a shortage of suitable housing in the Town that is affordable for individuals employed in the medical field as nurses, laboratory technicians, office staff, physician’s assistants, maintenance and facilities staff, first responders and other similar positions (herein “Workforce Housing”).
3. The Town Council finds that property is available in the vicinity of Hilton Head Hospital for the development of Workforce Housing provided that certain conditions are met, including a condition that the property is a Commercial Conversion including Workforce Housing, or the property is within a PD-2 Overlay that allows Workforce Housing under Section 16-4-105.
4. The Town Council finds that an amendment to the Land Management Ordinance for the purpose of allowing Residential, Multifamily and Workforce Housing as Conditional Uses in the MED District, and providing a Workforce Housing Density for parcels in a PD-2 Overlay in the MED District, will aid in meeting the need for Workforce Housing in the Town.
5. On \_\_\_\_\_ 2025, the Planning Commission held a Public Hearing to consider the proposed amendments to permit Workforce Housing as a conditional use in the Medical (MED) District in qualifying locations and provide for a Workforce Housing density, a copy of which is attached hereto as Exhibit “A” (herein, the “Proposed Amendments”).
6. At the Planning Commission’s \_\_\_\_\_, 2025, Public Hearing, the public had an opportunity to comment on the Proposed Amendments, and the Planning Commission voted

\_\_\_\_\_ to recommend that Town Council \_\_\_\_\_ the Proposed Amendments.

6. On \_\_\_\_\_ 2025, the Community Services & Public Safety Committee considered the Proposed Amendments and heard presentations from Town Staff and comments from the public. The Community Services and Public Safety Committee then voted \_\_\_\_\_ to recommend that Town Council \_\_\_\_\_ the Proposed Amendments.

7. The Town Council finds it is in the best interest of the Town and the health, safety, and welfare of its citizens, residents, and visitors to amend the Land Management Ordinance by amending the Land Management Ordinance to include the Proposed Amendments.

**WHEREAS**, the Town Council finds it is in the best interest of the Town and the health, safety, and welfare of its citizens, residents, and visitors to amend the Land Management Ordinance by amending these provisions.

**Section 2. Amendment** That the Land Management Ordinance is amended as shown on Exhibit “A” to this Ordinance. Newly added language is illustrated with double underline, and deleted language is illustrated with a ~~striketrough~~.

**Section 3. Severability** If any section, phrase, sentence, or portion of this Ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed a separate, distinct, and independent provision, and such holding shall not affect the validity of the remaining portions thereof.

**Section 4. Effective Date** This Ordinance shall be effective upon its adoption by the Town Council of the Town of Hilton Head Island, South Carolina.

**PASSED, APPROVED, AND ADOPTED BY THE COUNCIL FOR THE TOWN OF HILTON HEAD ISLAND ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2025.**

THE TOWN OF HILTON HEAD ISLAND, SOUTH CAROLINA

\_\_\_\_\_  
Alan R. Perry, Mayor

ATTEST:

\_\_\_\_\_  
Kimberly Gammon, Town Clerk

First Reading:

Second Reading:

APPROVED AS TO FORM:

\_\_\_\_\_  
Curtis L. Coltrane, Town Attorney

Introduced by Council Member: \_\_\_\_\_

**Sec.16-3-105. Mixed-Use and Business Districts**

**H. Medical (MED) District**

<h1 style="margin: 0;">MED</h1> <h2 style="margin: 0;">Medical District</h2>				
1. Purpose				
The purpose of the Medical (MED) District is to provide <i>lands</i> for <i>development</i> directly related to the provision of medical services—including <i>hospitals</i> , medical clinics and doctors' offices, <i>nursing homes</i> , and other health services.				
2. Allowable Principal Uses				
USE CLASSIFICATION/TYPE		USE-SPECIFIC CONDITIONS	MINIMUM NUMBER OF OFF-STREET PARKING SPACES	
Residential Uses				
<i>Group Living</i>	P		1 per 3 rooms	
<i>Mixed-Use<sup>22</sup> Use<sup>12</sup></i>	PC	Sec. 16-4-102.B.1.a	Residential	1.125 per du
			Nonresidential	1 per 650 GFA
<i>Multifamily<sup>2</sup> Multifamily<sup>12</sup></i>	PC	Sec. 16-4-102.B.1.b	1 bedroom	1.4 per du
			2 bedrooms	1.7 per du
			3 or more bedrooms	2.0 per du
<i>Workforce Housing<sup>12</sup></i>	PC	Sec. 16-4-102.B.1.d	See Sec. 16-5-107.D.2	
Public, Civic, Institutional, and Educational Uses				
<i>Community Service Uses</i>	P		1 per 400 GFA	
<i>Education Uses</i>	P		Colleges and High Schools	10 per classroom
			Elementary and Junior High Schools	4 per classroom
			Other <i>Education Uses</i>	See Sec. 16-5-107.D.2
<i>Government Uses</i>	P		Fire Stations	4 per bay + 1 per 200 GFA of office area
			Other	1 per 200 GFA of office area
<i>Major Utilities</i>	SE		1 per 1,500 GFA	
<i>Minor Utilities</i>	P		n/a	
<i>Public Parks</i>	P		See Sec. 16-5-107.D.2	
<i>Religious Institutions</i>	P		1 per 3 seats in main assembly area	
Telecommunication Antenna, Collocated or Building Mounted	PC	Sec. 16-4-102.B.2.e	n/a	
<i>Telecommunication Towers, Monopole</i>	PC	Sec. 16-4-102.B.2.e	1	
Health Services				
<i>Hospitals</i>	P		2 per bed + 1 per 200 GFA of office area	
<i>Nursing Homes</i>	P		1 per 3 beds	

<b>Other Health Services</b>	P		1 per 225 GFA
<b>Office Uses</b>			
<b>Other Office Uses</b>	P		1 per 350 GFA
<b>Commercial Services</b>			
<b>Other Commercial Services</b>	P		See Sec. 16-5-107.D.2
<b>3. Development Form Standards</b>			
<b>MAX. DENSITY (PERNET ACRE)</b>			<b>LOT COVERAGE</b>
Residential <sup>1</sup>	<u>10 du</u>		
Nonresidential	10,000 GFA		Max. <b>Impervious Cover</b> 60%
<b>MAX. BUILDING HEIGHT</b>			
All <b>Development</b>	45 ft		
<b>USE AND OTHER DEVELOPMENT STANDARDS</b>			
See Chapter 16-4: Use Standards, Chapter 16-5: Development and Design Standards, and Chapter 16-6: Natural Resource Protection.			
<b>TABLE NOTES:</b>			
P = Permitted by Right; PC = Permitted Subject to Use-Specific Conditions; SE = Allowed as a Special Exception; du = <b>dwelling units</b> ; sf = square feet; GFA = <b>gross floor area</b> in square feet; ft = feet; n/a = not applicable			
1. For development that converts nonresidential square footage to residential use refer to Sec. 16-10-102.B.1.			
2. The minimum number of off-street parking spaces for mixed-use or multifamily development that contains workforce housing shall be calculated based on Section 16-5-107.D.2.			

(Revised 4-18-2017 - Ordinance 2017-05; revised 11-4-2020 - Ordinance 2020-26; revised 3-7-2023 - Ordinance 2023-04)

## Chapter 16-4: Use Standards

### Sec.16-4-102. Principal Uses

#### A. Principal Use Table

#### 6. Principal Use Table

TABLE 16-4-102.A.6: PRINCIPAL USE TABLE																						
P = Permitted by Right    PC = Permitted Subject to Use-Specific Conditions																						
SE = Allowed as a Special Exception    Blank Cell = Prohibited																						
USE CLASSIFICATION/ USE TYPE	SPECIAL DISTRICTS		RESIDENTIAL DISTRICTS					MIXED-USE AND BUSINESS DISTRICTS												USE-SPECIFIC CONDITIONS		
	CON	PR	RSF-3	RSF-5	RSF-6	RM-4	RM-8	RM-12	CR	SPC	CC	MS	WMU	S	MF	MV	NC	LC	RD		MED	IL
<b>RESIDENTIAL USES</b>																						
<i>Family Compound</i>						P C	P C	P C				P C	P C	P C	P C	P C	P C	P C	P C			Sec. 16-4-102.B .1.e
<i>Family Subdivision</i>						P C	P C	P C				P C	P C	P C	P C	P C	P C	P C	P C			Sec. 16-4-102.B .1.f
<i>Group Living</i>						P	P	P				P						P		P		
<i>Mixed-Use</i>									P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C		Sec. 16-4-102.B .1.a
<i>Multifamily</i>						P	P	P	P C	P C	P C	P	P	P	P	P	P	P	P	P C		Sec. 16-4-102.B .1.b



<b>Minor Utilities</b>		P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
<b>Public Parks</b>		P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
<b>Religious Institutions</b>		P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
<b>Telecommunication Antenna, Collocated or Building Mounted</b>		P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	Sec. 16-4- 102.B .2.e
Telecommunication Towers, Monopole		P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	P C	Sec. 16-4- 102.B .2.e
<b>HEALTH SERVICES</b>																						
<b>Hospitals</b>																					P	
<b>Nursing Homes</b>																					P	
<b>Other Health Services</b>										P	P	P					P	P		P		
<b>RESORT ACCOMMODATIONS</b>																						
<b>Bed and Breakfasts</b>						P C				P C				P C	P C	P C	P C	P C			P C	Sec. 16-4- 102.B .4.a
<b>Hotels</b>									P C				P	P	P C		P		P	P		Sec. 16-4- 102.B .4.b
<b>Interval Occupancy</b>									P					P			P			P		
<b>COMMERCIAL RECREATION USES</b>																						







USE CLASSIFICATION/ USE TYPE	SPECIAL DISTRICTS		RESIDENTIAL DISTRICTS						MIXED-USE AND BUSINESS DISTRICTS											USE-SPECIFIC CONDITIONS			
	CON	PR	RSF-3	RSF-5	RSF-6	RM-4	RM-8	RM-12	CR	SPC	CC	MS	WMU	S	MF	MV	NC	LC	RD		MED	IL	
<b>Watercraft Sales, Rentals, or Services</b>													P C	P		P C		P C				P	Sec. 16-4-102.B.8.e
<b>INDUSTRIAL USES</b>																							
<b>Grinding</b>																						S E	Sec. 16-4-102.B.9.a
<b>Light Industrial, Manufacturing, and Warehouse Uses</b>																	P C					P	Sec. 16-4-102.B.9.a
<b>Seafood Processing Facilities</b>													P C	P C		P C							Sec. 16-4-102.B.9.b
<b>Self-Service Storage</b>									P C									P C				P C	Sec. 16-4-102.B.9.c
<b>Waste-Related Services Other than Waste Treatment</b>																						P	

<b>ent Plants</b>																				
<b>Waste Treatment Plants</b>																			SE	
<b>Wholesale Sales</b>																			P	P
<b>OTHER USES</b>																				
<b>Agriculture Uses</b>		P	P	P	P	P	P	P						P	P	P	P	P	P	
<b>Boat Ramps, Docking Facilities, and Marinas</b>	P C	P	P C	P C		P C	P C							P						Sec. 16-4- 102.B. 10.a

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## Sec.16-4-102. Principal Uses

### B. Use-Specific Conditions for Principal Uses

#### 1. Residential Uses

##### a. Mixed-Use

- i. **Mixed-use development** shall designate separate parking spaces for **use** by the residential units. The parking spaces designated for residential **use** shall not be included as part of a **shared parking** plan.
- ii. In the CR District, there shall be no **dwelling units** located on the first floor of any **mixed-use development** unless there are **commercial services uses** located between the street and the proposed **dwelling units**.
- iii. The density for the redevelopment/conversion of an existing nonresidential structure to mixed-use shall be based on the existing gross floor area and minimum unit sizes as described in Sec. 16-10-102.B.1.
- iv. **Mixed-use development** in the MED District shall only be permitted either as part of a commercial conversion that includes WFH per Section 16-10-102.B.1 or as part of PD-2 District Overlay that includes WFH per Section 16-4-105.
- v. Mixed-use development that includes workforce housing shall comply with the Workforce Housing Program as outlined in Sec. 16-4-105.

*(Revised 5-17-2016 - Ordinance 2016-07; revised 11-4-2020 - Ordinance 2020-26)*

##### b. Multifamily

- i. In the CR District, there shall be no **dwelling units** located on the first floor of any **multifamily development** unless there are **commercial services** uses located between the street and the proposed **dwelling units**.
- ii. Multifamily use in the CC ~~and MED~~ Districts shall only be permitted as part of a commercial conversion that includes WFH per Sec. 16-10-102.B.1.
- iii. Multifamily use in the MED Districts shall only be permitted either as part of a commercial conversion that includes WFH per Section 16-10-102.B.1 or as part of PD-2 District Overlay that includes WFH per Section 16-4-105.
- iiii. Multifamily development that includes workforce housing shall comply with the Workforce Housing Program as outlined in Sec. 16-4-105.

*(Revised 5-17-2016 - Ordinance 2016-07; revised 11-4-2020 - Ordinance 2020-26)*

##### d. Workforce Housing

- i. Any development that includes workforce housing shall comply with the Workforce Housing Program as outlined in Sec. 16-4-105.
- ii. Workforce housing may be permitted in the PD-1 District through a Zoning Map Amendment in accordance with Sec. 16-2-103.C.
- iii. In the MS District, properties developed for WFH shall not be permitted on properties currently utilized as a school or fire station.

- 
- iv. In the S District, properties developed for WFH shall not have vehicular access to U.S. Route 278 (William Hilton Parkway).
  - v. In the WMU District, properties developed for WFH shall not have vehicular access to Marshland Road.
  - vi. In the LC District, properties developed for WFH shall not have vehicular access to U.S. Route 278 (William Hilton Parkway) between Wexford Drive and Singleton Beach Road.
  - vii. In the RM-4 District, properties developed for Group Living use are not be eligible to participate in the WFH Program.
  - viii. In the RM-4 District, existing mobile home parks, located on property that is a minimum of 3 acres, shall be eligible to participate in the WFH Program.
  - ix. Except for paragraph viii above, workforce housing use in the RM-4 District shall comply with the following conditions:
    - a. The property shall be a single parcel that is a minimum of 3 acres.
    - b. The property shall not have frontage on Jarvis Creek, Broad Creek, or Old House Creek.
    - c. The site of the WFH use shall not be located within 750 linear feet of the Hilton Head Island Airport property. This distance shall be measured as the length of an imaginary straight line between the two closest points of the perimeter boundary of the property on which any WFH use is located, and the perimeter boundary of the Hilton Head Island Airport.
    - d. The site of the WFH use shall be located within 3,500 linear feet of a minor arterial in accordance with Sec. 16-5-105.B, Street Hierarchy. This distance shall be measured from the centerline of the closest vehicular access on the property where the WFH is located, and shall be measured along the centerline of the travel lane of the street providing the shortest route to the minor arterial.
    - e. Lots within an existing legally platted and developed single family subdivision, including open space are not eligible to participate in the WFH Program.
    - f. Properties developed with a non-single family residential use that is permanent in nature are not eligible to participate in the WFH Program.
  - x. Workforce housing use in the RM-12 District shall comply with the following conditions:
    - a. The property shall be a minimum of 5 acres.
    - b. The property shall be located on a major arterial in accordance with Sec. 16-5-105.B Street Hierarchy.
  - xi. In the MED District, properties developed for WFH shall only be permitted either as part of a commercial conversion that includes WFH per Section 16-10-102.B.1 or as part of a PD-2 District Overlay that includes WFH per 16-4-105.

*(Revised 11-4-2020 - Ordinance 2020-26; revised 2-16-2021 - Ordinance 2021-02)*

## **Sec. 16-4-105. Workforce Housing (WFH) Program**

### **A. Workforce Housing Density All Units:**

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(Supp. No. 9)

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1. Commercial conversion projects that include at least 20% workforce housing units will be eligible for incentives as described in Sec. 16-10-102B.1, including:
    - a. A reduction in minimum unit sizes by 30% and;
    - b. Up to 50% of the units in the development may be micro-efficiency and/or studio units.
  2. In the RM-4 District:
    - a. A density bonus up to 100% above the base residential density standards is permitted if 50% of all units within the development are workforce housing units.
    - b. A density bonus up to 50% above the base residential density standards is permitted if 25% of all units within the development are workforce housing units.
    - c. The maximum density permitted in any workforce housing development is 12 units per acre.
  3. In the RM-12 District: If at least 50% of all units within the development are workforce housing units, the following is permitted:
    - a. A density bonus up to 25% above the base residential density standards.
    - b. A maximum impervious coverage of 45%.
  4. In the MED District, if WFH development is not part of a commercial conversion, then the maximum density in any workforce housing development is 10 units per net acre, if at least 30% of all units within the development are workforce housing units.



**TOWN OF HILTON HEAD ISLAND  
COMMUNITY DEVELOPMENT DEPARTMENT**

One Town Center Court

Hilton Head Island, SC 29928

843-341-4757

FAX 843-842-8908

**STAFF REPORT  
ZONING MAP AMENDMENT**

Case #	Name of Project	Public Hearing Date
ZA-001007-2025	Nightingale Commons Workforce Zoning Map Amendment	November 19, 2025

Parcel Data	Property Owner	Applicant
<u>Parcel Numbers:</u> 1. R510 008 000 337A 0000 2. R510 008 000 0337 0000 3. R510 008 000 0452 0000  <u>Size:</u> 12.66 acres  <u>Address:</u> 18 Bethea Drive and 30 Lamotte Drive	Hilton Head Medical Center	Brian Quinn, of Abode Development, 14 New Orleans Road, Suite 14, Hilton Head Island, SC, 29928

Existing Zoning	Proposed Zoning
<p><u>Overlay District:</u> Planned Development Overlay (PD-2) District (Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan)</p> <p><u>Allowable Uses in PD-2:</u> Medical-related uses, including hospital, nursing home, medical office, outpatient clinic, and accessory institutional support uses.</p> <p><u>Zoning District:</u> All parcels are in the Medical (MED) District.</p> <p><u>Allowable Uses:</u> Group Living, Mixed-Use, Multifamily, Workforce Housing, Community Service Uses, Education Uses, Government Uses, Major Utilities, Minor Utilities, Public Parks, Religious Institutions, Telecommunication Antenna, Collocated or Building Mounted, Telecommunication Towers, Monopole, Hospitals, Nursing Homes, Other Health Services, Other Office Uses, Other Commercial Services</p>	<p><u>Overlay District:</u> Planned Development Overlay (PD-2) District (Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan)</p> <p><u>Proposed Allowable Uses in PD-2:</u> Medical-related uses, including hospital, nursing home, medical office, outpatient clinic, and accessory institutional support uses; residential including Multifamily, and Workforce Housing.</p> <p><u>Zoning District:</u> All parcels are in the Medical (MED) District.</p> <p><u>Allowable Uses:</u> Group Living, Mixed-Use, Multifamily, Workforce Housing, Community Service Uses, Education Uses, Government Uses, Major Utilities, Minor Utilities, Public Parks, Religious Institutions, Telecommunication Antenna, Collocated or Building Mounted, Telecommunication Towers, Monopole, Hospitals, Nursing Homes, Other Health Services, Other Office Uses, Other Commercial Services</p>

Application Summary:
<p>The applicant, Abode Development, in partnership with Novant Health and the Coastal Community Development Corporation (CCDC), has submitted a request to amend the Palmetto Headlands / Hilton Head Hospital PD-2 Master Plan to modify the allowable uses on approximately 12.66 acres located along Bethea Drive (Parcels R510 008 000 0337, R510 008 000 337A, and R510 008 000 0452), (see Attachment B, Location Map). The proposed amendment would allow Multifamily and Workforce Housing uses in addition to the existing medical-related uses currently permitted by the PD-2 Master Plan.</p> <p>The proposed development, Nightingale Commons, consists of 114 mixed-income dwelling units in twelve (12) two-story townhome buildings on approximately 12.66 acres adjacent to Hilton Head Hospital. The unit mix includes 38 one-bedroom, 66 two-bedroom, and 10 three-bedroom units for a total of 114 residential dwelling units. The development will also include a community pavilion with a pool and wellness amenities.</p> <p>The applicant proposes a mixed-income housing program designed to serve a broad range of the Island's workforce, where 30% of the total units will be reserved for households earning at or below 80% of the Area Median Income (AMI), while the remaining 70% will serve households between 80% and 150% AMI. Affordability will be preserved through long-term deed restrictions administered in accordance with LMO Section 16-4-105, per the applicant.</p> <p>This request is driven by the Town's documented need for Workforce Housing and the desire to reuse underutilized parcels. By amending the PD-2 Master Plan to allow medical or residential uses, the applicant seeks to provide housing that supports the Island's healthcare workforce and broader</p>

employment base while retaining the flexibility for future medical development on the site.

As a concurrent effort, the Town, through the Planning Commission by request of the applicant, is pursuing a related Land Management Ordinance (LMO) amendment to allow Workforce Housing as a permitted residential use within the Medical (MED) Zoning District. The amendment would establish qualification standards and development conditions specific to Workforce Housing in the MED District. In consideration of this proposed change, the applicant has submitted a Zoning Map Amendment to modify the Palmetto Headlands/Hilton Head Hospital PD2 Master Plan to allow medical or residential uses on the subject parcels. Approval of the Zoning Map Amendment is contingent upon the adoption of the LMO text amendment to permit Workforce Housing within the MED base district.

**Staff Recommendation:**

Staff recommends that the Planning Commission review this application and forward a recommendation to Town Council, based on those Findings of Facts as determined by the LMO Official and enclosed herein.

Should the Planning Commission recommend approval to Town Council, Staff recommends the following condition that: “All stormwater generated on-site shall be retained and managed within the project limits; no discharge shall be directed toward Hilton Head Plantation; and any existing drainage issues along the common property line with Hilton Head Plantation will be resolved to the greatest extent possible” be included.

**Background:**

The subject property is part of the Palmetto Headlands and Hilton Head Hospital PD-2 Master Plan (CUR388), which was approved in 1988 as a Planned Development Overlay District encompassing approximately 94 acres (see Attachment C, PD2 Master Plan – CUR 3-88). As part of that approval, the parcels identified as R510-008-000-0337, R510-008-000-337A, and R510-008-000-0452 were designated to support hospital, nursing home, and related medical office development as part of a coordinated healthcare campus.

In the years following approval, the site was developed with medical-related structures, several of which are now vacant and deteriorated. The applicant proposes demolishing the existing buildings and redeveloping the site in accordance with the amended Master Plan. The parcels are accessed via Bethea Drive and Lamotte Drive and are served by existing water, sewer, and stormwater systems constructed for the original campus, consistent with the PD-2 Master Plan.

The Palmetto Headlands Commercial Planning File highlights that the PD-2 Overlay was intentionally structured to allow long-term flexibility, including the ability to adapt land uses as community needs changed over time.

Today, the subject parcels are located near Hilton Head Hospital, nursing and rehabilitation facilities, and Hilton Head Plantation within the PD-2 Overlay (see Attachment D, Current Use Map). The proposed amendment would revise the PD-2 Master Plan to allow residential uses (Multifamily and Workforce Housing) on Parcels 337, 337A, and 452 in place of the current medical-only restriction to enable the development of Nightingale Commons, a 114-unit mixed-income community (see Attachment A, Application Materials). The requested change retains the parcels’ medical use potential while introducing residential use to address the Town’s documented Workforce Housing shortage.

The request directly advances multiple adopted Town policies. The Workforce Housing Strategic Plan (2019) calls for the production of 200 new housing units per year. It prioritizes locating Workforce Housing near major employment centers such as Hilton Head Hospital. The Housing Impact Analysis (2023) documents that over 14,000 workers commute to the Island daily and that more than 40% of Island households are cost-burdened, with healthcare workers identified among the most impacted employment sectors. This amendment also aligns with Our Plan 2020–2040 Core Values for Economy, Inclusive Community, and Infrastructure, and implements the Town’s Finding Home Framework adopted by Town Council in 2022. Approval of this request would represent a step in addressing the Island’s Workforce Housing crisis while utilizing underperforming parcels within the hospital district, consistent with the PD-2 Overlay’s intent.

The changes that would occur as a result of this amendment include the following:

- Current PD-2 Allowable Uses:
  - Medical-related uses, including hospital, nursing home, medical office, outpatient clinic, and accessory institutional support uses.
  
- Proposed PD-2 Allowable Uses:
  - Medical-related uses, including hospital, nursing home, medical office, outpatient clinic, and accessory institutional support uses.
  - Residential uses, including Multifamily and Workforce Housing.

All subject parcels are located in the Medical (MED) District.

- MED District Allowable Uses:
  - Group Living; Mixed-Use; \*Multifamily; \*Workforce Housing; Community Service Uses; Education Uses; Government Uses; Major Utilities; Minor Utilities; Public Parks; Religious Institutions; Telecommunication Antenna (Collocated or Building Mounted); Telecommunication Towers (Monopole); Hospitals; Nursing Homes; Other Health Services; Other Office Uses; Other Commercial Services.

*\*Sec. 16-4-102.B.1.b, “Multifamily use in the CC and MED Districts shall only be permitted as part of a commercial conversion that includes WFH per Sec. 16-10-102.B.1.”*

Uses adjacent to the sites are:

- North: Hilton Head Hospital and outpatient facilities – MED and PD-2 Overlay
- East: Nursing and other health services – MED and PD-2 Overlay
- South: Nursing and other health services – MED, PD-2 Overlay and Corridor Overlay
- West: Hilton Head Plantation – Planned Development Mixed-Use District (PD-1), residential

The Town’s LMO defines Workforce Housing as “Housing that is affordable at 60—100% of the Area Median Income (AMI) for Beaufort County.”

The applicant proposes a mixed-income housing program where 30% of the total (114) units will be reserved for households earning at or below 80% of the Area Median Income (AMI), while the remaining 70% will serve households between 80% and 150% AMI.

**Applicant’s Grounds for ZMA:**

The project focuses on providing sustainable, workforce housing options for essential workers, including healthcare professionals employed at Hilton Head Hospital, in direct alignment with the Town’s Finding Home: Workforce Housing Framework (2022) and the Workforce Housing Strategic Plan (2019).

The applicant is requesting approval to amend the PD2 Master Plan to allow residential uses (Workforce Housing and Multifamily) in addition to the current medical uses designation. This change, combined with the concurrent LMO text amendment to permit new construction of Multifamily Workforce Housing within the Medical (MED) District, provided such development is consistent with an adopted PD-2 Master Plan and meets Workforce Housing Program standards. The Town’s LMO defines Workforce Housing as “Housing that is affordable at 60—100% of the Area Median Income (AMI) for Beaufort County.”

The applicant asserts that the proposed PD-2 Master Plan amendment preserves the long-term medical potential of the parcels while expanding allowable uses to include residential development that meets current community housing needs. By establishing flexibility within the PD-2 framework, the amendment seeks to allow coordinated medical and residential use of the property.

Approval of this Zoning Map Amendment (ZA-001007-2025) is contingent upon adoption of the concurrent LMO Text Amendment authorizing the construction of new Workforce Housing in the MED District.

**Summary of Facts and Conclusions:**

**Findings of Fact:**

- The application was submitted on October 17, 2025, as set forth in LMO Section 16-2-103.C and Appendix D-1.
- Per LMO Section 16-2-102.E.1, when an application is subject to a hearing, the LMO Official shall ensure that the hearing on the application is scheduled for a regularly scheduled meeting of the body conducting the hearing.
- The LMO Official scheduled the public hearing on the application for the November 19, 2025, Planning Commission meeting, which is a regularly scheduled meeting of the Planning Commission.
- Per LMO Section 16-2-102.E.2, the LMO Official shall publish a notice of the public hearing in a newspaper of general circulation in the Town no less than 15 calendar days before the hearing date.
- Notice of the Nov. 19, 2025, public hearing was published in the Island Packet on Oct. 26, 2025.
- Per LMO Section 16-2-102.E.2, the applicant shall mail a notice of the public hearing by first-class mail to the owners of the land subject to the application and owners of record of properties within 350 feet of the subject land, no less than 15 calendar days before the hearing date.
- The applicant mailed notices of the Nov. 19, 2025, public hearing by first-class mail to the owners of record of properties within 350 feet of the subject land on Oct. 23, 2025.
- Per LMO Section 16-2-102.E.2, the LMO Official shall post conspicuous notice of the public hearing on or adjacent to the land subject to the application no less than 15 days before the hearing date, with at least one such notice being visible from each public thoroughfare that abuts the subject land.
- The LMO Official posted on Nov. 3, 2025, a conspicuous notice of the public hearing on the land subject to the application.

**Conclusions of Law:**

- The application was submitted in compliance with LMO Section 16-2-103.C and Appendix D-1.

Notice of the public hearing was published, mailed, and posted, in compliance with LMO Section 16-2-102.E.2.

*As set forth in LMO Section 16-2-103.C.3. In determining whether to recommend that Town Council approve or deny a proposed Zoning Map Amendment (Rezoning), the Planning Commission may weigh the relevance of and consider the following:*

<b>Summary:</b>
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*Criteria 1: Whether and the extent to which the proposed zoning is in accordance with the Comprehensive Plan (LMO Section 16-2-103.C.3.a.i):*

**Findings:**

This application addresses the Comprehensive Plan in the following areas:

**Core Value: Relentless Pursuit of Excellence**

Goal

- Ideals of Excellence: To adopt and pursue Our Ideals of Excellence for Hilton Head Island.

Strategies & Tactics

- 2.10: Continue to provide an appropriate range of land uses that accommodate the needs of the community.
- 2.10.1: Encourage development and redevelopment opportunities that help Hilton Head Island be a competitive and affordable place to live and work.

**Core Value: Revitalizing & Modernizing the Economy**

Goal 3

- Brand: To manage evolving economic growth while maintaining Hilton Head Island’s unique aesthetic.

Strategies & Tactics

- 3.2: Monitor demographics and economic trends to manage emerging growth and changes.
- 3.2.2: Monitor trends in housing development to provide housing options that meet market demands.

Goal 6

- Workforce: To have a high-quality Workforce Housing through effective incentives.

Strategies & Tactics

- 6.1: Encourage the development of Workforce Housing through effective incentives.
- 6.1.1: Continue to pursue the recommendations from the Town's Workforce Housing Strategic Plan.
- 6.1.2: Identify methods to support construction of new Workforce Housing by 2024.
- 6.1.6: Monitor changing demographics and trends in housing development to allow for housing options to meet market demands.
- 6.1.7: Continue to educate the public on the potential impact on their daily quality of life that is directly affected by the supply or lack of Workforce Housing.

**Core Value: Fostering an Inclusive Multi-dimensional Community**

Goal 3

- Community Development: To foster creation of sustainable, inclusive, equitable, and innovative community development on the entire Island.

Strategies & Tactics

- 3.3: Continue to implement the recommendations from the Town’s Workforce Housing Strategic Plan.
- 3.4: Evaluate opportunities for diversity in housing costs and transportation modes by establishing incentives for redevelopment of abandoned and underutilized spaces.
- 3.5: Encourage employer-assisted housing programs to entice more employees of various professions (teachers, police officers, firefighters, etc.) to live within Town limits.
- 3.7: Address housing issues by using a systematic approach that integrates economic development, transportation, and land use.

**Core Value: Building a Connected & Collaborative Community Fabric**

Goal 2

- Built Environment: To promote designs for the built environment that capitalize on our natural beauty and community strengths, reinforcing our unique sense of place.

Strategies & Tactic

- 2.4: Create incentives and/or public/private partnerships for redevelopment with goals of diversity in housing types and cost, and types of transportation modes.

Goal 4

- Quality of Life: To foster an exceptional quality of life for residents, outstanding experiences for visitors, and economic opportunity for our workforce.

Strategies & Tactic

- 4.1.1: Continue to implement the recommendations from the Town’s Workforce Housing Strategic Plan.

**Core Value: Expanding to Embrace an Integrated Regional Focus**

Goal 2

- Workforce: To improve and expand opportunities for workforce development and housing on Hilton Head Island and in the region.

Strategies & Tactic

- 2.1: Pursue regional cooperation of public, private, and nonprofit agencies in meeting area housing and workforce needs.

**Core Value: Innovative Approach to Create “Right-Sized” Infrastructure**

Goal 6

- Housing: To promote housing options to meet the needs of all current and future populations on the Island.

Strategies & Tactics

- 6.1: Adopt policies to support the recommendations of the Town's Workforce Housing Strategic Plan.
- 6.2: Continually assess development standards and building codes to ensure they encourage the development and redevelopment of needed housing.
- 6.2.1: Evaluate and study regulations to require or provide options for interconnection between developments, which promotes the establishment of neighborhoods, and to provide safe and convenient access to neighborhood level public facilities, particularly schools and parks.
- 6.3: Evaluate proposed changes to residential density to ensure they are appropriate for the character of the area and the neighboring properties.

**Conclusions of Law:**

- The application complies with the Comprehensive Plan because it implements Our Plan housing goals and Core Values.
- The amendment meets Criterion 1 because it supports adopted policies for Workforce Housing and integrated land use planning.
- The proposed rezoning is in accordance with the Comprehensive Plan, as described in the Land Use Element, as set forth in LMO Section 16-2-103.C.3.a.i.
- The proposed rezoning will modify the existing permitted land use to promote housing options to meet the needs of current and future populations on the Island and is consistent with the Core Value: Innovative Approach to Create “Right-Sized” Infrastructure.
- The proposed rezoning and LMO amendment will expand opportunities for workforce development and housing on Hilton Head Island and in the region.
- The proposed rezoning will modify the permitted land use of the property in conformance with the Town’s Comprehensive Plan.

**Summary:**

*Criteria 2: Whether and the extent to which the proposed zoning would allow a range of uses that are compatible with the uses allowed on other property in the immediate vicinity (LMO Section 16-2-103.C.3.a.ii):*

**Findings:**

- The applicant proposes to amend the Palmetto Headlands/Hilton Head Hospital PD-2 Master Plan to allow new construction of Workforce Housing and Multifamily residential uses in addition to the existing medical uses currently permitted within the PD-2 Overlay. The proposed development, Nightingale Commons, consists of 114 mixed-income dwelling units in twelve (12) two-story townhome buildings on approximately 12.66 acres adjacent to Hilton Head Hospital.
- Under the current LMO, both Workforce Housing and Multifamily are permitted in the MED District only when specific conditions are met, Sec. 16-4-102.B.1. Prior to the proposed Text Amendment, Multifamily uses in the MED District were limited to commercial-conversion projects that included Workforce Housing per Sec. 16-4-102.B.1.b.ii.
- Per Sec. 16-4-102.B.1.b.ii, Multifamily use in the MED District is permitted only as part of a commercial-conversion project that includes Workforce Housing. Likewise, Workforce Housing is allowed subject to compliance with the Workforce Housing Program outlined in Sec. 16-4-105. The requested amendment would therefore expand the allowable residential uses within the PD-2 Overlay to include new-construction Workforce Housing and Multifamily dwellings, consistent with the intent of the concurrent LMO text amendment under review.
- Adjacent land uses include Hilton Head Hospital and related outpatient medical facilities to the north and east, nursing and health service uses to the south, and residential properties within Hilton Head Plantation (PD-1) to the west. These surrounding uses are compatible in scale and intensity with the proposed Workforce Housing development.

**Conclusions of Law:**

- The proposed amendment meets Criterion 2 because it establishes a compatible mix of medical and residential uses within the PD-2 Overlay, maintaining consistency with adjacent institutional and residential development patterns.
- While Multifamily and Workforce Housing in the MED District are currently limited to commercial-conversion projects, the PD-2 amendment—if approved concurrent with the related LMO text amendment—would provide a coordinated framework for new-

construction Workforce Housing that complements the hospital campus and surrounding uses, in accordance with LMO Section 16-2-103.C.3.a.ii.

**Summary:**

*Criteria 3: Whether and the extent to which the proposed zoning is appropriate for the land (LMO Section 16-2-103.C.3.a.iii):*

**Findings:**

- The subject parcels are within the PD-2 Overlay and designated for medical-related uses under the Palmetto Headlands/Hilton Head Hospital Master Plan.
- The applicant proposes 114 mixed-income units, with 30% reserved for households earning at or below 80% of the Area Median Income (AMI) and 70% serving households between 80% and 150% AMI, with long-term affordability enforced through deed restrictions in accordance with LMO Section 16-4-105.
- The subject area is developed with vacant medical buildings, and is served by existing utilities and stormwater infrastructure.
- The PD-2 Overlay was designed to allow clustering of development on less environmentally sensitive areas and adaptive reuse over time.
- The project proposes no changes to height, density caps, or impervious coverage standards beyond those contemplated in the PD-2 Master Plan.
- The site has direct access to Hilton Head Hospital.

**Conclusions of Law:**

- The application meets Criterion 3 because the proposed use is appropriate given the existing infrastructure and PD-2 adaptive reuse intent.
- Redeveloping the parcels for Workforce Housing is consistent with the PD-2's goal of efficient land utilization.
- The proposed zoning is appropriate for the land in accordance with LMO Section 16-2-103.C.3.a.iii.

**Summary:**

*Criteria 4: Whether and the extent to which the proposed zoning addresses a demonstrated community need (LMO Section 16-2-103.C.3.a.iv):*

**Findings:**

- The Workforce Housing Strategic Plan suggests the Island should set a goal to facilitate the construction of 200 total net new, obtainable housing units yearly.
- The Comprehensive Plan, which was approved by Town Council, on page 112, suggests the Town attracts and maintains a diverse and multi-dimensional residential population, providing a competitive live-work option.
- The Comprehensive Plan on page 112 suggests that the Town continually adapts the Core Values and Comprehensive Plan to meet the needs of the present and the future.
- The Housing Impact Analysis documents more than 14,000 daily commuters to the Island, and over 40% of households are cost-burdened, with healthcare workers among the most impacted sectors.

- Finding Home recommends Workforce Housing near major employers and transit corridors.
- The applicant proposes 114 mixed-income units, with 30% reserved for households earning at or below 80% of the AMI and 70% serving households between 80% and 150% AMI, with long-term affordability enforced through deed restrictions in accordance with LMO Section 16-4-105.
- The proposed rezoning will expand opportunities for workforce development and housing on Hilton Head Island by adding Workforce Housing as an allowable principal use.

**Conclusions of Law:**

- The application meets Criterion 4 because it directly addresses the Town’s documented Workforce Housing shortage.
- The amendment implements adopted policy recommendations from the Workforce Housing Strategic Plan and Housing Impact Analysis.
- The rezoning would fulfill a demonstrated community need in accordance with LMO Section 16-2-103.C.3.a.iv.

**Summary:**

*Criteria 5: Whether and the extent to which the proposed zoning is consistent with the overall zoning program as expressed in future plans for the Town (LMO Section 16-2-103.C.3.a.v):*

**Findings:**

- The MED base District permits Multifamily and Workforce Housing, subject to development standards; the PD-2 amendment would align the Master Plan with the underlying district.
- The Town’s Finding Home Framework calls for zoning amendments to allow Workforce Housing where appropriate.
- The PD-2 Overlay is specifically designed to adapt to changing community needs through Master Plan amendments.

**Conclusions of Law:**

- The proposed zoning is consistent with the overall zoning program as expressed in the draft PD-2 plan.
- The application meets Criterion 5 because it maintains consistency with the Town’s zoning program and supports adopted Workforce Housing initiatives.

**Summary:**

*Criteria 6: Whether and the extent to which the proposed zoning would avoid creating an inappropriately isolated zoning district unrelated to adjacent and surrounding zoning districts (LMO Section 16-2-103.C.3.a.vi):*

**Findings:**

- This application would rezone three parcels, totaling 12.66 acres, for Multifamily and Workforce Housing development.
- The subject parcels are within the PD-2 Master Plan and adjacent to MED and PD-1 districts.
- The amendment does not create a new zoning district; it modifies the allowable uses within an existing PD-2 Master Plan.
- Adjacent uses include medical facilities and multifamily housing, both compatible with the proposed residential use.

- The subject parcels are part of a larger coordinated PD-2 district.
- Surrounding parcels to the north and east are designated for medical uses under the same PD-2 Master Plan; to the west are multifamily residential uses.
- The MED base district, which underlies the subject parcels, permits both medical and residential uses.
- The requested amendment adds residential use but retains medical use.
- The parcels are accessed internally via Bethea Drive and share infrastructure with surrounding PD-2 parcels.
- The PD-2 Overlay was initially designed to prevent isolated zoning districts by allowing flexibility and integration of uses within a coordinated Master Plan.

**Conclusions of Law:**

- The application meets Criterion 6 because it maintains continuity with adjacent zoning and does not create an isolated district.
- The proposed zoning would avoid creating an inappropriately isolated zoning district unrelated to adjacent and surrounding zoning districts in accordance with LMO Section 16-2-103.C.3.a.vi because the existing adjacent zoning is complementary.

**Summary:**

*Criteria 7: Whether and the extent to which the proposed zoning would allow the subject property to be put to a reasonably viable economic use (LMO Section 16-2-103.C.3.a.vii):*

**Findings:**

- The parcels are currently vacant, dilapidated medical buildings, generating no economic value.
- The applicant’s proposal includes deed-restricted workforce units with professional management.

**Conclusions of Law:**

- The proposed zoning would allow the subject property to be put to a reasonably viable economic use in accordance with LMO Section 16-2-103.C.3.a.vii.
- The rezoning would allow the site to be redeveloped with the residential use of Multifamily and Workforce Housing, making the site more compatible with the uses in the vicinity and allowing the property to be put to a reasonably viable economic use.

**Summary:**

*Criteria 8: Whether and the extent to which the proposed zoning would result in development that can be served by available, adequate, and suitable public facilities (e.g., streets, potable water, sewerage, stormwater management) (LMO Section 16-2-103.C.3.a.viii):*

**Findings:**

- The parcels are served by existing water, sewer, and stormwater systems constructed for the hospital campus.
- Per the LMO, a Major Development Plan Review (DPR) application would be required to redevelop the property. As part of the DPR application, any required infrastructure improvements, encroachment permits, or approvals from outside agencies such as PSD, Sparklight, Palmetto Electric, and SCDOT would be required prior to the approval of the DPR.

**Conclusion of Law:**

- The proposed zoning would result in development that can be and is already served by available public facilities in accordance with LMO Section 16-2-103.C.3.a.viii.

**Summary:**

*Criteria 9: Is appropriate due to any changed or changing conditions in the affected area (LMO Section 16-2-103.C.3.a.ix):*

**Findings:**

- The creation of Workforce Housing aligns with the Town's core values described in the Town's Master Plan, Section 3, Chapter 7, "Innovative Approach to Create 'Right-Sized' Infrastructure."
- Since 1988, the Town has adopted the Workforce Housing Strategic Plan (2019) and *Finding Home* Framework (2022), establishing Workforce Housing as a priority.
- The Housing Impact Analysis (2023) documents accelerating housing shortages and cost burden among the Island's workforce.
- Healthcare sector expansion and workforce displacement events (2022) have created changed conditions requiring additional housing near the hospital campus.
- The PD-2 Master Plan was designed to accommodate evolving land use needs over time.
- Shifts in employment and housing to the mainland have impacted the ability to attract the workforce and provide housing that meets the Workforce Housing needs on the Island.
- The availability of affordable, attainable Workforce Housing is limited and changing housing market conditions continue to increase the challenge of ensuring the availability of housing for the Town's workforce.

**Conclusions of Law:**

- The application meets Criterion 9 because it responds to changed and changing conditions and fulfills current policy priorities.
- The proposed rezoning is appropriate due to the changes in the area, including housing market challenges and housing supply, in accordance with LMO Section 16-2-103.C.a.ix.
- The proposed rezoning will allow Multifamily and Workforce Housing in close proximity to health care services.

*As set forth in LMO Section 16-3-106.G.6.(a-h) Planned development Master Plans shall include the following elements:*

**Summary:**

*Criteria a: Arrangement of developed uses on the site considering natural features and natural drainage patterns, views, roadway access, and surrounding land uses.*

**Findings:**

- A conceptual site plan has been provided for review.
- The plan meets the minimum planting requirements for a Type B Buffer – Option 2 but does not propose enhanced screening or visual mitigation for adjacent Planned Development Mixed-Use (PD-1) residential properties within Hilton Head Plantation (HHP).

**Conclusion of Law:**

- The proposed amendment meets Criterion (a) because the intended residential and medical uses are compatible with surrounding development patterns and consistent with the PD-2 Overlay’s purpose of coordinated campus-style planning. The conceptual site plan demonstrates reasonable consideration of drainage and access, supporting the adaptive reuse intent of the PD-2 District.

**Summary:**

*Criteria b: Clustering of development sites, especially buildings, so as to preserve natural or historic features and provide usable common open space*

**Findings:**

- The parcels subject to this request are not designated as open space under the existing PD-2 Master Plan.
- Proposed buildings are clustered together, hugging the parking areas and roadway access.
- The conceptual site plan demonstrates compliance with the average wetland buffer requirements.
- Any development will require separate Development Plan Review (DPR) approval prior to the issuance of construction permits.

**Conclusion of Law:**

- The proposed amendment satisfies Criterion (b) because the site plan clusters residential buildings to preserve natural buffers and maximize usable open space. The integration of residential and medical uses maintains a cohesive development pattern. Although the parcels are not designated open space under the current PD-2 Master Plan, the proposed configuration efficiently uses the site while protecting environmental buffers.

**Summary:**

*Criteria c: An integrated, coordinated circulation system with complete interconnection.*

**Findings:**

- The conceptual site plan provides internal circulation designed to accommodate emergency vehicle access.
- Internal sidewalks and crosswalks connect the townhomes on the west to the community pavilion and pool on the east.
- Lamotte Drive, which connects to Bethea Drive, currently lacks sidewalk and bike path infrastructure for full off-site connectivity.

**Conclusion of Law:**

- The proposed amendment satisfies Criterion (c) because the conceptual plan provides adequate on-site circulation and pedestrian connectivity while allowing for future off-site connections. The layout is consistent with the PD-2 Overlay’s intent for coordinated access and interconnectivity among uses.

**Summary:**

*Criteria d: Maximum integration of other infrastructure—such as sewer, water, and drainage systems—in consideration of environmental factors.*

**Findings:**

- The site is already served by existing utility infrastructure, including water, sewer, and stormwater facilities.
- Any new development will be subject to Development Plan Review (DPR) to ensure compliance with Town stormwater and environmental regulations.
- Through previous public comment on this application, it was discovered that there are potential drainage issues along the common property line with Hilton Head Plantation. Through a condition of approval, these issues can be assessed and addressed through the Development Plan Review process.

**Conclusion of Law:**

- The proposal meets Criterion (d) because existing utility systems can adequately serve the site. The applicant proposes to connect to the hospital's existing infrastructure network, minimizing new environmental disturbance and aligning with the PD-2 Overlay's goal of efficient and environmentally responsible infrastructure integration.

**Summary:**

*Criteria e: Design and sizing of street, drainage, and utility systems to accommodate the overall service demand of the planned development.*

**Findings:**

- Drive aisle widths comply with LMO standards—14 feet for one-way access and 24 feet for two-way access.
- The proposed parking spaces meet LMO requirements.
- Fire and service access have been designed to meet minimum safety and operational standards.
- Through previous public comment on this application, it was discovered that there are potential drainage issues along the common property line with Hilton Head Plantation. Through a condition of approval, these issues can be assessed and addressed through the Development Plan Review process.

**Conclusion of Law:**

- The conceptual site plan provides adequate access, parking, and service areas consistent with applicable LMO standards. Drainage and utility systems are designed to accommodate projected service demand. The proposed amendment maintains consistency with the Town's zoning framework and supports the implementation of the Workforce Housing Framework (2022) and Workforce Housing Strategic Plan (2019).

**Summary:**

*Criteria f: Provision for the ownership and maintenance of common open space through a property owners' association or other mechanisms permitted under Section Sec. 16-5-104.E, Ownership, Management and Maintenance of Common Open Space.*

**Findings:**

- The applicant indicates that common open space, stormwater facilities, and buffers will be owned and maintained by the Coastal Community Development Corporation (CCDC) under recorded covenants.

**Conclusion of Law:**

- The application conditionally meets Criterion (f). The applicant has identified CCDC as the responsible entity for maintaining open space and shared facilities. Final compliance will require submission of legally binding covenants prior to DPR approval. Subject to that condition, the proposal is consistent with PD-2 Master Plan intent and LMO Section 16-5-104.E.

**Summary:**

*Criteria g: Architectural guidelines and standards throughout the planned development.*

**Finding:**

- The application includes proposed architectural and community design guidelines addressing building materials (Hardie Plank, stucco, brick), color palette, roof forms, lighting, height, and fencing.
- The subject parcels are not located within the Corridor Overlay and the Town's Design Review Board would not review this project as part of a Development Plan Review.

**Conclusion of Law:**

- The proposed amendment satisfies Criterion (g) because it includes architectural and design standards consistent with PD-2 intent and requirements. These standards will ensure architectural cohesion and compatibility with surrounding development.

**Summary:**

*Criteria h: Acreage sufficient to accomplish the basic purposes and features as outlined above.*

**Findings:**

- The applicant's survey and conceptual plan demonstrate sufficient acreage (12.66 acres) to meet MED District density and development standards as defined in the concurrent LMO Text Amendment.
- The conceptual plan arranges townhomes and the multifamily building along the perimeter, using the internal road for site circulation.
- Flexibility for future site design modification may be limited due to the compact arrangement of building pads and parking areas.

**Conclusion of Law:**

- The proposal meets Criterion (h) because the 12.66-acre site provides adequate area to support proposed density, infrastructure, and open space requirements consistent with PD-2 standards. The acreage is sufficient to accommodate both current and future uses without creating adverse impacts to surrounding properties.

**Note: If the proposed amendment is approved by Town Council, such action shall be by ordinance to amend the Official PD-2 Zoning Map. If it is denied by Town Council, such action shall be by resolution.**

**PREPARED BY:**

MC  
Michael Connolly  
*Senior Planner*

October 27, 2025  
DATE

**REVIEWED BY:**

TL  
Trey Lowe  
*Development Services Manager*

November 11, 2025  
DATE

**REVIEWED BY:**

SL  
Shawn Leininger, AICP  
*Assistant Town Manager, Land Management  
Official, and Interim Director of Planning*

November 12, 2025  
DATE

**ATTACHMENTS:**

- A) Application Materials
- B) Location Map
- C) PD-2 Master Plan – CUR 3-88
- D) Current Use Map



**Date:** November 10, 2025

**Shawn Leininger**

Assistant Town Manager of Operations  
Town of Hilton Head Island  
1 Town Center Court  
Hilton Head Island, SC 29928

**Subject:** Revised Request for Planning Commission Review: Workforce Housing Text Amendment and Zoning Map Amendment

Dear Shawn,

On behalf of the team of Novant Health, Abode Development, and Coastal Community Development Corporation (CCDC), we thank you for the time and support as we continue to collaborate on the entitlement and development process for the proposed workforce housing community adjacent to Hilton Head Hospital.

We respectfully submit this formal application revision to the Planning Commission for the purpose of the Text Amendment and ZMA. This amendment would seek to modify the current provisions of the Medical (MED) District zoning to allow for a multifamily workforce housing development that directly supports Hilton Head Island's critical service and medical workforce.

**Project Highlights**

- **Location:** Parcels 0337, 337A & 0452 Bethea Drive (adjacent to Hilton Head Hospital)
- **Zoning:** MED District (12.6 acres total)
- **Program Proposal:**
  - 114 mixed-income units across twelve (12) townhome buildings.
  - Proposed Unit Mix: 38 one-bedroom, 66 two-bedroom, 10 three-bedroom units
  - Community pavilion with pool and wellness amenities
  - Outdoor recreation areas, pocket parks, and pedestrian connectivity
  - 30% of all units within the development to serve at or below 80% AMI. The remaining 70% of units to targeted to serve between 80%-150% AMI
  - Long-term affordability with deed restrictions in accordance with Sec. 16-4-105

We respectfully request that this proposal be placed into the formal Planning Commission review process to reopen our application.

Thank you again for your partnership and support in helping us bring forward a meaningful, community-based solution to Hilton Head's workforce housing challenges.

**Keith Kostrzewski**  
Managing Partner, Abode Development  
[keith@AbodeLC.com](mailto:keith@AbodeLC.com)

**CC: Brian Quinn**  
Managing Partner, Abode Development  
[brian@AbodeLC.com](mailto:brian@AbodeLC.com)

**APPLICATION FOR ZONING MAP AMENDMENT  
FROM ABODE DEVELOPMENT IN PARTNERSHIP WITH NOVANT  
HEALTH, AND THE COASTAL COMMUNITY DEVELOPMENT  
CORPORATION**

REGARDING 12.66 ACRES ON BETHEA DRIVE, HILTON HEAD ISLAND, SC  
Parcels: R510 008 000 0337A 0000, R510 008 000 0337 0000,  
and R510 008 000 0452 0000

**Hilton Head Medical Workforce Housing Conceptual Master Plan**

Zoning Map Amendment (ZA-001007-2025)

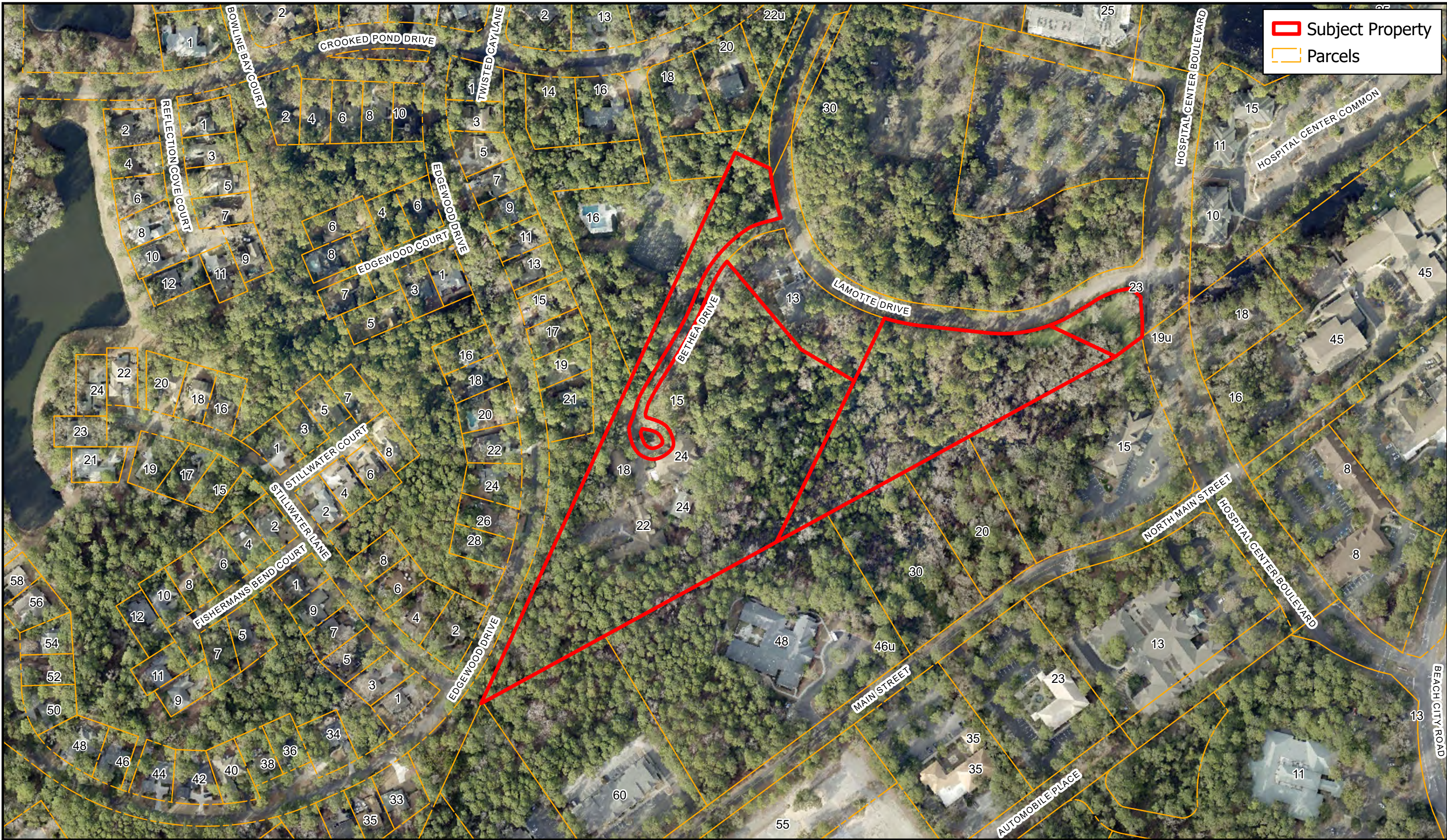
Subject: Amendment to the Palmetto Headlands / Hilton Head Hospital PD-2 Master Plan (#CUR-3-88) and coordinated LMO text amendment to allow new construction of multifamily residential workforce housing within the Palmetto Headlands / Hilton Head Hospital PD-2 (#CUR-3-88) on MED-zoned property.

## ATTACHEMENT A

Hilton Head Medical Workforce Housing Conceptual Master Plan Parcel Numbers

12.66 Acres. The subject property comprises three contiguous parcels:

- R510 008 000 0337A 0000
- R510 008 000 0337 0000
- R510 008 000 0452 0000



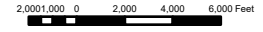
Subject Property  
 Parcels



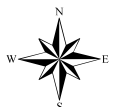
**Town of Hilton Head Island**

18 Bethea Dr. (R510 008 000 337A 0000), 30 Lamotte Dr. (R510 008 000 0452 0000), Unaddressed Parcel (R510 008 000 0337 0000)

October 17, 2025



Attachment B - Location  
Map ZA-001007-2025



The information on this map has been compiled from a variety of sources and is intended to be used only as a guide. It is provided without any warranty or representation as to the accuracy or completeness of the data shown. The Town of Hilton Head Island assumes no liability for its accuracy or state of completion or for any losses arising from the use of the map.

## ATTACHMENT B NARRATIVE

NARRATIVE SUPPLEMENT TO THE APPLICATION FOR ZONING MAP AMENDMENT FROM THE TOWN OF HILTON HEAD ISLAND REGARDING 12.66 ACRES ON BETHEA DRIVE, HILTON HEAD ISLAND, SC

**This Attachment B is submitted as part of the Zoning Map Amendment Application (The “Application”) by Abode Development (the “Applicant”) in partnership with Novant Health, and the Coastal Community Development Corporation (“CCDC”) to the Planning Commission of the Town of Hilton Head Island (the “Town”). Pursuant to the criteria set forth in Section 16-2-103.c.3 of the Town’s Land Management Ordinance (the “LMO”), this application seeks approval of a Text Amendment and Zoning Map Amendment (ZA-001007-2025) to modify the allowable uses within the PD-2 district. Specifically, the applicant requests that New Construction of Multifamily Residential Development be permitted within the Palmetto Headlands / Hilton Head Hospital PD-2 Overlay District (#CUR-3-88) (The “PD-2”) . The subject property comprises approximately 12.66 acres located on Bethea Drive and is currently zoned MED with an PD-2 overlay**

### **Purpose of Request:**

#### **Hilton Head Medical Workforce Housing Conceptual Master Plan Zoning Map Amendment within the Palmetto Headlands / Hilton Head Hospital PD-2 Overlay District (#CUR-3-88)**

This application seeks an Official Zoning Map Amendment (ZMA) to the Town of Hilton Head Island’s Base Zoning Map to permit new-construction multifamily within the Palmetto Headlands / Hilton Head Hospital PD-2 Overlay District.

The amendment aims to establish the Hilton Head Medical Workforce Housing Conceptual Master Plan, and updates the PD-2 Master Plan to affirm New Construction of Multifamily Residential Housing use on the Hospital’s South Campus, document district-scale compliance (density, impervious coverage, open space), and implement enforceable workforce-housing and design standards consistent with LMO 16-4-105 and the Town’s Workforce Housing Framework: Finding Home.

## Section 1. Application Summary for ZA-001007-2025

This application seeks an Official Zoning Map Amendment (ZMA) to the Town of Hilton Head Island Base Zoning Map to authorize new-construction multifamily within the Palmetto Headlands / Hilton Head Hospital PD-2 Overlay District (CUR-3-88). The request is made in accordance with the Workforce Housing (WFH) provisions of LMO 16-4-105 and the Town’s adopted Workforce Housing Framework: Finding Home.

The subject property consists of three contiguous parcels:

- R510 008 000 0337A 0000
- R510 008 000 0337 0000
- R510 008 000 0452 0000

Together these total approximately 12.66 acres along Bethea Drive, commonly referred to as the Hilton Head Hospital South Campus.

The proposed amendment establishes the Hilton Head Medical Workforce Housing Conceptual Master Plan within the PD-2 Overlay. The land is owned by Novant Health and will be developed by Abode Development of the Lowcountry in partnership with the Coastal Community Development Corporation (CCDC). The partnership’s intent is to deliver a compact, upland-clustered, mixed-income neighborhood that expands the Island’s supply of attainable housing while remaining fully compliant with the environmental and design standards of the PD-2 district.

This amendment:

- Updates the PD-2 Master Plan to affirm New Construction Multifamily Housing, in accordance with 16-4-105, use on the South Campus consistent with MED-base and PD-2 Overlay intent;
- Documents district-scale compliance with density, impervious-surface, and open-space ratios through a verified ledger (Attachment C); and
- Translates conceptual commitments into enforceable standards, including buffers, setbacks, stormwater design, and architectural guidelines.

Approval of the amendment will enable the proposed, “Nightingale Commons”, to be developed within the established PD-2 framework while advancing the Town’s Comprehensive Plan (OurPlan 2020–2040) and 2023–2025 Strategic Plan goals for workforce housing. The application directly responds to Town Staff memoranda dated August 20 and September 17, 2025, providing corrected exhibits, restored buffers, and codified design standards to ensure long-term compliance and compatibility with adjacent uses.

## Key Development Metrics Summary

<i>Category</i>	<i>Value / Commitment</i>
<b>Total Site Area</b>	± 12.66 acres (three contiguous parcels –R510 008 000 0337A 0000, R510 008 000 0337 0000, and R510 008 000 0452 0000)
<b>Developed Uplands / Preserved Area</b>	5.7 ac developed / 6.96 ac preserved (> 40 % open space)
<b>Zoning Context</b>	MED (Base) + PD-2 Overlay (CUR-3-88 Palmetto Headlands / Hilton Head Hospital)
<b>Program &amp; Density</b>	Proposed 114 Dwelling Units & 10 u/ac PD-2 limit
<b>Building Height</b>	MF ≤ 45 ft Max, Limited to 2 stories above natural grade
<b>Parking Provided / Required</b>	186 Spaces required using MF method. LMO compliance standards for bike parking, compact and parallel spots are used to achieve requirements.
<b>Buffers &amp; Setbacks (Development)</b>	<ul style="list-style-type: none"> <li>● 20 ft PD-2 boundary buffer (minimum Type B per LMO 16-5-103; enhanced to Type C Option 2 where feasible) with ≥ 50 % evergreen planting and 6–7 ft opaque fence.</li> <li>● Maintain ≥ 5 ft structural setback beyond buffer: no parking, lighting, utilities, or impervious surfaces within buffer zones.</li> <li>● All wetlands preserved with 35 ft average / 20 ft minimum buffer (from certified USACE/DES line) plus +5 ft structural setback per LMO 16-6-102.D.2 and Town 2023 standards.</li> <li>● LID stormwater features (such as bio-retention and swales) located ≥ 20 ft from wetland edge: buffers and setbacks dimensioned on C- and L-sheets.</li> <li>● Building heights ≤ 45 ft.</li> </ul>
<b>Buffers &amp; Setbacks (HHP Residential)</b>	<ul style="list-style-type: none"> <li>● 20 ft PD-2 boundary buffer (minimum Type B per LMO 16-5-103; enhanced to Type C Option 2 with evergreen screening and 6–7 ft opaque fence where space and context allow).</li> <li>● Within 50 ft of shared property line, limit buildings to two stories (≤ 40 ft consistent with Hilton Head Plantation height standards); no rear balconies or decks facing HHP; dark-sky lighting ≤ 0.1 fc at property line.</li> <li>● Landscape and fence details coordinated with HHP POA/ARB.</li> </ul>
<b>Buffers &amp; Setbacks (Wetlands)</b>	<ul style="list-style-type: none"> <li>● 35 ft average / 20 ft minimum wetland buffer from certified USACE/OCRM line per LMO 16-6-102.D.2 + 5 ft structural setback.</li> <li>● LID stormwater features ≥ 20 ft from wetland edge; depict 7 required buffer lines on site plan and include average-width calculation table to verify compliance.</li> </ul>
<b>Stormwater Design</b>	Low-Impact Development (LID) basins ≥ 20 ft from wetland edge; 2023 Town standards
<b>Workforce Housing Program</b>	<ul style="list-style-type: none"> <li>● ≥ 30 % (≥ 35 units) reserved for households at or below 80 % AMI</li> <li>● CCDC administration, management, and annual recertification,</li> <li>● no Short Term Rentals; 12-month minimum leases; explicit preference for Hilton Head Island’s workforce</li> </ul>
<b>Open Space Ownership / Maintenance</b>	CCDC to maintain buffers, stormwater, and common areas under LMO 16-5-104.E

## Section 2. Development Background

In 2024, Novant Health acquired the subject parcels along Bethea Drive as part of its purchase of Hilton Head Hospital from Tenet Health. The property, commonly referred to as the Hospital's South Campus, totals approximately 12.66 acres and includes several small medical and office buildings constructed around 1990, comprising roughly 24,000 square feet. Most structures have remained vacant and deteriorated since Hurricane Matthew (2016), and the final tenant relocated off-site in early 2025. Engineering evaluations confirm that the buildings are beyond reasonable repair and unsuitable for any form of reuse or commercial conversion.

The property's existing zoning is MED (Medical District) with the Palmetto Headlands / Hilton Head Hospital PD-2 Overlay (CUR-3-88). Under the current Workforce Housing (WFH) framework, the only workforce-eligible option within the MED district is through commercial-to-residential conversion. Because the existing buildings cannot be feasibly rehabilitated, the Applicant seeks a PD-2 Master Plan amendment to allow new-construction multifamily, consistent with LMO 16-4-105 and the Town's workforce-housing policies.

Residential uses have long existed within the broader PD-2 area, including Palmetto Commons, a nearby residential community with a density of approximately 13.6 units per acre. However, language in the original PD-2 standards (adopted in the 1980s) did not explicitly list new multifamily residential construction as a permitted use—creating ambiguity despite this established development pattern. The proposed Nightingale Commons plan resolves that gap, confirming the suitability of multifamily as compatible uses within the PD-2 overlay. The development proposes 114 units - below the allowable use of 10 units per acre and comparable residential areas, and maintains impervious coverage under 35%, consistent with the environmental and design standards of the PD-2 district.

## Section 3. Development Description

The Hilton Head Medical Workforce Housing Conceptual Master Plan (Nightingale Commons) establishes a compact, upland-clustered residential neighborhood within the Palmetto Headlands / Hilton Head Hospital PD-2 Overlay District. The plan provides a total of 114 dwelling units, composed of (12) townhouse buildings.

A loop-street circulation pattern organizes the site, providing access to all buildings while maintaining emergency-vehicle turning radius and clear pedestrian separation. A continuous sidewalk network links residences to the mail kiosk, a small community pavilion, and a frontage path connecting to Bethea Drive and the broader hospital campus. Bicycle racks are located at the multifamily entry, the pavilion, and the mail kiosk. Parking provided to accommodate 186 spots in accordance with LMO 16-5-107.

Site planning prioritizes environmental protection and compliance with PD-2 and Town stormwater standards. All wetlands are preserved in place, with a 35-foot average / 20-foot minimum buffer and an additional 5-foot structural setback beyond the certified delineation line (per 16-6-102.D.2). The PD-2 boundary buffer along the Hilton Head Plantation edge is restored to its full 20-foot width, planted to Type B MF standards (at least 50 percent evergreen) and supplemented by a 6- to 7-foot opaque fence for privacy. No parking, lighting, or other impervious improvements encroach into buffer or setback areas.

Stormwater infrastructure is designed to the 2023 Town of Hilton Head Island Stormwater Standards using Low-Impact Development (LID) practices. Bio-retention, vegetated swales, and forebays are located at least 20 feet from the wetland edge, and post-development discharge rates and volumes remain at or below pre-development conditions. The site's overall impervious coverage is <35% percent, and total open space exceeds 40 percent, both comfortably within PD-2 limits.

Architectural design follows the Lowcountry style established by the PD-2 Design Manual and detailed in Appendix A – Architectural and Community Design Standards. Building materials include fiber-cement siding, brick, and stucco in muted coastal colors; roof forms are gable, hip, or shed; and lighting standards will meet or exceed standards for adjacent use residential. Screening of rooftop and ground equipment is required.

The development’s ownership, long-term maintenance, and workforce-housing administration will be managed by the Coastal Community Development Corporation (CCDC) under recorded covenants compliant with LMO 16-5-104.E. CCDC will also oversee the workforce-housing eligibility and annual recertification process in accordance with LMO 16-4-105.

This description summarizes the physical layout and design intent of Nightingale Commons; the following section outlines the detailed program elements and quantitative commitments under the Development Scope (Workforce Housing Development Agreement).

### Section 4. Workforce Affordability

The Hilton Head Medical Workforce Housing Conceptual Master Plan (Nightingale Commons) has been structured in full compliance with LMO 16-4-105 (Workforce Housing Standards) and the Town’s adopted Workforce Housing Framework: Finding Home. The Workforce Housing Development Agreement (WHDA) formalizes the site’s affordability commitments, administrative procedures, and long-term monitoring responsibilities.

**Affordability Commitment.** A minimum of 30% of all dwelling units (≥ 35 of 114) will be reserved for households earning at or below 80% of Area Median Income (AMI). All affordable units will be tenure-blind, indistinguishable in materials, finishes, and amenities from market-rate units, and distributed proportionally across the multifamily buildings to ensure integration within the community.

**Income Band Distribution.**

AMI Band	*Approximate Units	Share of Total Development	Designation
≤ 80 % AMI	35	31%	Workforce Housing – Restricted
81 – 120 % AMI	22	19%	Median/ Moderate Workforce
> 120 % AMI	57	50%	Market Rate
	114	100%	

*\*Note: Final rent limits will be established annually using HUD-published AMI data for Beaufort County and confirmed with the Town’s Housing Program Manager.*

### Administration and Oversight.

The Coastal Community Development Corporation (CCDC) will serve as the Workforce Housing Administrator. Responsibilities include:

1. Verifying initial tenant income eligibility.
2. Conducting annual income recertifications.
3. Maintaining a compliance ledger by unit documenting occupancy, rent levels, and income tier
4. Preparing an annual compliance report for submission to the Town of Hilton Head Island.

### **Leasing and Operations.**

Affordable units will be leased for a minimum 12-month term; short-term rentals are prohibited. Priority leasing will be extended to essential workers employed on Hilton Head Island, including those in healthcare, public safety, and education. No application, screening, or occupancy policy will conflict with fair-housing or equal-opportunity provisions.

### **Covenants and Enforcement.**

Affordability restrictions and CCDC oversight responsibilities will be recorded in a Workforce Housing Covenant running with the land. Non-compliance or unauthorized conversion will constitute a covenant violation enforceable by the Town through the WHDA. Monitoring and reporting procedures will align with the Town's annual housing compliance audit schedule.

### **Longevity and Renewal.**

Affordability commitments will remain in effect for 99 years, unless amended by mutual agreement with the Town under the terms of the recorded WHDA. Periodic review will allow rent limits and program procedures to adjust to updated AMI thresholds while maintaining the 30 percent  $\leq$  80 % AMI baseline.

## **Section 5. Roles and Implementation**

### **Abode Development of the Lowcountry (Developer)**

- Leads project delivery, including entitlements, financing, and construction. Coordinates all submissions and ensures compliance with PD-2 and LMO standards, the Workforce Housing Development Agreement, and recorded covenants.

### **Novant Health (Landowner / Institutional Partner)**

- Owns the 12.66-acre South Campus property and provides the site for development under the PD-2 Overlay. Aligns the development with hospital operations and workforce needs to ensure proximity housing for essential medical staff. Novant is also committing to one-third of the rental units for healthcare workers.

### **Coastal Community Development Corporation – CCDC (Steward / Administrator)**

- Serves as long-term steward and workforce-housing administrator. Owns and maintains common open space, buffers, and stormwater facilities per LMO 16-5-104.E. Administers eligibility verification, annual income recertification, and compliance reporting under LMO Guidelines.

## Section 6. Rezoning Criteria

### (i) In accordance with the Comprehensive Plan (OurPlan 2020–2040)

The proposed Zoning Map Amendment directly advances the Town of Hilton Head Island Comprehensive Plan (OurPlan 2020–2040) and demonstrates measurable alignment with each of the Plan’s seven Core Values. The Nightingale Commons development embodies the Town’s goals for sustainable growth, right-sized infrastructure, and the delivery of attainable housing through a modern, environmentally responsible construction approach within a sustainable campus.

#### Core Value 1 — Relentless Pursuit of Excellence

- Designing a high-quality, durable neighborhood consistent with Hilton Head’s Lowcountry character and built-environment standards.
- Buildings are constructed with high-performance exterior materials (fiber-cement siding, masonry accents, and weather-rated roof systems) designed for high wind loads and FEMA-compliant elevation criteria, ensuring resilience to coastal storm events.
- Architectural detailing includes varied rooflines (gable, hip, and shed), and sustainable elements.
- By codifying these requirements in Appendix A – Architectural and Community Design Standards, the development converts aspirational design guidance into enforceable construction specifications, aligning with the Town’s pursuit of excellence in form, craftsmanship, and visual continuity.

#### Core Value 2 — Redefining Environmental Sustainability

- Employing a Low-Impact Development (LID) strategy that integrates stormwater management into the landscape and minimizes long-term maintenance demands.
- All bio-retention and vegetated swales are located  $\geq 20$  ft from the certified wetland line, treating runoff naturally before infiltration. The development footprint is limited to uplands, preserving  $\approx 6.96$  acres ( $> 40\%$ ) of the site as wetlands, buffers, and open space.
- Construction practices will include erosion-control sequencing, tree-protection fencing, and on-site material recycling where feasible.
- The design exceeds MED and PD-2 environmental standards and advances Hilton Head’s redefinition of sustainability—achieving compliance not by constraint but by integration of green infrastructure and reduced impervious surfaces

#### Core Value 3 — Revitalizing and Modernizing the Economy

- Transforming obsolete, hurricane-damaged medical facilities into productive land uses that support Hilton Head’s evolving economic base.
- The partnership between **Novant Health, Abode Development, and CCDC** converts an underutilized institutional site into workforce housing that stabilizes the hospital’s labor supply and benefits the Island’s broader service and education sectors.
- Modern construction methods reduce operational costs while supporting local contracting and workforce participation. This aligns with the Comprehensive Plan’s call to modernize the economy through reinvestment in existing developed areas.

#### **Core Value 4 — Fostering an Inclusive, Multi-Dimensional Community**

- Delivering a proposed 114 rental homes in both apartment and townhouse formats, with  $\geq 30\%$  ( $\geq 35$  units) reserved for households earning  $\leq 80\%$  of Area Median Income (AMI).
- All affordable units are tenure-blind—similar in exterior design, materials, and amenities to market-rate homes—and distributed throughout the community to encourage integration.
- CCDC will oversee income verification, annual recertification, and compliance reporting under LMO 16-4-105, ensuring transparency and long-term affordability.
- The development directly supports Hilton Head’s essential workers - particularly healthcare professionals, educators, and first responders, addressing the need documented in the Workforce Housing Framework: Finding Home and advancing inclusivity through opportunity.

#### **Core Value 5 — Building a Connected and Collaborative Community Fabric**

- Providing a walkable, interconnected layout that ties the residential neighborhood into the existing hospital campus and the surrounding street network.
- A continuous sidewalk system and bicycle parking at community nodes supports multimodal mobility.
- Close coordination with the Hilton Head Plantation Property Owners’ Association (POA) and Architectural Review Board (ARB) will support buffer design to ensure aesthetic and functional consistency along the shared boundary.
- These measures extend the Town’s vision of community connectivity and collaboration across institutional and residential property lines.

#### **Core Value 6 — Expanding to Embrace an Integrated Regional Focus**

- Strengthening regional resilience through collaboration between private, institutional, and nonprofit partners. As a healthcare-supported housing initiative, Nightingale Commons addresses workforce shortages not only within Hilton Head but also across the broader Beaufort County medical network.
- The public-private structure—Novant Health (landowner), Abode (developer), CCDC (administrator)—represents a model for regional, cross-sector cooperation, consistent with OurPlan’s goal of expanding partnerships beyond jurisdictional boundaries.

#### **Core Value 7 — Creating “Right-Sized” Infrastructure**

- Maximizing use of existing hospital and Town infrastructure without extending utilities or roadways. The development’s circulation, parking, and stormwater systems are appropriately scaled: parking spaces, and utility corridors that connect directly to existing service lines.
- Stormwater detention is decentralized through LID basins that reduce peak discharge and maintenance costs.
- These strategies embody the Town’s directive for infrastructure that meets community needs efficiently and sustainably.

*Summary:* Collectively, Nightingale Commons implements *OurPlan 2020–2040* by transforming underutilized institutional land into a resilient, connected, and inclusive neighborhood. Its compact footprint, modern construction practices, and enforceable design standards operationalize the Comprehensive Plan’s core values—demonstrating that workforce housing can serve as a model for sustainable, right-sized development on Hilton Head Island.

**(ii) Range of uses compatible with the vicinity**

The proposed New Construction Multifamily Housing residential use is compatible with adjacent institutional and residential areas within the PD-2 district. Height limits ( $\leq 45$  ft MF) and the 20-ft PD-2 buffer with natural screening and 6–7 ft fencing ensure appropriate transitions to neighboring properties.

**(iii) Appropriateness for the land**

Development occurs entirely on uplands ( $\approx 5.7$  acres) and avoids all wetlands. A 35-ft average / 20-ft minimum wetland buffer plus 5-ft structural setback protects natural drainage and habitat aligning with LMO sec. 16-6-102.D.2. The compact layout and LID stormwater strategy ensure appropriate and sustainable land use.

**(iv) Demonstrated community need**

Hilton Head Island faces a well-documented shortage of attainable housing for healthcare, education, and public-safety workers. The development proposes 114 units,  $\geq 30\%$  ( $\geq 35$  units) affordable  $\leq 80\%$  AMI, directly addressing this need while remaining within existing service capacities.

**(v) Consistency with the Town’s overall zoning program**

The amendment maintains PD-2 district balance. Overall density  $\approx 10$  du/ac limit, impervious  $>35\%$ , and open space  $> 40\%$  ( $\geq 25\%$  required). No variances or waivers are requested.

**(vi) Avoidance of isolated zoning**

The proposal remains within the existing PD-2 Overlay District and does not create an isolated zoning area. It reinforces established land-use patterns and provides a compatible transition between hospital and residential uses. Reinforcing the established uses already existing for the Palmetto Commons residential community in PD-2 at 13.6 units per acre and the residential uses for commercial conversion through the WFH standards sec. 16-4-105

**(vii) Reasonably viable economic use**

The hurricane-damaged medical structures are beyond repair and unsuitable for reuse. Redevelopment as workforce housing provides a viable and productive economic use that supports the hospital workforce and community objectives while preserving environmental resources.

**(viii) Adequacy of public facilities**

Public facilities and services are adequate. Access geometry and firetruck turning radius meet Town standards; water and sewer service confirmed; and LID basins ( $\geq 20$  ft from wetlands) maintain post-development runoff  $\leq$  pre-development conditions.

**(ix) Changed or changing conditions**

Recent adoption of the Workforce Housing Framework: Finding Home and increased healthcare employment represent changing conditions warranting this PD-2 Master Plan update. The amendment enables context-sensitive residential use that aligns with current policy and sustains district-wide compliance metrics.

## Section 7. PD-2 Design Standards: #CUR-3-88 Palmetto Headlands / Hilton Head Hospital

Per 16-3-106.G.6 (a–h)

*Please reference Appendix A for additional detail.*

- (a) Arrangement considering natural features, drainage, views, access, surrounding uses
- Development confined to upland areas, preserving wetlands and open space within the 12.66-acre site
  - The site layout follows existing topography and drainage patterns, providing a 35-ft average / 20-ft minimum wetland buffer with an additional 5-ft structural setback from the certified USACE/DES delineation line, in compliance with LMO 16-6-102.D.2.
  - Along the Hilton Head Plantation boundary, a minimum Type B buffer is provided per LMO 16-5-103, enhanced to Type C Option 2 within 50'-0" of Hilton Head Plantation residential lots with residential use, incorporating  $\geq 50\%$  natural plantings and a 6–7 ft opaque fence to protect residential views and privacy.
  - Lighting complies with the Town's Dark-Sky standards, utilizing Palmetto Electric's full-cutoff LED fixtures and meeting or exceeding the LMO standards.
- (b) **Clustering to preserve features / provide open space**
- Clustering logic. Density is organized into (12) 2 story buildings, calibrated to keep impervious  $>35\%$  and hold  $>40\%$  of the site in open space.
  - Open-space structure. Landscape plan establishes contiguous greens that link buffers, stormwater LID, and pedestrian commons (mail/pavilion nodes), rather than isolated pockets.
  - Tree preservation workflow. Pre-clearing meeting establishes orange tree-save fencing limits; arborist field-walk confirms protection details to the supplemented current tree inventory as "Attachment C" to this application.
- (c) **Integrated circulation system**
- A loop-street system provides full vehicular circulation and emergency access with radius meeting Fire Rescue standards.
  - Sidewalks and marked crossings connect buildings to shared amenities, the mail kiosk, and a frontage path on Bethea Drive. Bicycle racks are located at the multifamily entry, pavilion, and kiosk, encouraging non-vehicular mobility.
  - Pedestrian-first setbacks. A landscaped frontage zone (walk + planting) separates buildings from parking throughout.
- (d) **Infrastructure integration with environmental factors**
- Stormwater design follows the 2023 Town of Hilton Head Island Stormwater Standards, incorporating Low-Impact Development (LID) features such as bio-retention basins, vegetated swales, and sediment forebays located  $\geq 20$  ft from wetlands.
  - Post-development discharge rates and volumes remain at or below pre-development conditions.
  - Utility corridors align with existing hospital infrastructure to minimize new disturbance.
- (e) **Design & sizing proportionate to demand**
- Program right-sizing. A Proposed 114 units meet PD-2 and workforce objectives without exhausting district capacity; parking meets requirements, provides a small operational buffer without over-paving.

- Utility capacity checks. Ward Edwards confirmed downstream sewer and potable capacity with utility providers; fire flow meets hydrant spacing/pressure criteria.
- Operations planning. Trash/compactor and delivery areas are sited off the loop with no backing over pedestrian routes; postal and rideshare lay-bys are included to prevent conflicts.

**(f) Open space ownership / maintenance**

- Recorded covenants. CCDC will own/maintain buffers, trails, LID basins, and amenities under recorded 99-year covenants; reserve funding is modeled in the O&M plan.
- O&M manuals. LID protocols have seasonal maintenance checklists (mow heights, sediment cleanout thresholds, re-planting protocols), coordinated with Tiller’s planting schedule.
- Annual reporting. CCDC will prepare an annual open space/O&M compliance letter for Town records, aligning with workforce housing reporting cadence.

**(g) Architectural guidelines (*Detail in Appendix A*)**

Architectural design and community standards comply with the PD-2 Design Manual and the *Nightingale Commons – Rules & Regulations and Architectural Standards* (Appendix A). These standards codify the Town’s Lowcountry design principles into enforceable specifications for building form, materials, color palette, lighting, fencing, and stormwater integration.

● **Architectural Materials and Finishes**

Primary façades will use durable, high-quality materials such as fiber-cement siding (Hardie Plank or Boral), stucco, or brick, with limited wood accents. Color palettes are restricted to muted coastal tones compatible with Hilton Head’s natural environment.

● **Roof Design and Materials**

Roofs will be gable, hip, or shed; flat roofs are prohibited. Architectural-grade asphalt shingles are the primary material, with metal accents allowed on non-plantation-facing elevations only. All roof assemblies are engineered for high wind loads and use energy-efficient underlayment systems.

● **Setbacks, Height, and Building Separation**

PD-2 standards are observed, including a 20-foot undisturbed buffer along the Hilton Head Plantation line and an additional 5-foot structural setback for townhomes. Two-story porches or decks are prohibited within 50 feet of the shared property line of Hilton Head Plantation, and buildings are limited to two stories above natural grade. Building separation is  $\geq 15$  ft (7.5 ft per side).

● **Buffers, Screening, and Fencing**

A minimum Type B buffer is provided along the Hilton Head Plantation (HHP) boundary in accordance with LMO 16-5-103, enhanced to Type C Option 2 where space and context permit to provide additional evergreen screening. The buffer includes a 6–7 ft opaque “Charleston Green” privacy fence installed on the interior edge. Final planting mix and fence design will be coordinated with the HHP POA/ARB to ensure visual and material compatibility.

● **Lighting**

All lighting complies with Town LMO standards and is provided through the Palmetto Electric Lighting Program. Fixtures are fully shielded, down-directed, with no visible bulbs or floodlights on façades facing Hilton Head Plantation. Rear facing floodlights are explicitly not permitted.

● **Exterior Restrictions and Accessory Elements**

No banners, flags, flagpoles, fire pits, or pools/spas above 18 inches are permitted beyond rear setbacks or on elevations facing Hilton Head Plantation. Trash and service areas are centralized and architecturally screened.

- **Parking, Mobility, and Drainage**

Parking meets LMO 16-5-107.D.1 ratios (1.4/1.7/2.0 per bedroom mix) and provides LMO Compliance for the required 186 spaces. Stormwater systems use asphalt with pervious components and LID practices, consistent with the LMO Town standards.

*Reference: Appendix A – Nightingale Commons Rules & Regulations and Architectural Standards; Sheets*

**(h) Sufficient acreage**

- Footprint discipline. The development area occupies <50% of the parcel; 2-story TH standards within the community protects neighborhood scale at the shared property line with Hilton Head Plantation.
- Performance headroom. District-wide metrics remain compliant after this development (impervious <35%), leaving headroom for PD-2 balance.
- Future adaptability. Drives, utilities, and LID facilities are laid out to allow maintenance access without entering buffers and to accommodate minor operational adjustments without regrading.

**Why this meets and exceeds 16-3-106.G.6**

- Development clustered entirely on uplands; wetlands preserved 100 %.
- Buffers, setbacks, and impervious limits meet or exceed PD-2 requirements.
- LID stormwater design integrates sustainability and access.
- Architectural standards codified in Appendix A ensure long-term compatibility and quality.
- CCDC covenants provide enduring maintenance and reporting obligations.

# **Hilton Head Medical Workforce Housing Conceptual Master Plan**

### DEVELOPMENT SUMMARY

TOTAL ACRES	+/- 12.66 ACRES
PARCEL ID:	DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452
ZONING:	MEDICAL DISTRICT (MED)
PD-2:	PALMETTO HEADLANDS / HILTON HEAD HOSPITAL (CUR-3-88)
PROPOSED USE:	WORKFORCE HOUSING
PROPOSED DENSITY:	10.0 DU/ACRE
MAXIMUM STRUCTURE	45' HEIGHT
MAXIMUM IMPERVIOUS	35%
OPEN SPACE	70%
FEMA FLOOD ZONE	X

### POTENTIAL UNIT YIELDS

TOTAL BLDG YIELD	12 BUILDINGS
TOTAL UNIT YIELD	114 UNITS
1 BEDROOM TOWNHOUSE	38 DWELLING UNITS
2 BEDROOM TOWNHOUSE	66 DWELLING UNITS
3 BEDROOM TOWNHOUSE	10 DWELLING UNITS

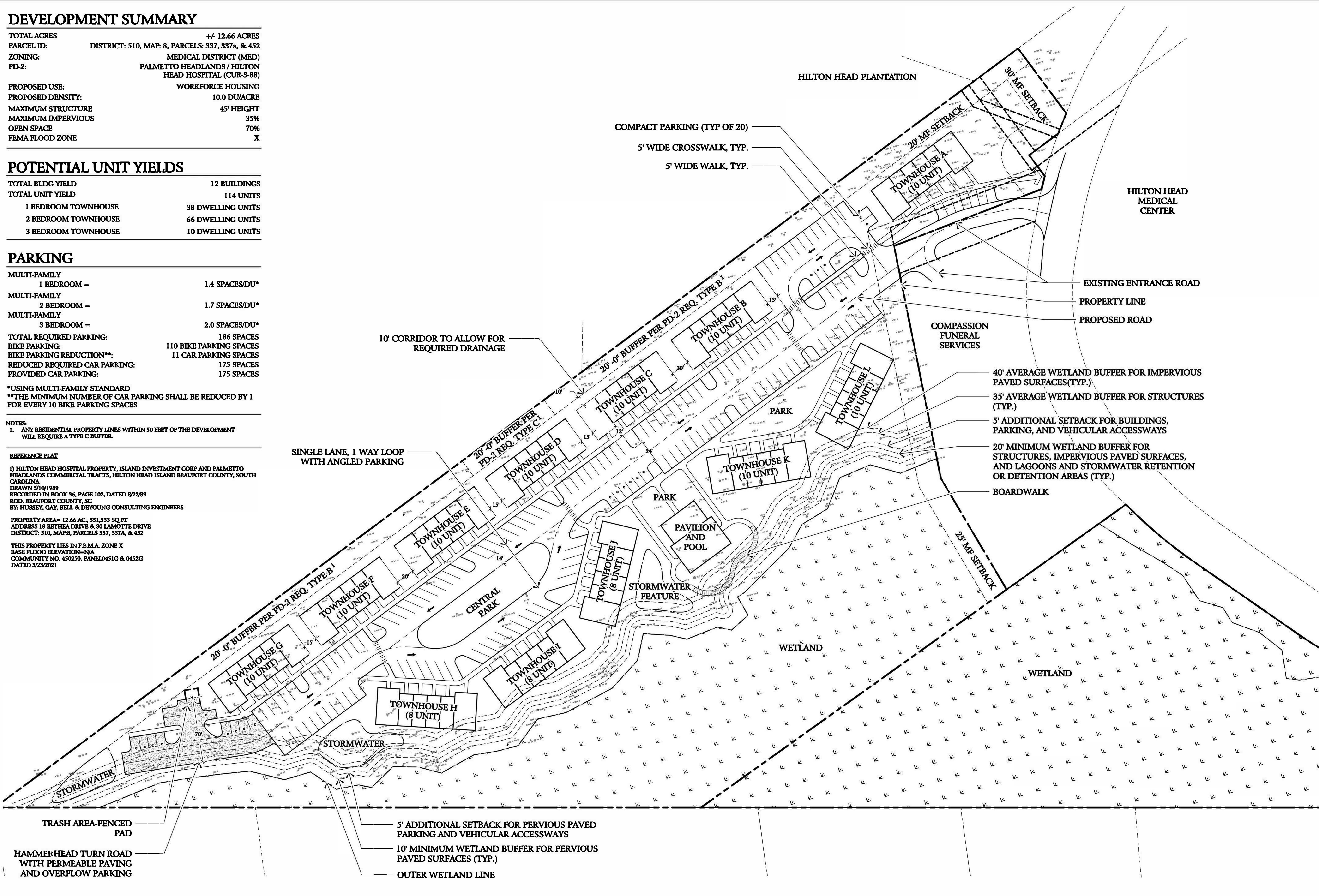
### PARKING

MULTI-FAMILY		
1 BEDROOM =	1.4 SPACES/DU*	
MULTI-FAMILY		
2 BEDROOM =	1.7 SPACES/DU*	
MULTI-FAMILY		
3 BEDROOM =	2.0 SPACES/DU*	
TOTAL REQUIRED PARKING:	186 SPACES	
BIKE PARKING:	110 BIKE PARKING SPACES	
BIKE PARKING REDUCTION**:	11 CAR PARKING SPACES	
REDUCED REQUIRED CAR PARKING:	175 SPACES	
PROVIDED CAR PARKING:	175 SPACES	

\*USING MULTI-FAMILY STANDARD  
\*\*THE MINIMUM NUMBER OF CAR PARKING SHALL BE REDUCED BY 1 FOR EVERY 10 BIKE PARKING SPACES

NOTES:  
1. ANY RESIDENTIAL PROPERTY LINES WITHIN 50 FEET OF THIS DEVELOPMENT WILL REQUIRE A TYPE C BUFFER.

REFERENCE PLAT  
1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP AND PALMETTO HEADLANDS COMMERCIAL TRACTS, HILTON HEAD ISLAND BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN 5/10/1989  
RECORDED IN BOOK 36, PAGE 102, DATED 8/22/89  
ROD. BEAUFORT COUNTY, SC  
BY: HUSSEY, GAY, BELL & DEYOUNG CONSULTING ENGINEERS  
PROPERTY AREA= 12.66 AC., 551,533 SQ. FT.  
ADDRESS 18 BETHA DRIVE & 30 LAMOTTE DRIVE  
DISTRICT: 510, MAP: 8, PARCELS 337, 337A, & 452  
THIS PROPERTY LIES IN P.E.M.A. ZONE X  
BASE FLOOD ELEVATION-N/A  
COMMUNITY NO. 450250, PARCEL#0451G & 0452G  
DATED 3/23/2021



### Stormwater Management & Drainage Design Criteria

- Purpose:** These standards establish the minimum requirements for stormwater management and drainage within the Master Planned Community. The goal is to protect property, infrastructure, and natural resources by ensuring that development respects hydrological systems, manages runoff responsibly, and maintains high community design quality.
- General Design Requirements:**
  - Design Methodology: USDA NRCS TR-55 (preferred)
  - Rational Method (2.0 acres, isolated catchment), or other approved methods. Designs must consider watershed-wide impacts.
  - Site: Areas include all contiguous and noncontiguous parcels under common ownership or linked by drainage easements.
  - Design Storm: 25-year frequency, 24-hour duration, 8.4-inch rainfall, AMC II.
  - Engineering Checklist: Detailed checklist available from the Community Engineer.
- Peak Discharge Management:** Post-development discharge shall not exceed pre-development discharge. Redevelopment sites use existing conditions as baseline. BMPs are required. Exceptions apply only where adequate tidal discharge conveyance exists or is demonstrated.
- Runoff Retention & Detention:**
  - First Inch of Runoff: Retain or infiltrate minimum 1 inch on-site. No major canal retention permitted. State approval required where applicable.
  - Detention: Percolation: Must maintain pre-development discharge rates. Off-site facilities may be used if approved, permanently recorded, maintained, and funded by developer.
- Facility Design Standards:**
  - Minimum 0.5 feet of freeboard above design storm peak elevation
  - Design for 10-year sediment loads
  - Minimum side slopes 3:1 (B:V)
  - Meandering channels encouraged
  - Stabilized banks required
- Outfall Requirements:** Developers must provide adequate outfall facilities if existing downstream systems cannot handle the proposed discharge.
- Use of Wetlands:** Wetlands may serve for retention with approval. Regulated wetlands cannot be deprived of required runoff or lowered water tables. BMPs near wetlands must include dispersion devices ensuring non-erosive discharge velocities.
- Landscape Integration:** Landscape design shall enhance stormwater management through infiltration, detention, filtration, and LID strategies. Plantings or grading may not obstruct drainage or facility maintenance.
- Inspection & Certification:** A South Carolina-licensed Professional Engineer must certify construction prior to Certificate of Compliance. Community Engineer will inspect facilities, and deficiencies must be corrected before approval.

Single Family (including accessory structures and porches or impervious surfaces)	Minimum: 20 feet	N/A
Multi-family	Average: 35 feet Minimum: 15 feet	Average: 35 feet Minimum: 10 feet
Non-residential Development	Average: 40 feet Minimum: 20 feet	Average: 35 feet Minimum: 20 feet
Impervious Paved Surfaces	Average: 50 feet Minimum: 25 feet	Average: 40 feet Minimum: 20 feet
Lagoons and Stormwater Retention or Detention Areas	N/A	Minimum: 20 feet

NOTES: n/a = not applicable  
1. Measured from the outer edge of the wetland, as certified in writing by U.S. Army Corps of Engineers USACE, a town-approved wetlands consultant, or County or Coastal Resource Management (CRMS).  
2. Average buffer width is determined by quantifying the buffer width for every 10-foot linear increment of pervious surface, impervious surface, or structure, as appropriate, summing these, and dividing the number of increments measured. Quantification of each increment of buffer shall be approved by the official.  
3. Buildings, surface parking lots, and similar structures shall be set back at least 5 feet beyond the outer edge of the wetland buffer.

### AVERAGE WETLAND BUFFER

STRUCTURES	AVERAGE BUFFER
TOWNHOUSE A-G	N/A
TOWNHOUSE H	40.65'
TOWNHOUSE I	40.56'
TOWNHOUSE J	65.60'
PAVILION AND POOL	51.66'
TOWNHOUSE K	63.68'
TOWNHOUSE L	67.54'

### PROPERTY BUFFER REQUIREMENTS

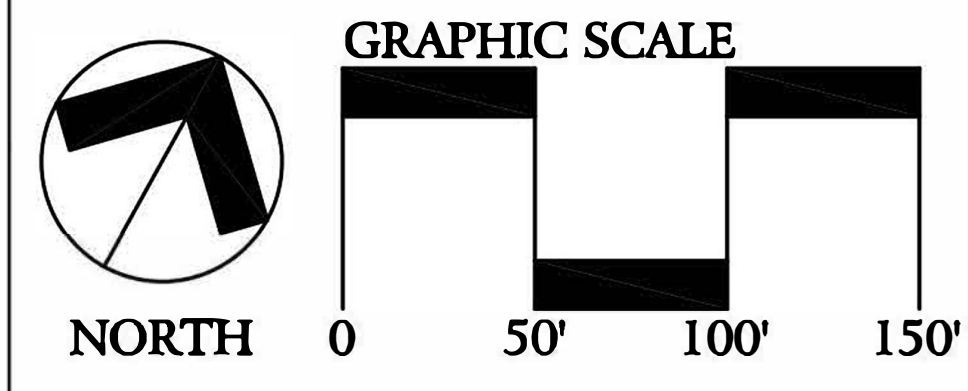
- BUFFER TYPE B - OPTION 2**  
WIDTH: 15' MINIMUM (ELEVATED TO 20' PER PD-2 REQ.)  
OVERSTORY TREE: 4 TREES/100 LF  
UNDERSTORY TREE: 8 TREES/100 LF  
SHRUBS: 12 SHRUBS/100 LF
- BUFFER TYPE C - OPTION 2**  
WIDTH: 15' MINIMUM (ELEVATED TO 20' PER PD-2 REQ.)  
OVERSTORY TREE: 4 TREES/100 LF  
UNDERSTORY TREE: 6 TREES/100 LF  
EVERGREEN TREES: 50% MINIMUM  
-SOLID WALL/FENCE (MINIMUM HEIGHT 3')  
OR  
-SOLID EVERGREEN HEDGE (MINIMUM HEIGHT 3')

PREPARED FOR:  
NOVANT HEALTH ON BEHALF OF ABODE  
PREPARED BY:

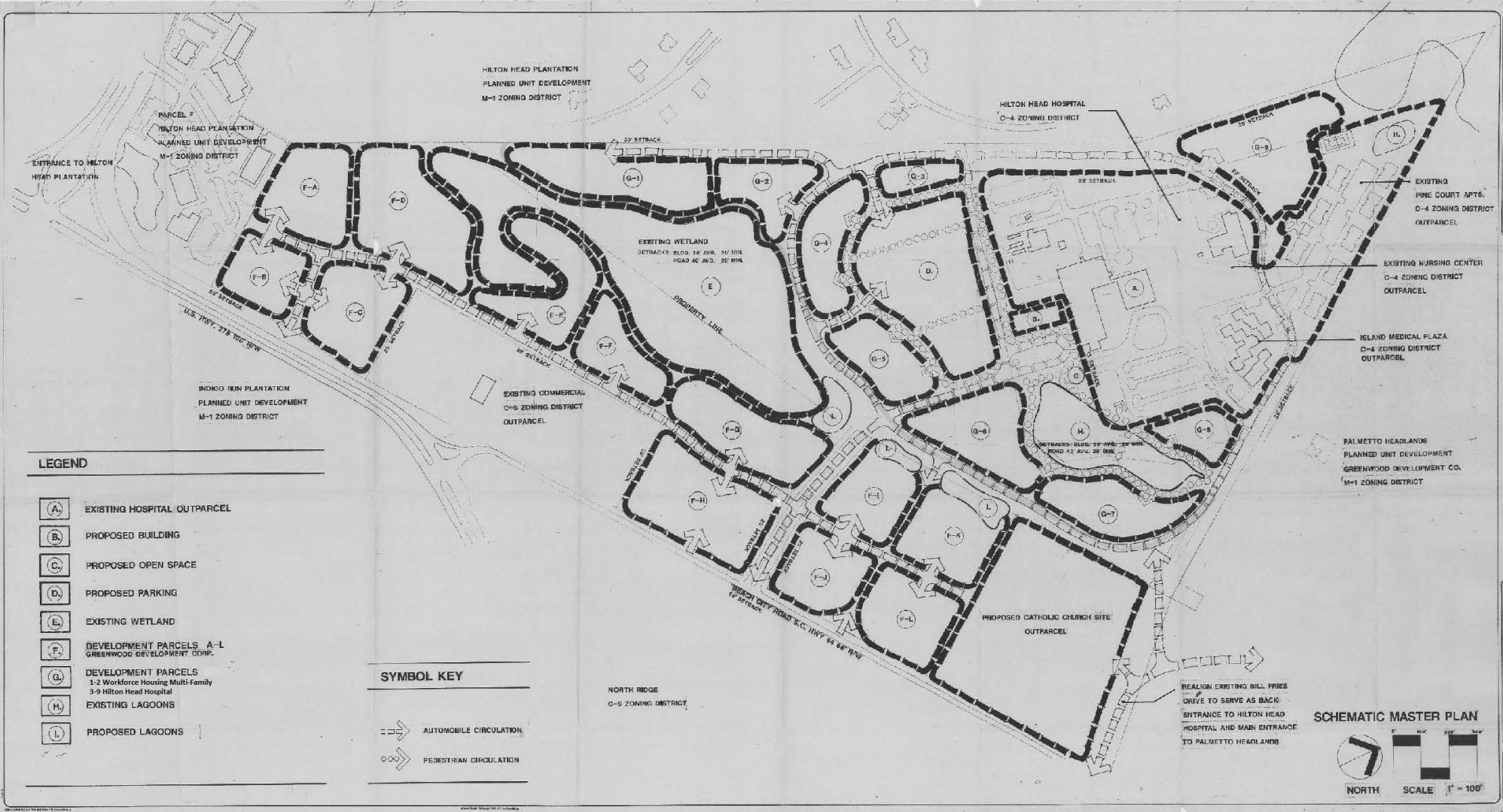
**J. K. TILLER ASSOCIATES, INC.**  
LAND PLANNING LANDSCAPE ARCHITECTURE  
181 BLUFFTON ROAD, SUITE 3104 BLUFFTON, SC 29910  
Voice 843.815.4800 jktiller@jktiller.com Fax 843.815.4802

# HILTON HEAD MEDICAL TOWNHOUSES MASTER PLAN

TOWN OF HILTON HEAD, SOUTH CAROLINA  
NOVEMBER 07, 2025



**Proposed #CUR-3-88 Master Plan Overlay  
Palmetto Headlands / Hilton Head Hospital PD-2**



- LEGEND**
- (A) EXISTING HOSPITAL OUTPARCEL
  - (B) PROPOSED BUILDING
  - (C) PROPOSED OPEN SPACE
  - (D) PROPOSED PARKING
  - (E) EXISTING WETLAND
  - (F) DEVELOPMENT PARCELS A-L GREENWOOD DEVELOPMENT CORP.
  - (G) DEVELOPMENT PARCELS 1-2 Workforce Housing Multi-Family 3-9 Hilton Head Hospital
  - (H) EXISTING LAGOONS
  - (L) PROPOSED LAGOONS

- SYMBOL KEY**
- AUTOMOBILE CIRCULATION
  - ○ ○ PEDESTRIAN CIRCULATION

NORTH RIDGE  
 G-5 ZONING DISTRICT

**SCHEMATIC MASTER PLAN**

REALIGN EXISTING BILL FRIES DRIVE TO SERVE AS BACK ENTRANCE TO HILTON HEAD HOSPITAL AND MAIN ENTRANCE TO PALMETTO HEADLANDS

NORTH

SCALE 1" = 100'

**HILTON HEAD HOSPITAL MEDICAL COMPLEX SCHEMATIC MASTER PLAN HILTON HEAD ISLAND, S.C.**

Edward Pinckney Associates, Ltd.  
 Landscape Architects and Planners  
 1000 North 50th Avenue  
 Suite 200  
 Fort Lauderdale, FL 33309  
 Phone: (954) 551-5555  
 Fax: (954) 551-5556

Sheet Title: SCHEMATIC MASTER PLAN  
 Job Number: 2025-001007  
 Date: 08/20/25  
 Designer: [Blank]  
 Approver: [Blank]  
 Revisions: [Blank]

Sheet: [Blank] of [Blank]

## **Appendix A: Architectural and Community Design Standards Summary**

These standards are adopted in fulfillment of LMO 16-3-106.G.6(g) Architectural Guidelines

### **Purpose**

These standards have been prepared collaboratively by J.K. Tiller Associates, Inc. (land planning and landscape architecture), Ward Edwards (site/civil engineering and infrastructure), and in coordination with the Hilton Head Plantation Property Owners' Association (POA) and Architectural Review Board (ARB). All provisions are binding and will be implemented through site plan approval, building permit review, and long-term management by the Coastal Community Development Corporation (CCDC).

### **1. Architectural Materials and Finishes**

- All structures shall have exterior walls constructed of Hardie Plank, Boral siding, stucco, or brick.
- Vinyl siding shall not be permitted.
- Color palettes shall reflect muted coastal tones drawn from the Lowcountry vernacular. Bright, reflective, or high-contrast colors are prohibited.
- Trim and accent materials shall be of equal durability to the primary siding and compatible in tone.
- All foundations shall be finished in brick, stucco, or parged concrete consistent with the primary building material.

### **2. Roof Design and Materials**

- Roof structures shall be gable, hip, or shed in form to complement the Lowcountry architectural style.
- Roofing shall be architectural-grade asphalt shingles or metal with non-reflective coatings.
- Reflective or galvanized finishes are not permitted.
- Dormers and gables may be incorporated for articulation and balance.
- All roof penetrations, vents, and mechanical units shall be painted to match the roof color and fully screened from view.

### **3. Setbacks, Height, and Building Separation**

- All structures shall comply with the dimensional standards of the PD-2 Master Plan and applicable sections of the LMO.
- A minimum 20-foot PD-2 buffer shall be provided along the Hilton Head Plantation boundary, and all buildings shall maintain an additional 5-foot structural setback beyond the buffer.
- No encroachments—including walls, pavement, or accessory structures—shall occur within the buffer.
- Maximum building height shall not exceed 45 feet and 2 stories over natural grade
- A minimum 15-foot building separation, or 7'-6" each side, shall be maintained between principal structures to allow for fire access and privacy.

#### 4. Buffers, Screening, and Fencing

- A minimum Type B buffer shall be provided along the PD-2 boundary with Hilton Head Plantation, enhanced to Type C Option 2 where space and context allow, consistent with LMO § 16-5-103 and the Palmetto Headlands / Hilton Head Hospital PD-2 (CUR-3-88) standards.
- Plantings shall include  $\geq 50$  percent native species, and a 6- to 7-foot opaque fence, painted Charleston Green, shall be installed along the interior edge of the buffer within 50'-0" of adjacent residential lots with residential uses.
- Fencing materials shall be wood or high-quality composite consistent with the architectural character of the principal buildings.
- All plantings shall be irrigated and maintained in a healthy condition; replacement shall occur promptly when vegetation fails to survive.
- No parking, light poles, utilities, or paved areas shall encroach into required buffers or the 5-foot structural setback beyond the buffer edge.
- Final buffer planting mix, fence profile, and berm configuration shall be coordinated with the Hilton Head Plantation POA/ARB to ensure material and visual compatibility.

#### 5. Lighting

- All site lighting shall be full cut-off LED fixtures provided through Palmetto Electric's Lighting plan to meet or exceed the LMO standards.
- No uplighting, wall-wash, or façade floodlighting shall be permitted as "landscape lighting"
- Light poles shall not exceed 14 feet in height
- Exterior lighting shall be controlled by timers or photocells to minimize after-hours illumination.
- Lighting for pedestrian areas shall balance safety and dark-sky compliance.

#### 6. Exterior Restrictions and Ancillary Features

- No banners, flags, or temporary signage shall be permitted except as authorized by the Town.
- No exterior storage of materials, above-ground propane tanks, recreational vehicles, or equipment shall be visible from public rights-of-way.
- No rear-yard fire pits, spas, structures over 18" or outdoor kitchens shall be permitted on properties abutting Hilton Head Plantation within the 5'-0" setback. Patios are permitted on the lower level only in the setback not to encroach into the buffer.
- All service line utilities shall be located underground or screened from view.

#### 7. Waste and Service Areas

- Trash, recycling, and service areas shall be consolidated within a centralized, screened enclosure.
- Enclosure walls shall be constructed of materials consistent with the adjacent building
- Gates shall remain closed except during servicing.
- Collection hours shall comply with the Town's noise and sanitation ordinances.

## 8. Parking and Mobility

- Parking shall be provided at the following ratios: 1.4 spaces per one-bedroom unit, 1.7 spaces per two-bedroom unit, and 2.0 spaces per three-bedroom unit
- Bicycle racks shall be installed at the multifamily building entry, mail kiosk, and community pavilion.
- All parking areas shall be located outside of required buffers and setbacks.
- Pedestrian pathways shall connect parking areas to all buildings and amenities via sidewalks.

## 9. Noise and Conduct

- All residents and guests shall comply with Town noise ordinances and property-management rules.
- No amplified outdoor music shall occur on the rear of townhome buildings A-G along the Hilton Head Plantation Property line.
- Outdoor activities shall be limited to designated amenity areas and during permitted hours.
- Management shall maintain a system for responding promptly to noise complaints and shall document any violations.

## 10. Stormwater and Drainage

- Stormwater management shall comply with the 2023 Town of Hilton Head Island standards.
- Low Impact Development (LID) methods—including bio-retention, infiltration swales, and vegetated channels—shall be utilized wherever practical.
- All detention facilities shall be located a minimum of 20 feet from the certified wetland edge and shall include forebays for first-flush capture.
- Native wetland and upland vegetation shall be used to stabilize slopes and provide filtration.
- An approved Operations and Maintenance Plan shall guide routine inspection, sediment removal, and vegetation management.

## 11. Administration and Enforcement

- These standards shall be incorporated into approved construction documents and enforced through the Town's development-review and inspection process.
- Final buffer and fence designs shall be reviewed with the Hilton Head Plantation ARB prior to implementation of the final buffer installation.
- Post-occupancy, CCDC shall perform annual inspections to confirm ongoing compliance with lighting, buffer maintenance, and community-conduct provisions, and shall report findings to the Town as part of its property-management responsibilities.

## Conclusion

These standards ensure that Nightingale Commons maintains the design integrity, environmental sensitivity, and neighborhood compatibility expected within the PD-2 Overlay and OurPlan 2020–2040.

By codifying architectural form, landscape character, and operational behavior, they provide a long-term framework for a well-managed, sustainable, and visually cohesive workforce-housing community.

## Appendix B: Tree Inventory

The site inventory identifies 435 live trees, primarily pines (219) and water oaks (103), based on a field survey measuring DBH in inches. Under Hilton Head Island's Land Management Ordinance, trees are classified as significant or specimen based on species-specific DBH thresholds Per LMO sec 16-6-104.F.1. Total classified trees: 9 (7 significant, 2 specimens). Dead trees (21) are excluded. Multi-stem trees use the largest stem for classification.

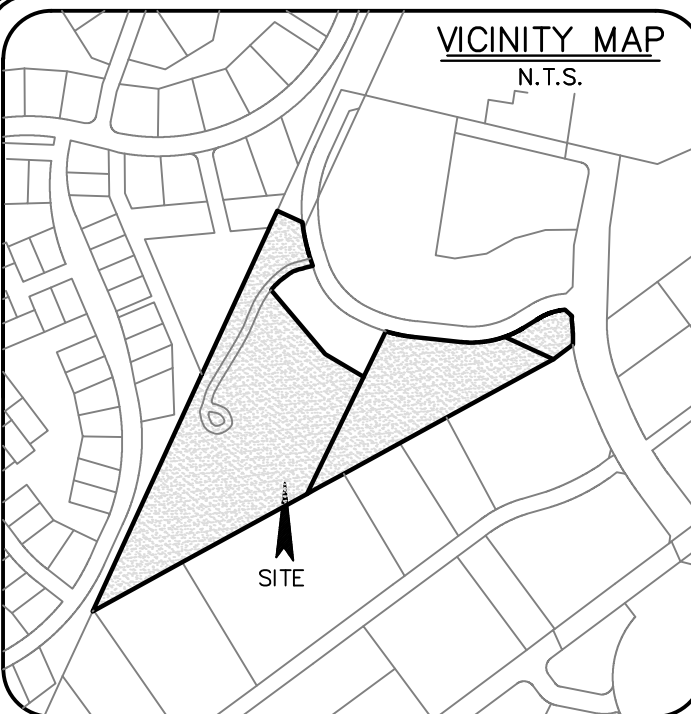
### Key findings:

- Pines: 3 significant (30–34 inches).
- Water oaks: 2 significant (26–28 inches), 1 specimen (30 inches).
- Live oaks: 2 significant (assumed 28 inches), 1 specimen (36 inches).
- Laurel oaks: 1 significant (30 inches).
- Other species (e.g., gums, palms, magnolias, crepe myrtles, red oaks, black gums, maples, tupelo): 14 live trees, none meeting thresholds.

<i>Species</i>	<i>Sig DBH (inches)</i>	<i>Spec DBH (inches)</i>	<i>Total Alive</i>	<i>Significant Trees</i>	<i>Specimen Trees</i>
<i>Pine (PN)</i>	28	35	219	3	0
<i>Water Oak (WO)</i>	24	30	103	2	1
<i>Live Oak (LO)</i>	28	35	31	2	1
<i>Laurel Oak (LA)</i>	28	35	15	1	0
<i>Gum (GUM)</i>	24	30	42	0	0
<i>Palm (PLM)</i>	N/A	N/A	10	0	0
<i>Magnolia (MAG)</i>	24	30	6	0	0
<i>Crape Myrtle (CM)</i>	N/A	N/A	3	0	0
<i>Red Oak (RO)</i>	20	25	2	0	0
<i>Black Gum (BG)</i>	24	30	2	0	0
<i>Maple (MAP)</i>	24	30	1	0	0
<i>Tupelo (TUP)</i>	N/A	N/A	1	0	0

## **Appendix C: Boundary Maps**

*Located on the subsequent 6 pages*



CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	23.59'	468.59'	11.80'	23.59'	S08°58'25"E	002°53'05"
C2	14.46'	468.59'	7.23'	14.45'	S15°15'48"E	001°46'03"
C3	97.29'	519.02'	48.79'	97.15'	S78°47'05"E	010°44'25"
C4	142.30'	317.44'	72.37'	141.11'	N83°00'22"E	025°41'05"
C5	66.78'	660.87'	33.42'	66.75'	N64°08'15"E	005°47'22"
C6	97.37'	223.86'	49.47'	96.60'	S70°33'55"W	024°55'13"
C7	77.78'	511.53'	38.97'	77.71'	S02°42'35"E	008°42'44"

LINE TABLE (WETLAND A)					
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L5	34.03'	N76°25'56"E	L25	26.40'	N51°53'33"E
L6	35.82'	N38°03'37"E	L26	28.42'	N31°54'41"E
L7	36.20'	N07°21'55"W	L27	11.94'	N31°30'34"E
L8	32.44'	N29°38'28"E	L28	25.90'	N75°49'22"E
L9	29.37'	N00°08'40"W	L29	27.46'	N61°55'00"E
L10	68.42'	N16°10'52"E	L30	32.48'	N16°40'51"E
L11	8.62'	N28°27'39"E	L31	14.43'	N72°48'26"E
L12	22.89'	N58°39'25"W	L32	24.31'	N49°34'49"E
L13	24.13'	N19°11'17"E	L33	33.98'	S85°15'58"E
L14	15.66'	N73°30'56"E	L34	29.53'	N44°35'43"E
L15	35.62'	N39°14'28"E	L35	39.18'	N74°52'09"E
L16	18.84'	N74°07'11"E	L36	33.21'	N55°04'12"E
L17	28.99'	N64°40'17"E	L37	37.54'	N53°27'13"E
L18	29.80'	N16°45'52"W	L38	27.90'	N51°41'01"E
L19	40.66'	N13°26'35"E			
L20	22.50'	N32°49'06"E			
L21	34.70'	N33°43'21"E			
L22	31.14'	N48°20'21"E			
L23	35.79'	N07°16'34"E			
L24	22.62'	N46°15'00"E			

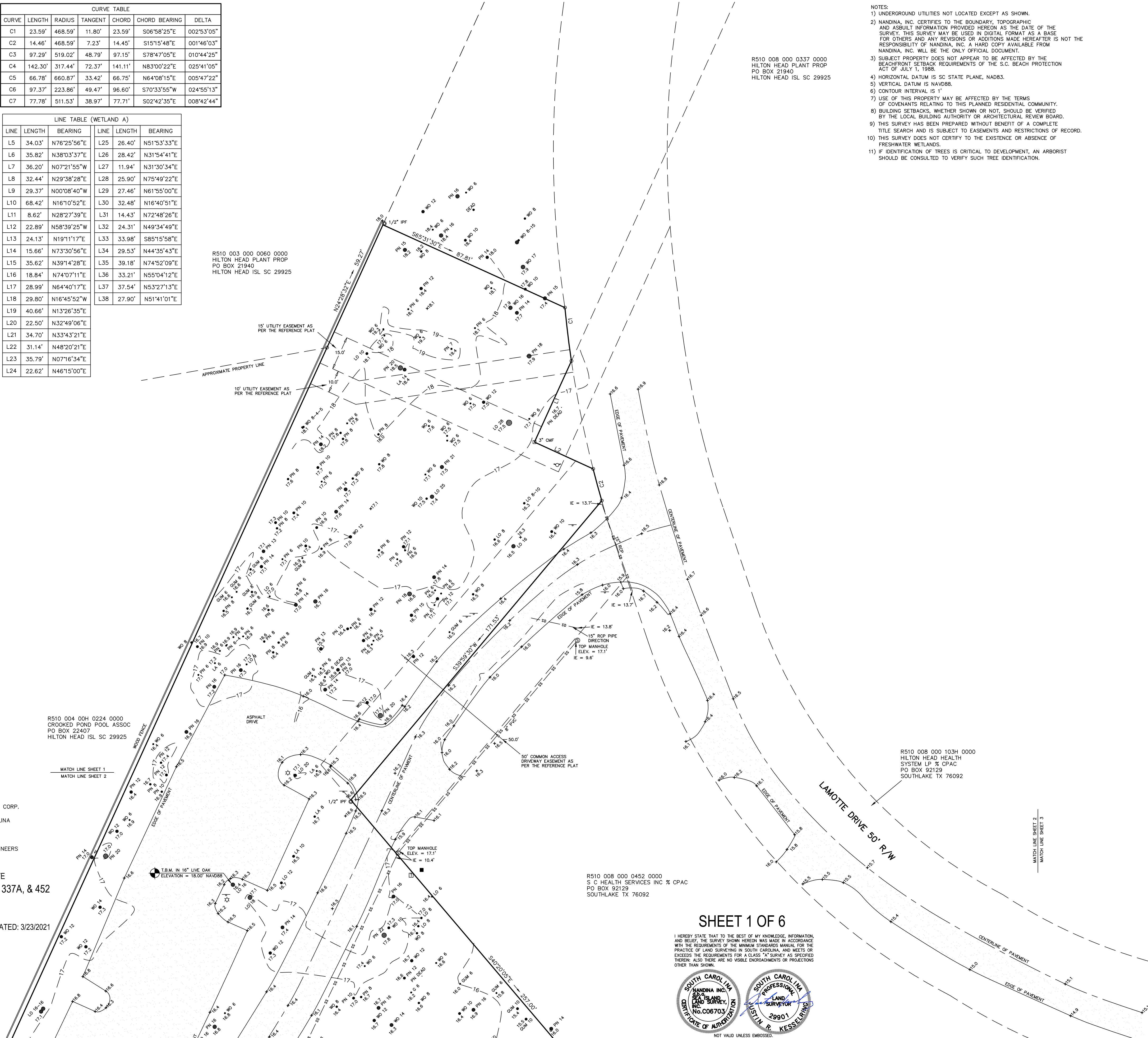
LINE TABLE (BOUNDARY)	
LINE	BEARING
L1	S24°27'40"W
L2	S65°27'43"E
L3	N46°22'20"W
L4	N01°38'55"E

- LEGEND & SYMBOLS:**
- TREE SIZES ARE INCHES IN DIAMETER
- 17.1+ SPOT ELEVATION
  - 13 CONTOUR
  - A33 WETLAND FLAG & ELEVATION
  - 3" CMF 3" CONCRETE MONUMENT FOUND
  - 1/2" IRP 1/2" IRON PIN FOUND
  - 1/2" IRP 1/2" IRON PIN SET
  - TBM TEMPORARY BENCH MARK
  - IE INVERT ELEVATION
  - FFE FINISHED FLOOR ELEVATION
  - PVC POLYVINYL CHLORIDE
  - RCP REINFORCED CONCRETE PIPE
  - LO LIVE OAK
  - LA LAUREL OAK
  - MAG MAGNOLIA
  - RO RED OAK
  - PN PINE
  - PLM PALM
  - WO WATER OAK
  - MAP MAPLE
  - DEAD DEAD TREE NO ID
  - ELM ELM
  - TUP TUPELO
  - GUM GUM
  - BC BLACK GUM
  - CM CREPE MYRTLE
  - ET ELECTRIC TRANSFORMER
  - TS TELEPHONE SERVICE
  - TV TELEVISION SERVICE
  - VB VALVE BOX
  - ICV IRRIGATION CONTROL VALVE
  - SM SANITARY MANHOLE
  - FH FIRE HYDRANT
  - LN LIGHT POLE
  - CB CATCH BASIN
  - WF WETLAND FLAG
  - AC AC UNIT

**REFERENCE PLAT**

1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP. AND PALMETTO HEADLANDS COMMERCIAL TRACTS, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
 DRAWN: 5/10/1989  
 RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89  
 ROD. BEAUFORT COUNTY, SC  
 BY: HUSSEY, GAY, BELL, & DEYOUNG CONSULTING ENGINEERS

PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft.  
 ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE  
 DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452  
 THIS PROPERTY LIES IN F.E.M.A. ZONE X  
 BASE FLOOD ELEVATION = N/A  
 COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021



R510 008 000 0337 0000  
 HILTON HEAD PLANT PROP  
 PO BOX 21940  
 HILTON HEAD ISL SC 29925

R510 003 000 0060 0000  
 HILTON HEAD PLANT PROP  
 PO BOX 21940  
 HILTON HEAD ISL SC 29925

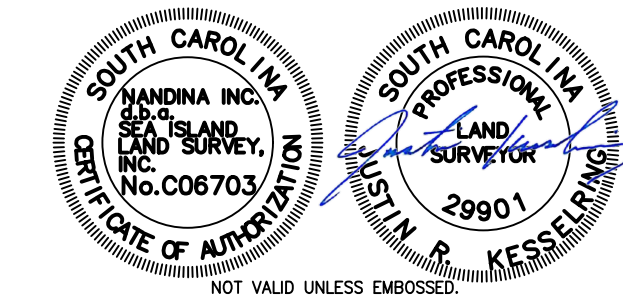
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 CROOKED POND POOL ASSOC  
 PO BOX 22407  
 HILTON HEAD ISL SC 29925

R510 008 000 103H 0000  
 HILTON HEAD HEALTH  
 SYSTEM LP % CPAC  
 PO BOX 92129  
 SOUTHLAKE TX 76092

R510 008 000 0452 0000  
 S C HEALTH SERVICES INC % CPAC  
 PO BOX 92129  
 SOUTHLAKE TX 76092

**SHEET 1 OF 6**

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



- NOTES:**
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - 2) NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
  - 4) HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
  - 5) VERTICAL DATUM IS NAVD83.
  - 6) CONTOUR INTERVAL IS 1'
  - 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - 8) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - 10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

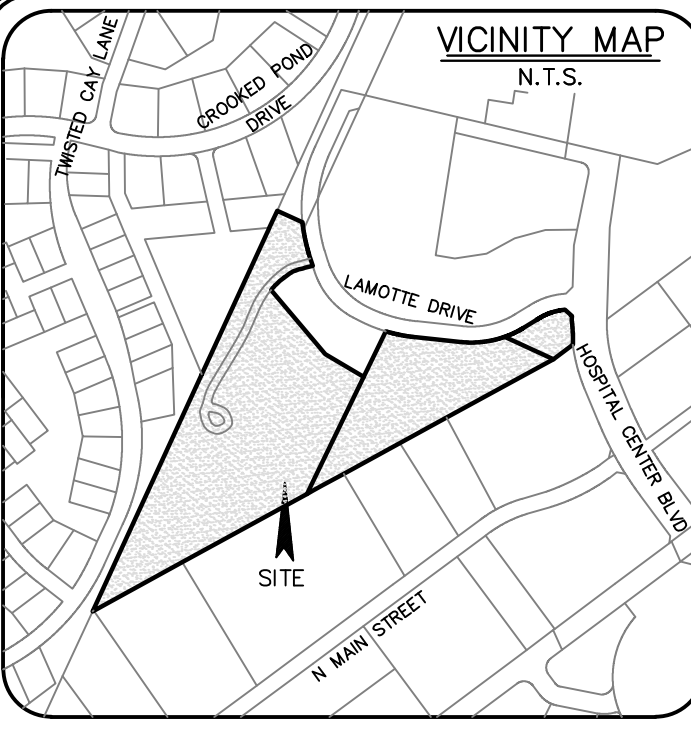
ASBLUIT, BOUNDARY, TREE AND TOPOGRAPHIC SURVEY OF:  
 PARCELS 337, 337A, & 452, HILTON HEAD HOSPITAL PROPERTY, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:  
 HILTON HEAD REGIONAL HEALTHCARE

DATE: 02/26/2025 SCALE: 1" = 20'  
 GRAPHIC SCALE: 0 20 40 60



d.b.a. Sea Island Land Survey, Inc.  
 10 Oak Park Drive, Unit C1,  
 Hilton Head Island, SC 29926  
 Tel (843) 681-3248  
 email: admin@nandinainc.com  
 FILE No.: 23260.2 DWG No.: 4-23260.2  
 COPYRIGHT © BY NANDINA, INC. CAD: CC, CP, FLD: DB, MW

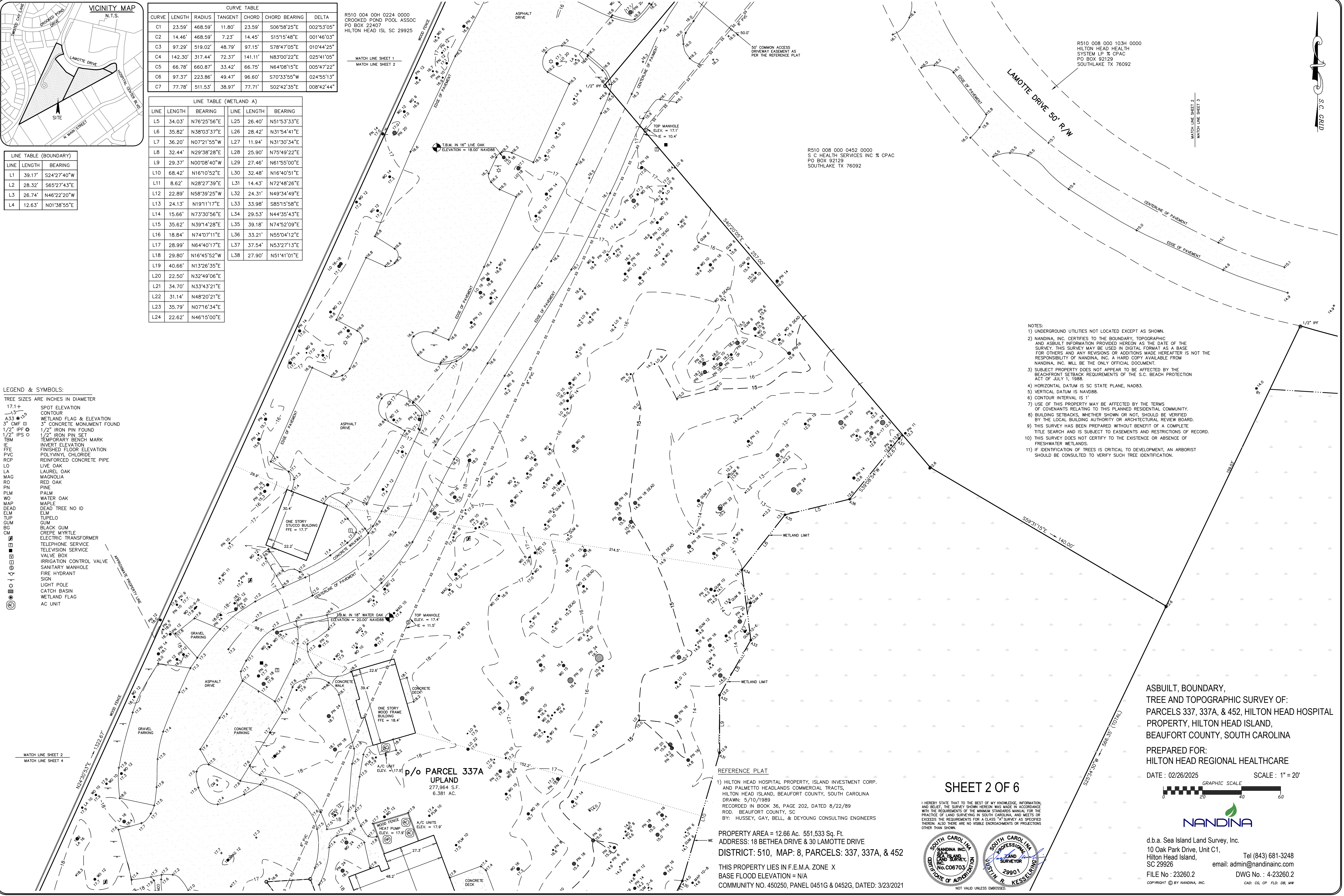


CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	23.59'	468.59'	11.80'	23.59'	S08°58'25"E	002°53'05"
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LINE	LENGTH	BEARING
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- TREE SIZES ARE INCHES IN DIAMETER
- 17.1+ SPOT ELEVATION
  - 13- CONTOUR
  - A33 WETLAND FLAG & ELEVATION
  - 3" CMF 3" CONCRETE MONUMENT FOUND
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  - GUM GUM
  - BG BLACK GUM
  - CM CREPE MYRTLE
  - ET ELECTRIC TRANSFORMER
  - TS TELEPHONE SERVICE
  - TV TELEVISION SERVICE
  - VB VALVE BOX
  - ICV IRRIGATION CONTROL VALVE
  - SM SANITARY MANHOLE
  - FH FIRE HYDRANT
  - SG SIGN
  - LP LIGHT POLE
  - CB CATCH BASIN
  - WF WETLAND FLAG
  - AC AC UNIT



R510 008 000 0452 0000  
S C HEALTH SERVICES INC % CPAC  
PO BOX 92129  
SOUTH LAKE TX 76092

- NOTES:**
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  - NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBLUIT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
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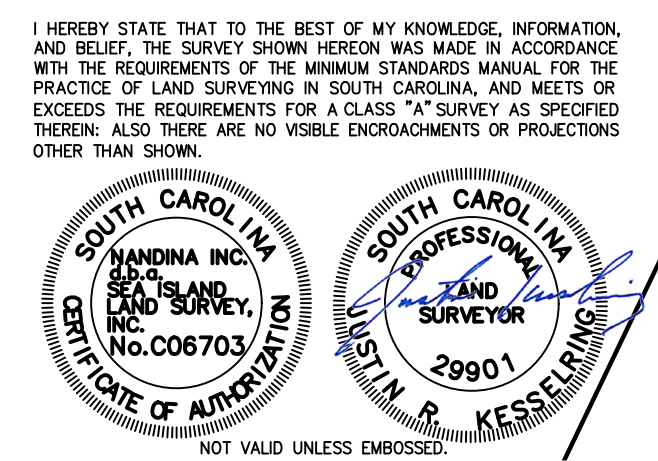
p/o PARCEL 337A  
UPLAND  
277,964 S.F.  
6.381 AC.

**REFERENCE PLAT**

1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP. AND PALMETTO HEADLANDS COMMERCIAL TRACTS, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN: 5/10/1989  
RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89  
ROAD: BEAUFORT COUNTY, SC  
BY: HUSSEY, GAY, BELL, & DEYOING CONSULTING ENGINEERS

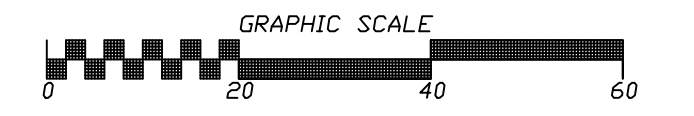
PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft.  
ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE  
DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452  
THIS PROPERTY LIES IN F.E.M.A. ZONE X  
BASE FLOOD ELEVATION = N/A  
COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021

**SHEET 2 OF 6**

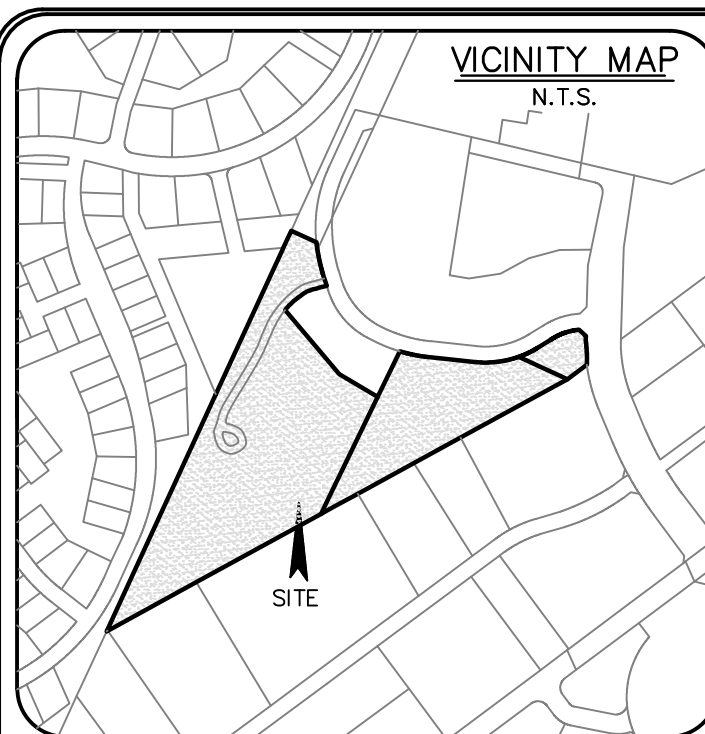


ASBLUIT, BOUNDARY,  
TREE AND TOPOGRAPHIC SURVEY OF:  
PARCELS 337, 337A, & 452, HILTON HEAD HOSPITAL  
PROPERTY, HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:  
HILTON HEAD REGIONAL HEALTHCARE  
DATE: 02/26/2025 SCALE: 1" = 20'



d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926  
Tel (843) 681-3248  
email: admin@nandinainc.com  
FILE No.: 23260.2  
DWG No.: 4-23260.2  
COPYRIGHT © BY NANDINA, INC. CAD: CG, FL, DR, MW



CURVE TABLE						
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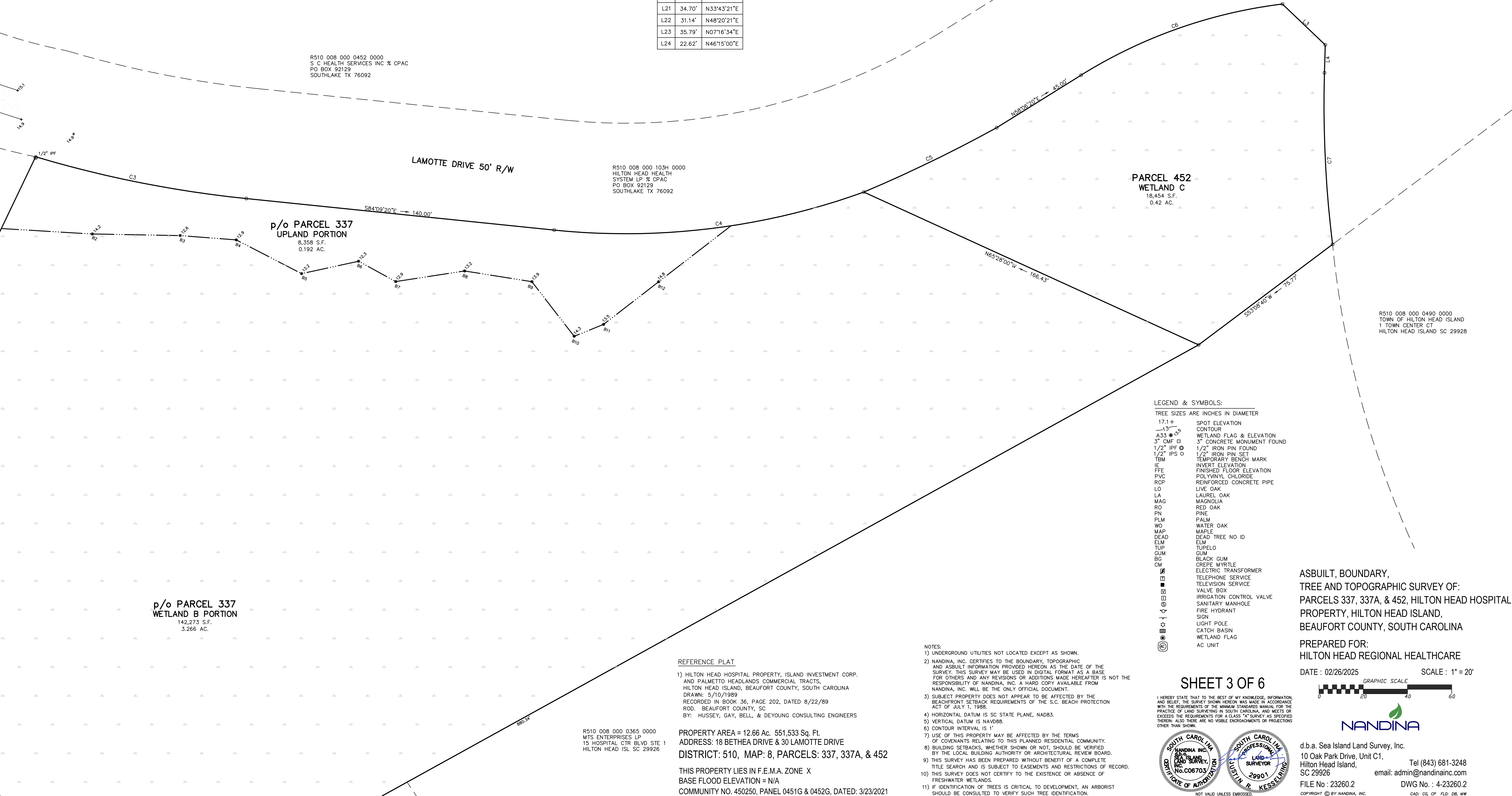
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R510 008 000 0452 0000  
S C HEALTH SERVICES INC % CPAC  
PO BOX 92129  
SOUTHLAKE TX 76092

R510 008 000 103H 0000  
HILTON HEAD HEALTH  
SYSTEM LP % CPAC  
PO BOX 92129  
SOUTHLAKE TX 76092

R510 008 000 103H 0000  
HILTON HEAD HEALTH  
SYSTEM LP % CPAC  
PO BOX 92129  
SOUTHLAKE TX 76092

R510 008 000 0490 0000  
TOWN OF HILTON HEAD ISLAND  
1 TOWN CENTER CT  
HILTON HEAD ISLAND SC 29928



p/o PARCEL 337  
WETLAND B PORTION  
142,273 S.F.  
3.266 AC.

p/o PARCEL 337  
UPLAND PORTION  
8,358 S.F.  
0.192 AC.

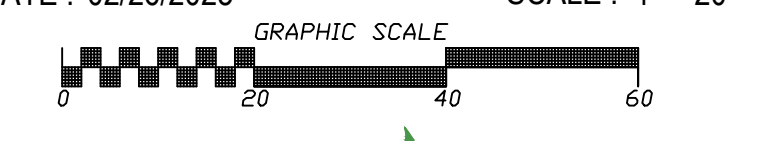
PARCEL 452  
WETLAND C  
18,454 S.F.  
0.42 AC.

- LEGEND & SYMBOLS:**
- 17.1+ SPOT ELEVATION
  - CONTOUR
  - A33 WETLAND FLAG & ELEVATION
  - 3" CONCRETE MONUMENT FOUND
  - 1/2" IPF 1/2" IRON PIN FOUND
  - 1/2" IPS 1/2" IRON PIN SET
  - TEMP TEMPORARY BENCH MARK
  - IE INVERT ELEVATION
  - FFE FINISHED FLOOR ELEVATION
  - PVC POLYVINYL CHLORIDE
  - RCP REINFORCED CONCRETE PIPE
  - LO LIVE OAK
  - LA LAUREL OAK
  - MAG MAGNOLIA
  - RO RED OAK
  - PN PINE
  - PLM PALM
  - WO WATER OAK
  - MAP MAPLE
  - DEAD DEAD TREE NO ID
  - ELM ELM
  - TUP TUPELO
  - GUM GUM
  - BC BLACK GUM
  - CM CREPE MYRTLE
  - ET ELECTRIC TRANSFORMER
  - TEL TELEPHONE SERVICE
  - VAL VALVE BOX
  - IRV IRRIGATION CONTROL VALVE
  - SM SANITARY MANHOLE
  - FH FIRE HYDRANT
  - SG SIGN
  - LP LIGHT POLE
  - CB CATCH BASIN
  - WF WETLAND FLAG
  - AC AC UNIT

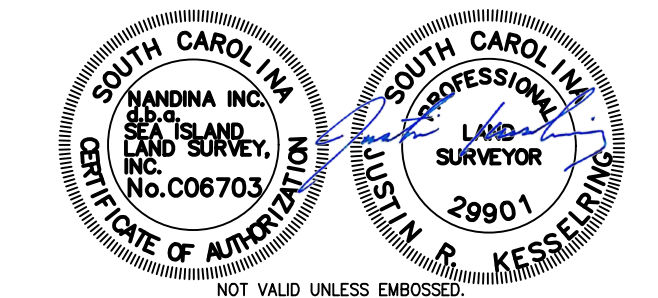
ASBUILT, BOUNDARY,  
TREE AND TOPOGRAPHIC SURVEY OF:  
PARCELS 337, 337A, & 452, HILTON HEAD HOSPITAL  
PROPERTY, HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:  
HILTON HEAD REGIONAL HEALTHCARE  
DATE: 02/26/2025 SCALE: 1" = 20'

SHEET 3 OF 6



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION,  
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EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED  
THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS  
OTHER THAN SHOWN.



**REFERENCE PLAT**

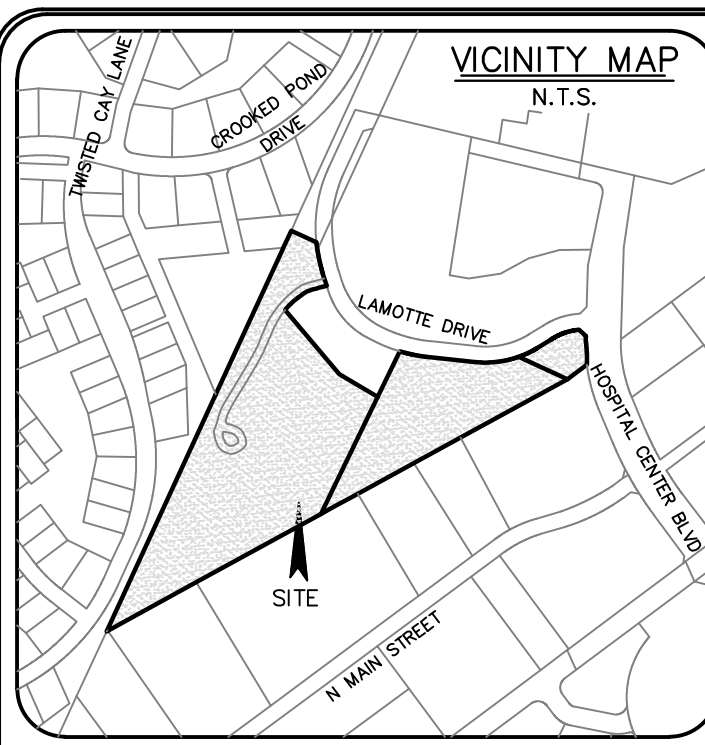
1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP.  
AND PALMETTO HEADLANDS COMMERCIAL TRACTS,  
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN: 5/10/1989  
RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89  
ROD. BEAUFORT COUNTY, SC  
BY: HUSSEY, GAY, BELL, & DEVOUNG CONSULTING ENGINEERS

PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft.  
ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE  
DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452  
THIS PROPERTY LIES IN F.E.M.A. ZONE X  
BASE FLOOD ELEVATION = N/A  
COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021

- NOTES:**
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
  - HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
  - VERTICAL DATUM IS NAVD83.
  - CONTOUR INTERVAL IS 1'
  - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

R510 008 000 0365 0000  
MTS ENTERPRISES LP  
15 HOSPITAL CTR BLVD STE 1  
HILTON HEAD ISL SC 29926

d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926  
Tel: (843) 681-3248  
email: admin@nandinainc.com  
FILE No.: 23260.2  
DWG No.: 4-23260.2  
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LEGEND & SYMBOLS:

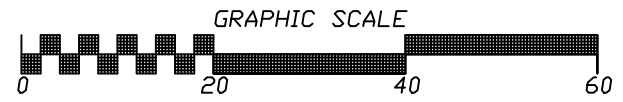
- TREE SIZES ARE INCHES IN DIAMETER
- 17.1+ SPOT ELEVATION
  - 13" CONTOUR
  - A33 WETLAND FLAG & ELEVATION
  - 3" CMF CONCRETE MONUMENT FOUND
  - 1/2" IPF 1/2" IRON PIN FOUND
  - IPS 1/2" IRON PIN SET
  - TBM TEMPORARY BENCH MARK
  - IE INVERT ELEVATION
  - FE FINISHED FLOOR ELEVATION
  - PVC POLYVINYL CHLORIDE
  - RCP REINFORCED CONCRETE PIPE
  - LO LIVE OAK
  - LA LAUREL OAK
  - MAG MAGNOLIA
  - RO RED OAK
  - PN PINE
  - PLM PALM
  - WO WATER OAK
  - MAP MAPLE
  - DEAD DEAD TREE NO ID
  - ELM ELM
  - TUP TUPELO
  - QUM GUM
  - BG BLACK GUM
  - CM CREPE MYRTLE
  - ET ELECTRIC TRANSFORMER
  - TS TELEPHONE SERVICE
  - TV TELEVISION SERVICE
  - VB VALVE BOX
  - IC IRRIGATION CONTROL VALVE
  - SM SANITARY MANHOLE
  - FD FIRE HYDRANT
  - SN SIGN
  - LP LIGHT POLE
  - CB CATCH BASIN
  - WF WETLAND FLAG
  - AC AC UNIT

- NOTES:
- 1) UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - 2) NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREAFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - 3) SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
  - 4) HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
  - 5) VERTICAL DATUM IS NAVD88.
  - 6) CONTOUR INTERVAL IS 1'.
  - 7) USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - 8) BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - 9) THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - 10) THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - 11) IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

ASBUILT, BOUNDARY,  
TREE AND TOPOGRAPHIC SURVEY OF:  
PARCELS 337, 337A, & 452, HILTON HEAD HOSPITAL  
PROPERTY, HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA

PREPARED FOR:  
HILTON HEAD REGIONAL HEALTHCARE

DATE : 02/26/2025 SCALE : 1" = 20'



d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926  
Tel (843) 681-3248  
email: admin@nandinainc.com  
FILE No : 23260.2 DWG No. : 4-23260.2  
COPYRIGHT © BY NANDINA, INC. CAD: CC, CP, FLD: DB, MW

R510 003 000 0060 0000  
HILTON HEAD PLANT PROP  
PO BOX 21940  
HILTON HEAD ISL SC 29925

REFERENCE PLAT  
1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP.  
AND PALMETTO HEADLANDS COMMERCIAL TRACTS,  
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN: 5/10/1989  
RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89  
ROD. BEAUFORT COUNTY, SC  
BY: HUSSEY, GAY, BELL, & DEYOUNG CONSULTING ENGINEERS

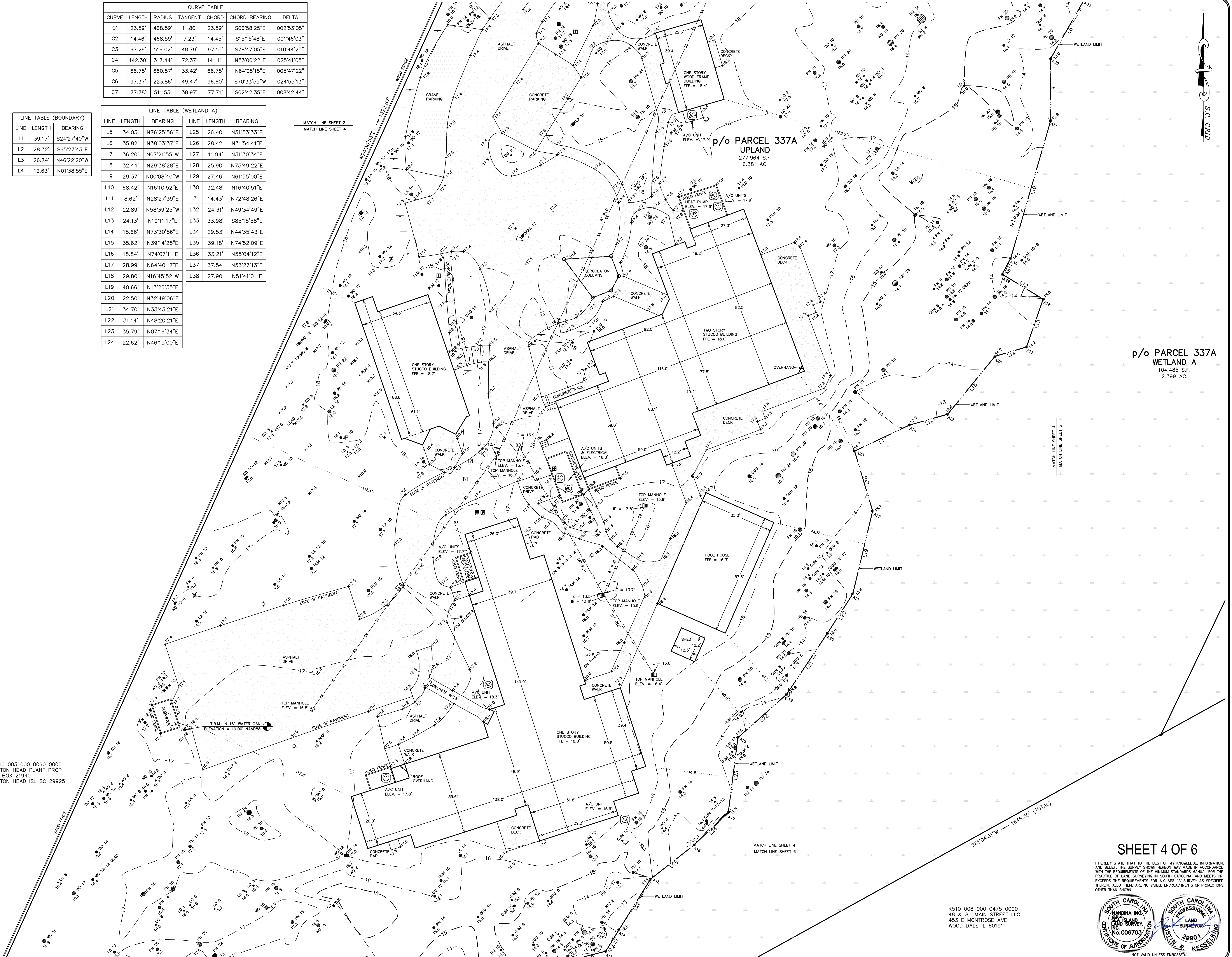
PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft.  
ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE  
DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452

THIS PROPERTY LIES IN F.E.M.A. ZONE X  
BASE FLOOD ELEVATION = N/A  
COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021

CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	23.59'	468.59'	11.80'	23.59'	S06°58'25"E	002°53'05"
C2	14.46'	468.59'	7.23'	14.45'	S15°15'48"E	001°46'03"
C3	97.29'	519.02'	48.79'	97.15'	S78°47'05"E	010°44'25"
C4	142.30'	317.44'	72.37'	141.11'	N83°00'22"E	025°41'05"
C5	66.78'	660.87'	33.42'	66.75'	N64°08'15"E	005°47'22"
C6	97.37'	223.86'	49.47'	96.60'	S70°33'55"W	024°55'13"
C7	77.78'	511.53'	38.97'	77.71'	S02°42'35"E	008°42'44"

LINE TABLE (BOUNDARY)					
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	39.17'	S24°27'40"W	L5	34.03'	N76°25'56"E
L2	28.32'	S65°27'43"E	L6	35.82'	N38°03'37"E
L3	26.74'	N46°22'20"W	L7	36.20'	N07°21'55"W
L4	12.63'	N01°38'55"E	L8	32.44'	N29°38'28"E
			L9	29.37'	N00°08'40"W
			L10	68.42'	N16°10'52"E
			L11	8.62'	N28°27'39"E
			L12	22.89'	N58°39'25"W
			L13	24.13'	N19°11'17"E
			L14	15.66'	N73°30'56"E
			L15	35.62'	N39°14'28"E
			L16	18.84'	N74°07'11"E
			L17	28.99'	N64°40'17"E
			L18	29.80'	N16°45'52"W
			L19	40.66'	N13°26'35"E
			L20	22.50'	N32°49'06"E
			L21	34.70'	N33°43'21"E
			L22	31.14'	N48°20'21"E
			L23	35.79'	N07°16'34"E
			L24	22.62'	N46°15'00"E

LINE TABLE (WETLAND A)					
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L25	26.40'	N51°53'33"E	L31	14.43'	N72°48'26"E
L26	28.42'	N31°54'41"E	L32	24.31'	N49°34'49"E
L27	11.94'	N31°30'34"E	L33	33.98'	S85°15'58"E
L28	25.90'	N75°49'22"E	L34	29.53'	N44°35'43"E
L29	27.46'	N61°55'00"E	L35	39.18'	N74°52'09"E
L30	32.48'	N16°40'51"E	L36	33.21'	N55°04'12"E
L31	14.43'	N72°48'26"E	L37	37.54'	N53°27'13"E
L32	24.31'	N49°34'49"E	L38	27.90'	N51°41'01"E

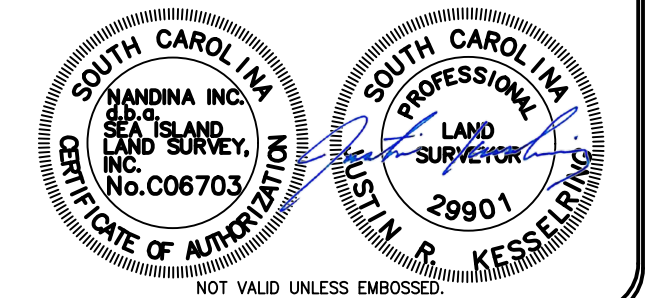


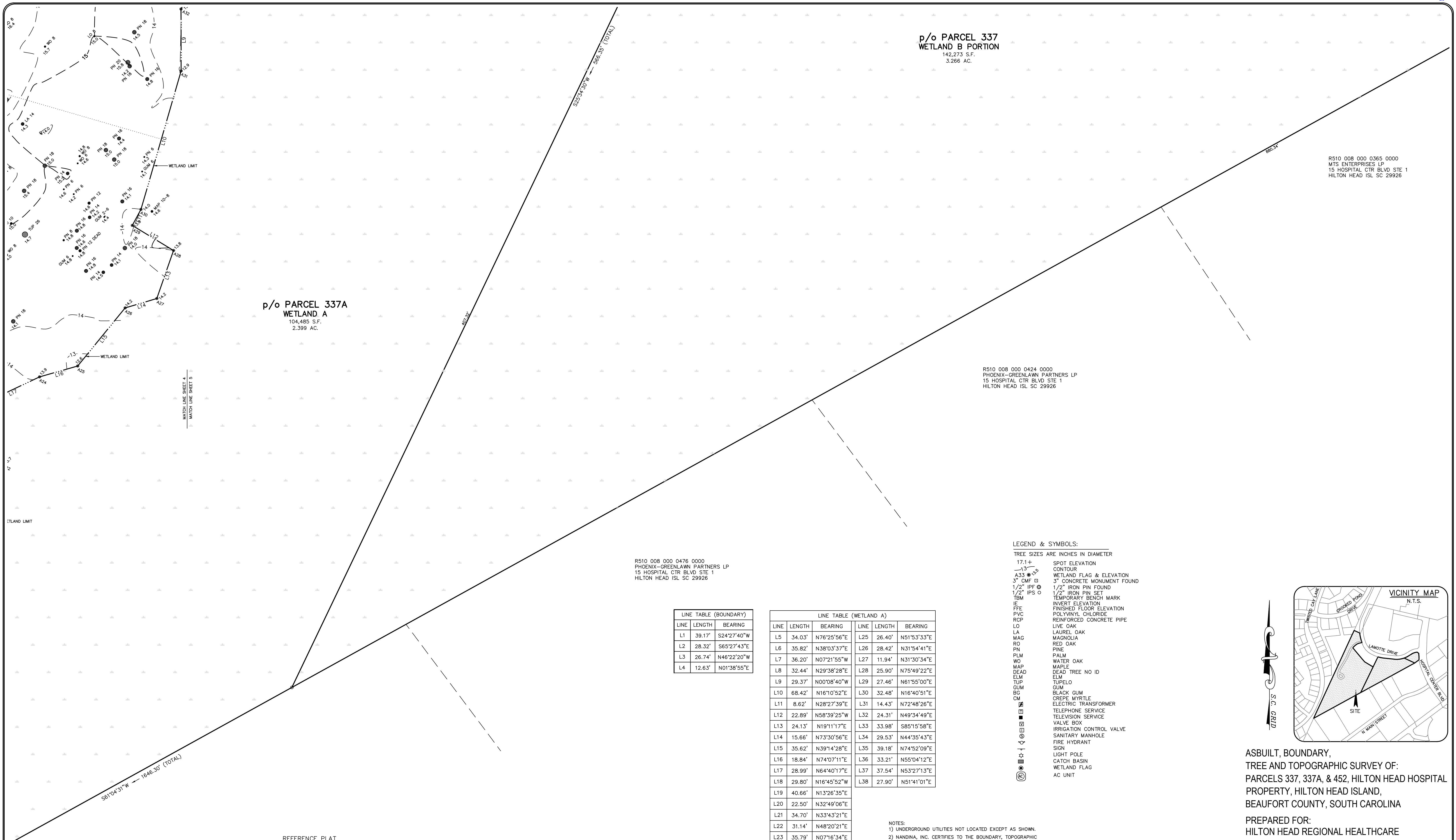
S.C. GRID

p/o PARCEL 337A  
WETLAND A  
104,485 S.F.  
2.399 AC.

SHEET 4 OF 6

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.





p/o PARCEL 337  
WETLAND B PORTION  
142,273 S.F.  
3.266 AC.

p/o PARCEL 337A  
WETLAND A  
104,485 S.F.  
2.399 AC.

R510 008 000 0365 0000  
MTS ENTERPRISES LP  
15 HOSPITAL CTR BLVD STE 1  
HILTON HEAD ISL SC 29926

R510 008 000 0424 0000  
PHOENIX-GREENLAWN PARTNERS LP  
15 HOSPITAL CTR BLVD STE 1  
HILTON HEAD ISL SC 29926

R510 008 000 0476 0000  
PHOENIX-GREENLAWN PARTNERS LP  
15 HOSPITAL CTR BLVD STE 1  
HILTON HEAD ISL SC 29926

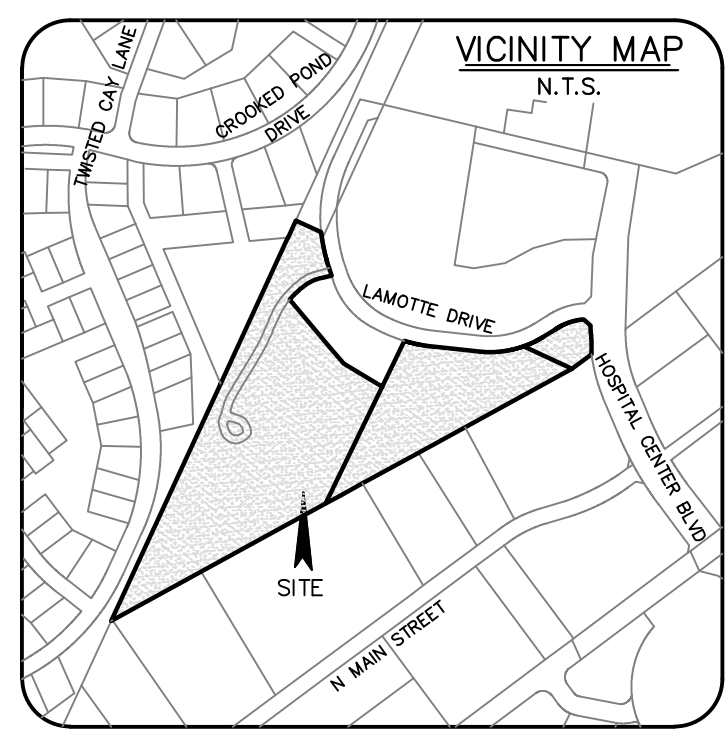
- LEGEND & SYMBOLS:**
- TREE SIZES ARE INCHES IN DIAMETER
  - 17.1+ SPOT ELEVATION
  - 13- CONTOUR
  - A33 WETLAND FLAG & ELEVATION
  - 3" GMP 3" CONCRETE MONUMENT FOUND
  - 1/2" IPF 1/2" IRON PIN FOUND
  - 1/2" IPS 1/2" IRON PIN SET
  - TBM TEMPORARY BENCH MARK
  - FFE FINISHED FLOOR ELEVATION
  - PVC POLYVINYL CHLORIDE
  - RCP REINFORCED CONCRETE PIPE
  - LO LIVE OAK
  - LA LAUREL OAK
  - MAG MAGNOLIA
  - RO RED OAK
  - PN PINE
  - PLM PALM
  - WO WATER OAK
  - MAP MAPLE
  - DEAD DEAD TREE NO ID
  - ELM ELM
  - TUP TUPELO
  - GUM GUM
  - BG BLACK GUM
  - CM CREPE MYRTLE
  - EF ELECTRIC TRANSFORMER
  - TEL TELEPHONE SERVICE
  - TVS TELEVISION SERVICE
  - VB VALVE BOX
  - ICV IRRIGATION CONTROL VALVE
  - SM SANITARY MANHOLE
  - FH FIRE HYDRANT
  - SG SIGN
  - LP LIGHT POLE
  - CB CATCH BASIN
  - WF WETLAND FLAG
  - AC AC UNIT

**LINE TABLE (BOUNDARY)**

LINE	LENGTH	BEARING
L1	39.17'	S24°27'40"W
L2	28.32'	S65°27'43"E
L3	26.74'	N46°22'20"W
L4	12.63'	N01°38'55"E

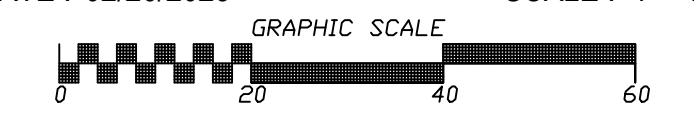
**LINE TABLE (WETLAND A)**

LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L5	34.03'	N76°25'56"E	L25	26.40'	N51°53'33"E
L6	35.82'	N38°03'37"E	L26	28.42'	N31°54'41"E
L7	36.20'	N07°21'55"W	L27	11.94'	N31°30'34"E
L8	32.44'	N29°38'28"E	L28	25.90'	N75°49'22"E
L9	29.37'	N00°08'40"W	L29	27.46'	N61°55'00"E
L10	68.42'	N16°10'52"E	L30	32.48'	N16°40'51"E
L11	8.62'	N28°27'39"E	L31	14.43'	N72°48'26"E
L12	22.89'	N58°39'25"W	L32	24.31'	N49°34'49"E
L13	24.13'	N19°11'17"E	L33	33.98'	S85°15'58"E
L14	15.66'	N73°30'56"E	L34	29.53'	N44°35'43"E
L15	35.62'	N39°14'28"E	L35	39.18'	N74°52'09"E
L16	18.84'	N74°07'11"E	L36	33.21'	N55°04'12"E
L17	28.99'	N64°40'17"E	L37	37.54'	N53°27'13"E
L18	29.80'	N16°45'52"W	L38	27.90'	N51°41'01"E
L19	40.66'	N13°26'35"E			
L20	22.50'	N32°49'06"E			
L21	34.70'	N33°43'21"E			
L22	31.14'	N48°20'21"E			
L23	35.79'	N07°16'34"E			
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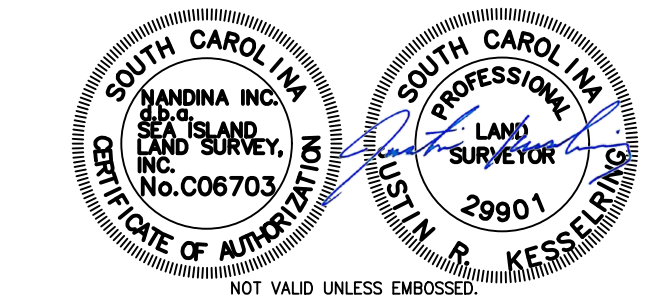
ASBUILT, BOUNDARY,  
TREE AND TOPOGRAPHIC SURVEY OF:  
PARCELS 337, 337A, & 452, HILTON HEAD HOSPITAL  
PROPERTY, HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR:  
HILTON HEAD REGIONAL HEALTHCARE

DATE : 02/26/2025 SCALE : 1" = 20'



**SHEET 5 OF 6**

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION,  
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**REFERENCE PLAT:**

1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP. AND PALMETTO HEADLANDS COMMERCIAL TRACTS, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN: 5/10/1989  
RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89  
ROD. BEAUFORT COUNTY, SC  
BY: HUSSEY, GAY, BELL, & DEYOUNG CONSULTING ENGINEERS

PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft.  
ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE  
DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452  
THIS PROPERTY LIES IN F.E.M.A. ZONE X  
BASE FLOOD ELEVATION = N/A  
COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021

**CURVE TABLE**

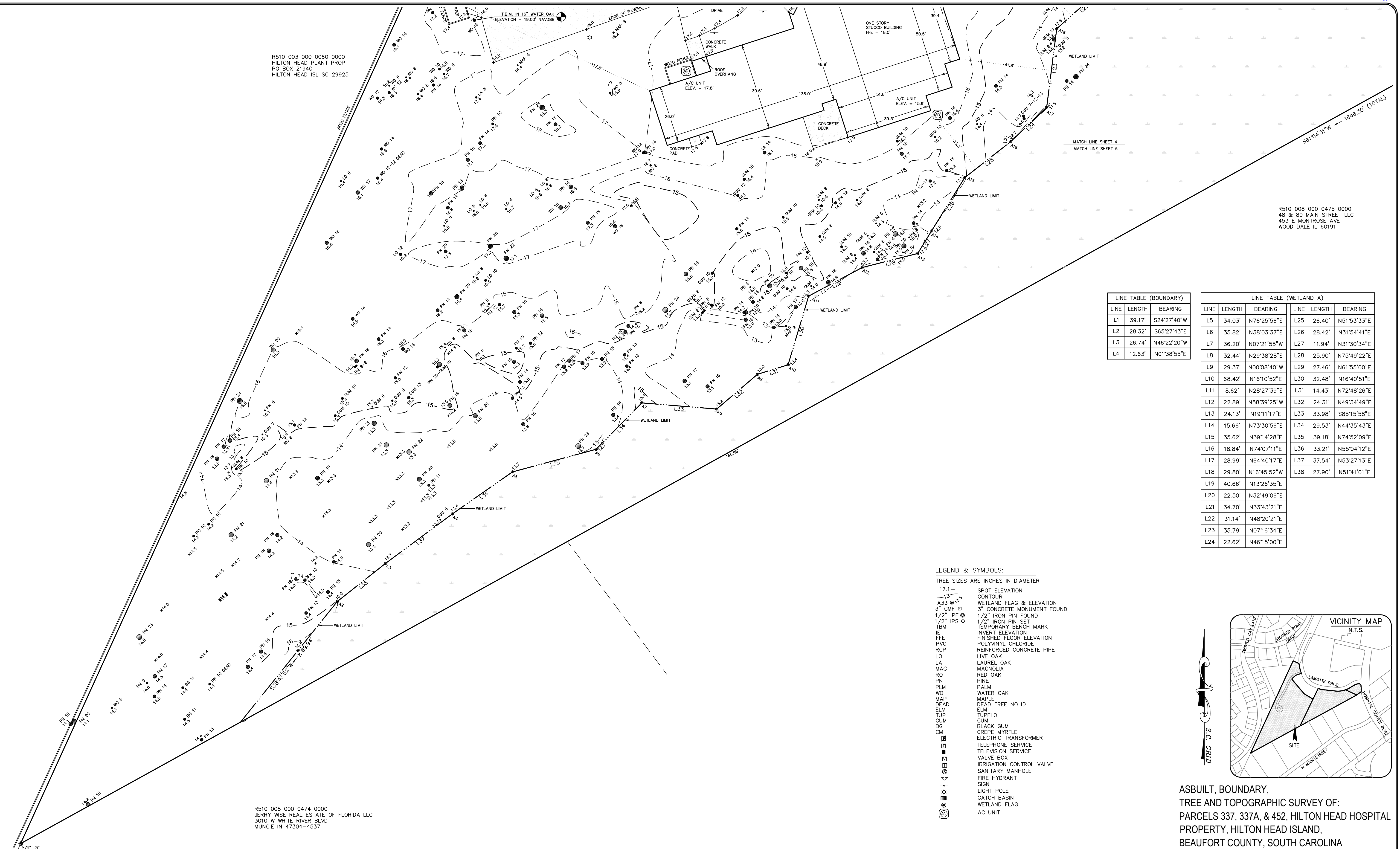
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	23.59'	468.59'	11.80'	23.59'	S06°58'25"E	002°53'05"
C2	14.46'	468.59'	7.23'	14.45'	S15°15'48"E	001°46'03"
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C4	142.30'	317.44'	72.37'	141.11'	N83°00'22"E	025°41'05"
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R510 008 000 0475 0000  
48 & 80 MAIN STREET LLC  
453 E MONTROSE AVE  
WOOD DALE IL 60191

d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926  
Tel: (843) 681-3248  
email: admin@nandinainc.com  
FILE No. : 23260.2  
DWG No. : 4-23260.2  
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R510 003 000 0060 0000  
HILTON HEAD PLANT PROP  
PO BOX 21940  
HILTON HEAD ISL SC 29925

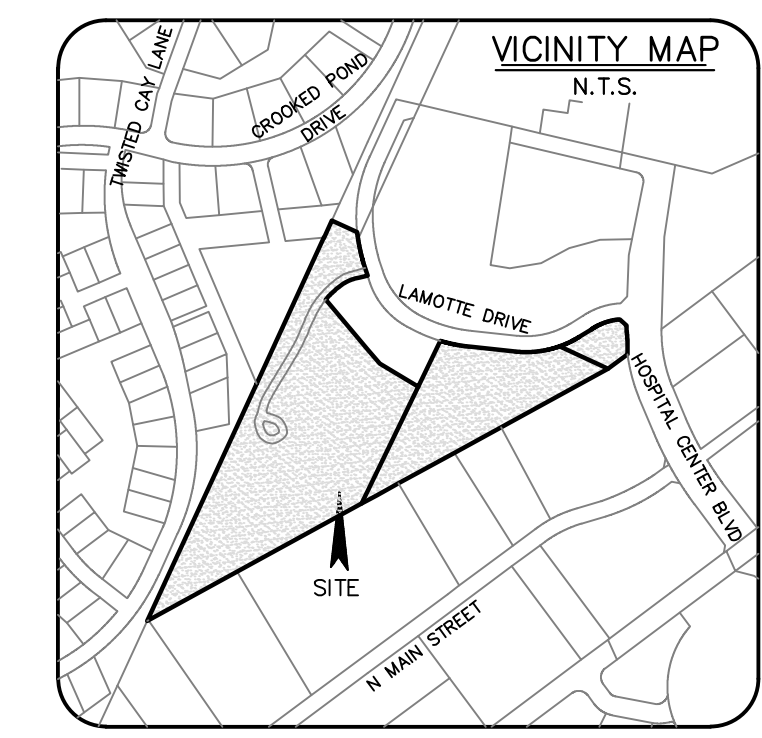
R510 008 000 0475 0000  
48 & 80 MAIN STREET LLC  
453 E MONTROSE AVE  
WOOD DALE IL 60191



LINE TABLE (BOUNDARY)		
LINE	LENGTH	BEARING
L1	39.17'	S24°27'40"W
L2	28.32'	S65°27'43"E
L3	26.74'	N46°22'20"W
L4	12.63'	N01°38'55"E

LINE TABLE (WETLAND A)					
LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
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L10	68.42'	N16°10'52"E	L30	32.48'	N16°40'51"E
L11	8.62'	N28°27'39"E	L31	14.43'	N72°48'26"E
L12	22.89'	N58°39'25"W	L32	24.31'	N49°34'49"E
L13	24.13'	N19°11'17"E	L33	33.98'	S85°15'58"E
L14	15.66'	N73°30'56"E	L34	29.53'	N44°35'43"E
L15	35.62'	N39°14'28"E	L35	39.18'	N74°52'09"E
L16	18.84'	N74°07'11"E	L36	33.21'	N55°04'12"E
L17	28.99'	N64°40'17"E	L37	37.54'	N53°27'13"E
L18	29.80'	N16°45'52"W	L38	27.90'	N51°41'01"E
L19	40.66'	N13°26'35"E			
L20	22.50'	N32°49'06"E			
L21	34.70'	N33°43'21"E			
L22	31.14'	N48°20'21"E			
L23	35.79'	N07°16'34"E			
L24	22.62'	N46°15'00"E			

- LEGEND & SYMBOLS:**
- TREE SIZES ARE INCHES IN DIAMETER
  - 17.1+ SPOT ELEVATION
  - 1.5 CONTOUR
  - A33 WETLAND FLAG & ELEVATION
  - 3" CONCRETE MONUMENT FOUND
  - 1/2" IPF 1/2" IRON PIN FOUND
  - 1/2" IPS 1/2" IRON PIN SET
  - TBM TEMPORARY BENCH MARK
  - INVERT ELEVATION
  - FFE FINISHED FLOOR ELEVATION
  - PVC POLYVINYL CHLORIDE
  - RCP REINFORCED CONCRETE PIPE
  - LO LIVE OAK
  - LA LAUREL OAK
  - MAG MAGNOLIA
  - RO RED OAK
  - PN PINE
  - PLM PALM
  - WO WATER OAK
  - MAP MAPLE
  - DEAD DEAD TREE NO ID
  - ELM ELM
  - TUPE TUPELO
  - GUM GUM
  - BG BLACK GUM
  - CM CREPE MYRTLE
  - TRANSFORMER ELECTRIC TRANSFORMER
  - TELEPHONE SERVICE TELEPHONE SERVICE
  - TELEVISION SERVICE TELEVISION SERVICE
  - VALVE VALVE BOX
  - IRRIGATION CONTROL VALVE IRRIGATION CONTROL VALVE
  - SANITARY MANHOLE SANITARY MANHOLE
  - FIRE HYDRANT FIRE HYDRANT
  - SIGN SIGN
  - LIGHT POLE LIGHT POLE
  - CATCH BASIN CATCH BASIN
  - WETLAND FLAG WETLAND FLAG
  - AC UNIT AC UNIT



ASBUILT, BOUNDARY,  
TREE AND TOPOGRAPHIC SURVEY OF:  
PARCELS 337, 337A, & 452, HILTON HEAD HOSPITAL  
PROPERTY, HILTON HEAD ISLAND,  
BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR:  
HILTON HEAD REGIONAL HEALTHCARE

DATE: 02/26/2025 SCALE: 1" = 20'



d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1,  
Hilton Head Island,  
SC 29926  
Tel: (843) 681-3248  
email: admin@nandinainc.com  
FILE No: 23260.2 DWG No.: 4-23260.2  
COPYRIGHT © BY NANDINA, INC. CAD: CG, CP, FLD: DB, MW

**REFERENCE PLAT**

1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP.  
AND PALMETTO HEADLANDS COMMERCIAL TRACTS,  
HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN: 5/10/1989  
RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89  
ROD. BEAUFORT COUNTY, SC  
BY: HUSSEY, GAY, BELL, & DEYOUNG CONSULTING ENGINEERS

PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft.  
ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE  
DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452  
THIS PROPERTY LIES IN F.E.M.A. ZONE X  
BASE FLOOD ELEVATION = N/A  
COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021

CURVE TABLE						
CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	23.59'	468.59'	11.80'	23.59'	S06°58'25"E	002°53'05"
C2	14.46'	468.59'	7.23'	14.45'	S15°15'48"E	001°46'03"
C3	97.29'	519.02'	48.79'	97.15'	S78°47'05"E	010°44'25"
C4	142.30'	317.44'	72.37'	141.11'	N83°00'22"E	025°41'05"
C5	66.78'	660.87'	33.42'	66.75'	N64°08'15"E	005°47'22"
C6	97.37'	223.86'	49.47'	96.60'	S70°33'55"W	024°55'13"
C7	77.78'	511.53'	38.97'	77.71'	S02°42'35"E	008°42'44"

- NOTES:**
- UNDERGROUND UTILITIES NOT LOCATED EXCEPT AS SHOWN.
  - NANDINA, INC. CERTIFIES TO THE BOUNDARY, TOPOGRAPHIC AND ASBUILT INFORMATION PROVIDED HEREON AS THE DATE OF THE SURVEY. THIS SURVEY MAY BE USED IN DIGITAL FORMAT AS A BASE FOR OTHERS AND ANY REVISIONS OR ADDITIONS MADE HEREFTER IS NOT THE RESPONSIBILITY OF NANDINA, INC. A HARD COPY AVAILABLE FROM NANDINA, INC. WILL BE THE ONLY OFFICIAL DOCUMENT.
  - SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
  - HORIZONTAL DATUM IS SC STATE PLANE, NAD83.
  - VERTICAL DATUM IS NAVD88.
  - CONTOUR INTERVAL IS 1'
  - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - THIS SURVEY HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH AND IS SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
  - THIS SURVEY DOES NOT CERTIFY TO THE EXISTENCE OR ABSENCE OF FRESHWATER WETLANDS.
  - IF IDENTIFICATION OF TREES IS CRITICAL TO DEVELOPMENT, AN ARBORIST SHOULD BE CONSULTED TO VERIFY SUCH TREE IDENTIFICATION.

**SHEET 6 OF 6**

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM STANDARDS MANUAL FOR THE PRACTICE OF LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

R510 008 000 0474 0000  
FOILES WILLIAM M LISA J JTROS  
PO DRAWER 23797  
HILTON HEAD ISLAND SC 29925

## **Appendix D: Associated Maps and Surveys**

1. Drainage Master Plan
2. Water and Sewer Master Plan
3. Current Schematic Master Plan for Palmetto Highlands / Hilton Head Hospital PD-2
4. Open Space Master Plan
5. Driveway Encroachment Plan
6. Wetland Survey – Newkirk April 2025

**LEGEND**

DESCRIPTION	PROPOSED	EXISTING
PAVEMENT		
CONTOURS		
BUILDINGS		
LAGOONS		
WETLANDS		
SWALES		
DITCH INLETS		
WEIR		
FLARED END SECTION		
REINFORCED CONCRETE PIPE TRENCH		
STORM MANHOLE		
PROPERTY LINE		
RID BOUNDARY		
SOFT-USE DRAINAGE		



**HDD**  
 HUSSEY, GAY, BELL & DEYOUNG, INC.  
 CONSULTING ENGINEERS  
 SAVANNAH, GEORGIA

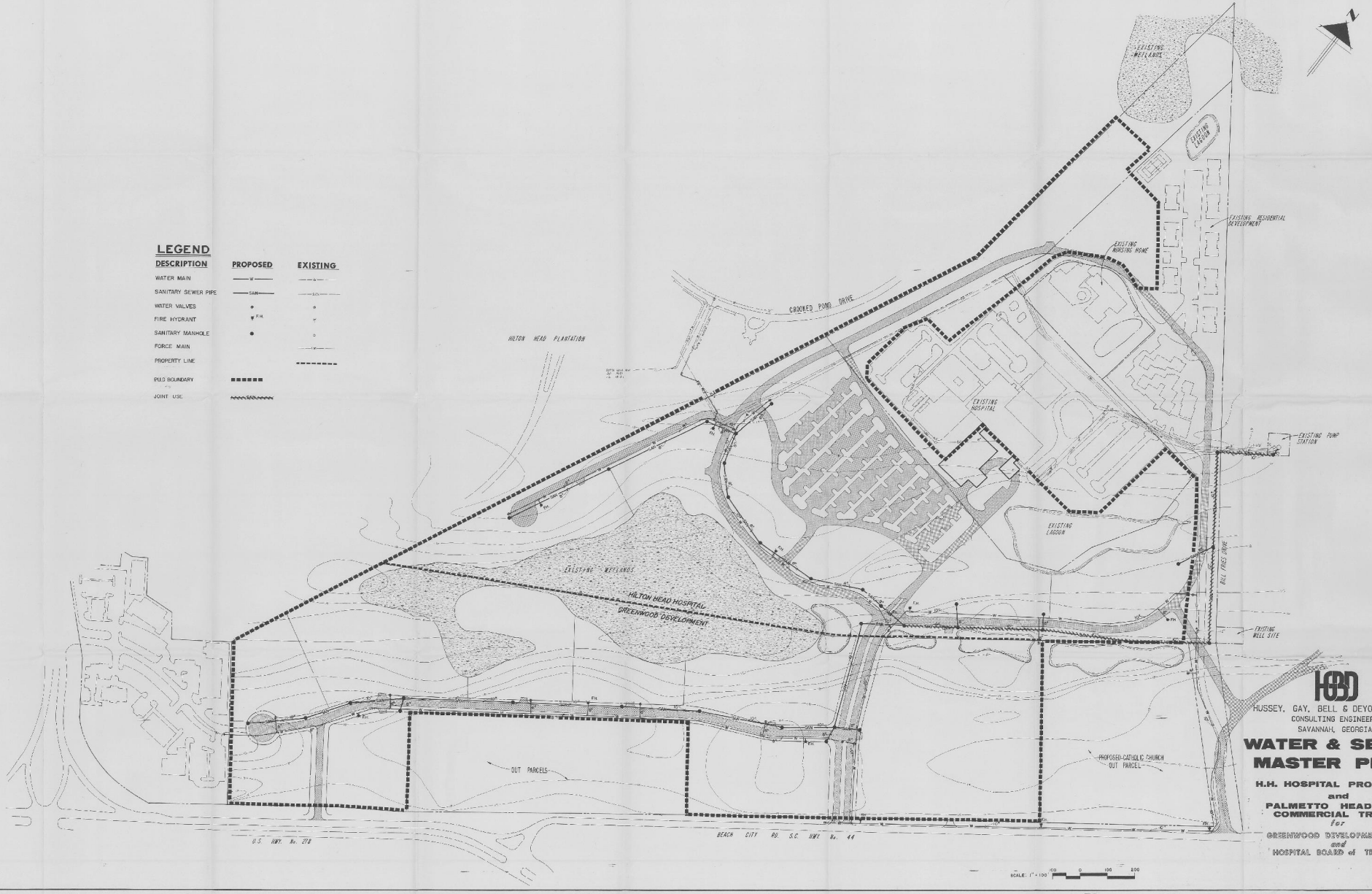
**DRAINAGE MASTER PLAN**

**H.H. HOSPITAL PROPERTIES and PALMETTO HEADLANDS COMMERCIAL TRACTS 1st**

GREENWOOD DEVELOPMENT CORP.  
 and  
 HOSPITAL BOARD OF TRUSTEES



NOV. 1988



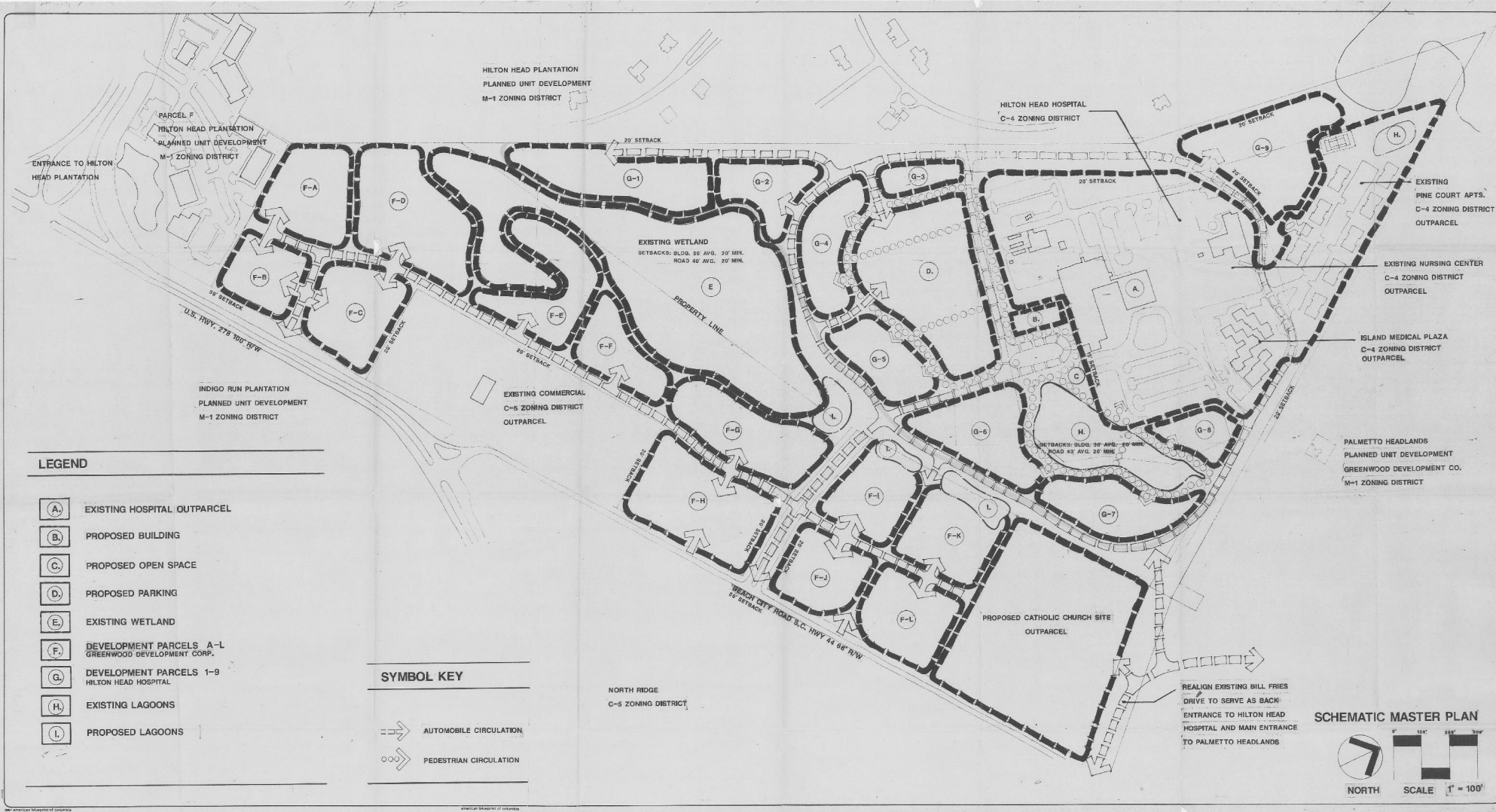
**HSD**  
 HUSSEY, GAY, BELL & DEYOUNG, INC.  
 CONSULTING ENGINEERS  
 SAVANNAH, GEORGIA

**WATER & SEWER  
 MASTER PLAN**

H.H. HOSPITAL PROPERTIES  
 and  
 PALMETTO HEADLANDS  
 COMMERCIAL TRACTS  
 for  
 GREENWOOD DEVELOPMENT CORP.  
 HOSPITAL BOARD of TRUSTEES

SCALE: 1" = 100'

NOV. 1988



- LEGEND**
- (A) EXISTING HOSPITAL OUTPARCEL
  - (B) PROPOSED BUILDING
  - (C) PROPOSED OPEN SPACE
  - (D) PROPOSED PARKING
  - (E) EXISTING WETLAND
  - (F) DEVELOPMENT PARCELS A-L GREENWOOD DEVELOPMENT CORP.
  - (G) DEVELOPMENT PARCELS 1-9 HILTON HEAD HOSPITAL
  - (H) EXISTING LAGOONS
  - (L) PROPOSED LAGOONS

- SYMBOL KEY**
- AUTOMOBILE CIRCULATION
  - ○ ○ ○ PEDESTRIAN CIRCULATION

**SCHEMATIC MASTER PLAN**

NORTH

SCALE 1" = 100'

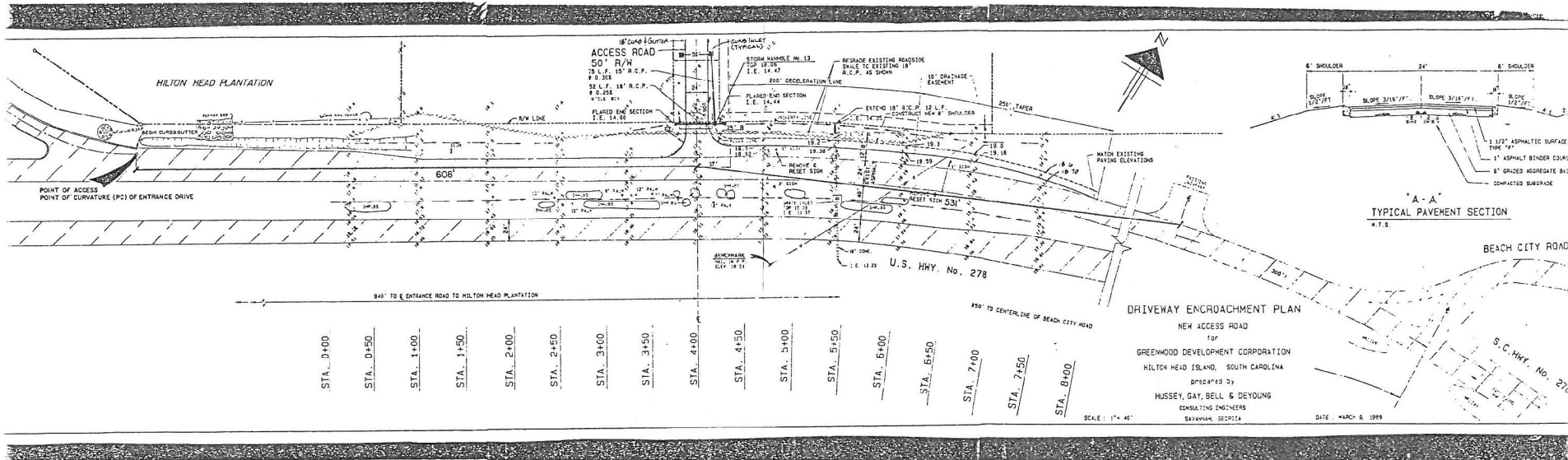
HILTON HEAD HOSPITAL  
 MEDICAL COMPLEX  
 SCHEMATIC MASTER PLAN  
 HILTON HEAD ISLAND, S.C.

Edward Pinckney/Associates, Ltd.  
 Landscape Architects and Planners  
 1000 N. Orange Blossom Trail, Suite 200  
 Orlando, Florida 32809  
 (407) 241-1111

Sheet Title  
 SCHEMATIC  
 MASTER PLAN  
 Job Number  
 2025-01  
 Date  
 08/20/25  
 Drawn  
 Approved  
 Revisions

Sheet  
 Of







April 21, 2025

Mr. Brian Quinn  
The Twelve Oaks Group  
brian@adobelc.com  
843.422.1661

**Re: 18 & 30 Bethea Drive – Wetland Findings Report  
Beaufort County, South Carolina**

Dear Mr. Quinn:

At your request, Newkirk Environmental Inc. staff conducted a wetland determination to assess the presence and location of wetlands and other aquatic resources as defined by the US Army Corps of Engineers (USACE). Field studies were conducted on a 12.66 - acre tract of land located off Lamotte Drive, Hilton Head Island, Beaufort County, South Carolina.

NEI staff reviewed publicly available data as well as conducted a site visit. The delineation was done using methods outlined in the USACE Wetland Delineation Manual, 1987, the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Atlantic and Gulf Coastal Plain Region, November 2010. Under Section 404 of the Clean Water Act, Wetlands are defined as “areas that are inundated or saturated by surface or ground water at a frequency and duration sufficient to support, and that under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soil conditions. Wetlands generally include swamps, marshes, bogs, and similar areas.”

### **Delineation Findings**

NEI staff determined that the site does have a total of 6.96 acres of freshwater non-tidal wetlands on site, the attached **Wetland Plat** depicts our findings.

Please note, although NEI is confident in our assessment, the USACE is the only agency that can make final decisions regarding wetland delineations and jurisdictional status; therefore, all delineations are subject to change until written verification is obtained. This letter is the professional opinion of Newkirk Environmental Inc. and can be relied upon as that.

Sincerely,

*Connor Breedlove*

Connor Breedlove, Senior Biologist  
Newkirk Environmental Inc. - Beaufort Office

Attachments: Wetland Plat

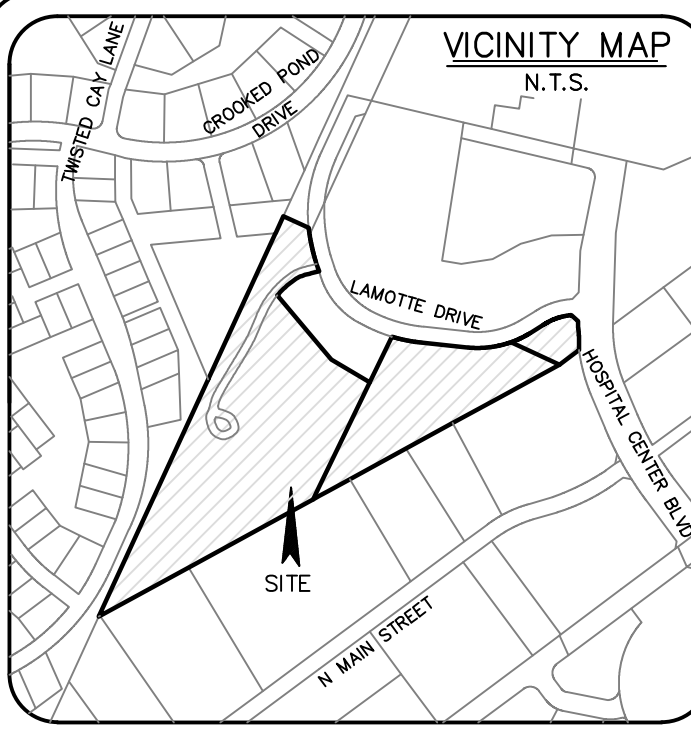
Figure 1: Project Location Map

Figure 2: USGS Topographical Map

Figure 3: National Wetland Inventory (NWI) Map

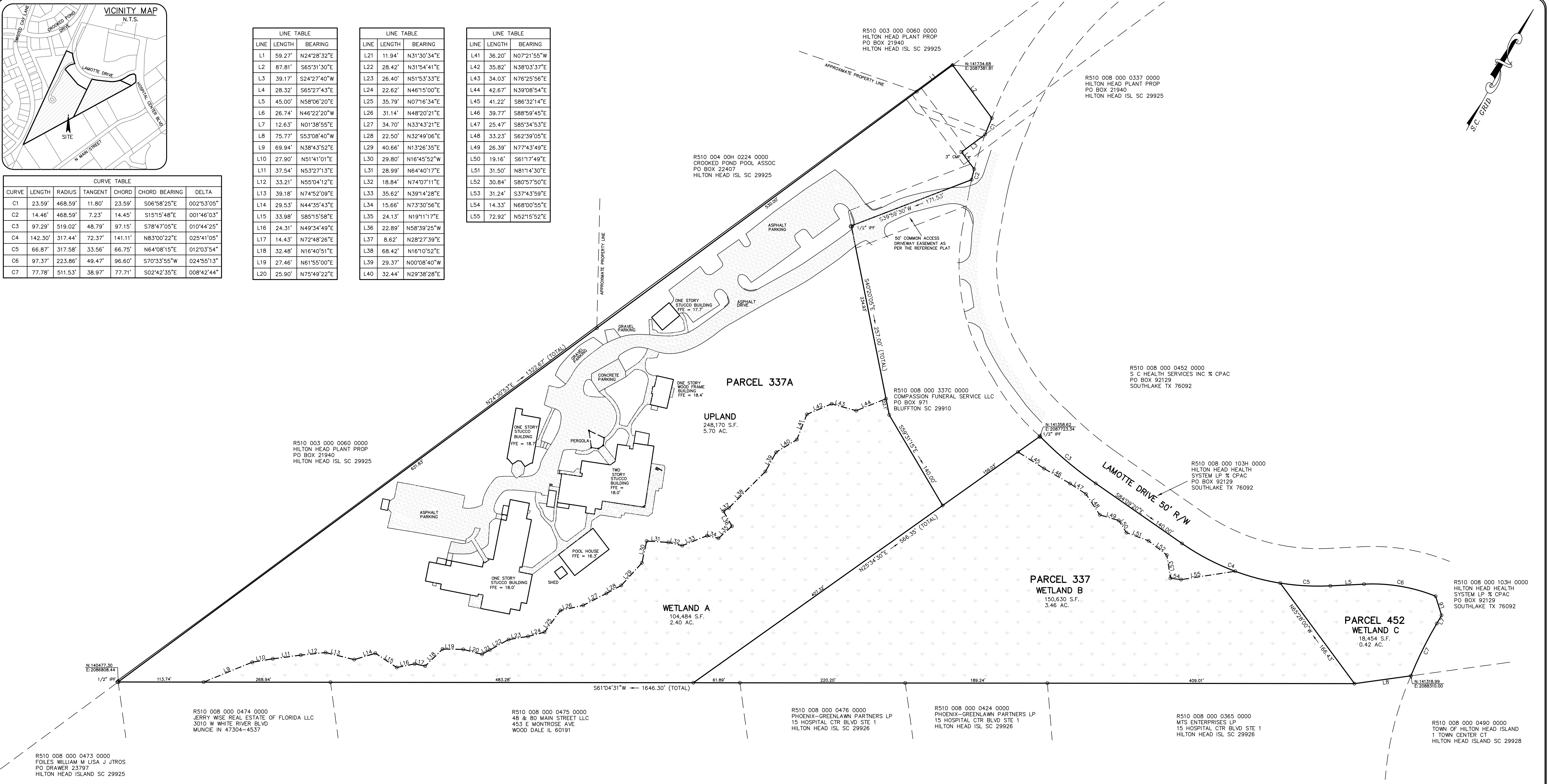
Figure 4: NRCS Soils Map

Site Photographs



CURVE	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING	DELTA
C1	23.59'	468.59'	11.80'	23.59'	S06°58'25"E	002°53'05"
C2	14.46'	468.59'	7.23'	14.45'	S15°15'48"E	001°46'03"
C3	97.29'	519.02'	48.79'	97.15'	S78°47'05"E	010°44'25"
C4	142.30'	317.44'	72.37'	141.11'	N83°00'22"E	025°41'05"
C5	66.87'	317.58'	33.56'	66.75'	N64°08'15"E	012°03'54"
C6	97.37'	223.86'	49.47'	96.60'	S70°33'55"W	024°55'13"
C7	77.78'	511.53'	38.97'	77.71'	S02°42'35"E	008°42'44"

LINE	LENGTH	BEARING	LINE	LENGTH	BEARING	LINE	LENGTH	BEARING
L1	59.27'	N24°28'32"E	L21	11.94'	N31°30'34"E	L41	36.20'	N07°21'55"W
L2	87.81'	S65°31'30"E	L22	28.42'	N31°54'41"E	L42	35.82'	N38°03'37"E
L3	39.17'	S24°27'40"W	L23	26.40'	N51°53'33"E	L43	34.03'	N76°25'56"E
L4	28.32'	S65°27'43"E	L24	22.62'	N46°15'00"E	L44	42.67'	N39°08'54"E
L5	45.00'	N58°06'20"E	L25	35.79'	N07°16'34"E	L45	41.22'	S86°32'14"E
L6	26.74'	N46°22'20"W	L26	31.14'	N48°20'21"E	L46	39.77'	S88°59'45"E
L7	12.63'	N01°38'55"E	L27	34.70'	N33°43'21"E	L47	25.47'	S85°34'53"E
L8	75.77'	S53°08'40"W	L28	22.50'	N32°49'06"E	L48	33.23'	S62°39'05"E
L9	69.94'	N38°43'52"E	L29	40.66'	N13°26'35"E	L49	26.39'	N77°43'49"E
L10	27.90'	N51°41'01"E	L30	29.80'	N16°45'52"W	L50	19.16'	S61°17'49"E
L11	37.54'	N53°27'13"E	L31	28.99'	N64°40'17"E	L51	31.50'	N81°14'30"E
L12	33.21'	N55°04'12"E	L32	18.84'	N74°07'11"E	L52	30.84'	S80°57'50"E
L13	39.18'	N74°52'09"E	L33	35.62'	N39°14'28"E	L53	31.24'	S37°43'59"E
L14	29.53'	N44°35'43"E	L34	15.66'	N73°30'56"E	L54	14.33'	N68°00'55"E
L15	33.98'	S85°15'58"E	L35	24.13'	N19°11'17"E	L55	72.92'	N52°15'52"E
L16	24.31'	N49°34'49"E	L36	22.89'	N58°39'25"W			
L17	14.43'	N72°48'26"E	L37	8.62'	N28°27'39"E			
L18	32.48'	N16°40'51"E	L38	68.42'	N16°10'52"E			
L19	27.46'	N61°55'00"E	L39	29.37'	N00°08'40"W			
L20	25.90'	N75°49'22"E	L40	32.44'	N29°38'28"E			



REFERENCE PLAT  
1) HILTON HEAD HOSPITAL PROPERTY, ISLAND INVESTMENT CORP. AND PALMETTO HEADLANDS COMMERCIAL TRACTS, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
DRAWN: 5/10/1989  
RECORDED IN BOOK 36, PAGE 202, DATED 8/22/89  
ROD. BEAUFORT COUNTY, SC  
BY: HUSSEY, GAY, BELL, & DEYOUNG CONSULTING ENGINEERS

PROPERTY AREA = 12.66 Ac. 551,533 Sq. Ft.  
ADDRESS: 18 BETHEA DRIVE & 30 LAMOTTE DRIVE  
DISTRICT: 510, MAP: 8, PARCELS: 337, 337A, & 452  
THIS PROPERTY LIES IN F.E.M.A. ZONE X  
BASE FLOOD ELEVATION = N/A  
COMMUNITY NO. 450250, PANEL 0451G & 0452G, DATED: 3/23/2021

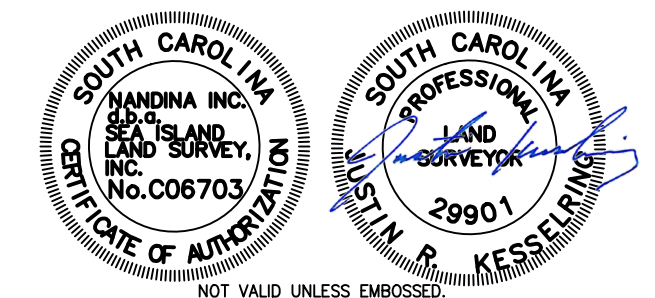
SOME OR ALL AREAS ON THIS PLAT ARE FLOOD HAZARD AREAS AND HAVE BEEN IDENTIFIED AS HAVING AT LEAST A ONE PERCENT CHANCE OF BEING FLOODED IN ANY GIVEN YEAR BY RISING TIDAL WATERS ASSOCIATED WITH POSSIBLE HURRICANES. LOCAL REGULATIONS REQUIRE THAT CERTAIN FLOOD HAZARD PROTECTIVE MEASURES BE INCORPORATED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES IN THESE DESIGNATED AREAS. REFERENCE SHALL BE MADE TO THE DEVELOPMENT COVENANTS AND RESTRICTIONS OF THIS DEVELOPMENT AND REQUIREMENTS OF THE TOWN BUILDING OFFICIAL. IN ADDITION, FEDERAL LAW REQUIRES MANDATORY PURCHASE OF FLOOD INSURANCE AS A PREREQUISITE TO FEDERALLY INSURED MORTGAGE FINANCING IN THESE DESIGNATED FLOOD HAZARD AREAS.

OBJECT	AREA (AC.)	AREA (S.F.)
UPLAND	6.38	277,965
WETLAND A	2.40	104,484
WETLAND B	3.46	150,630
WETLAND C	0.42	18,454
WETLAND TOTAL	6.96	303,363
TOTAL	12.66	551,533

SITE CALCULATIONS	
TOTAL UPLAND BUILDINGS	277,965 S.F.
DRIVEWAY & WALKS	26,852 S.F.
TOTAL IMPERVIOUS AREA	51,500 S.F.
TOTAL IMPERVIOUS AREA AS % OF UPLAND AREA	74.352 S.F.
	26.75%

- NOTES:
- THIS PLAT HAS BEEN PREPARED WITHOUT BENEFIT OF A COMPLETE TITLE SEARCH BY NANDINA, INC.
  - THIS PROPERTY MAY BE SUBJECT TO EASEMENTS OF RECORD AND COVENANT RESTRICTIONS AS RECORDED IN THE OFFICE OF THE ROD FOR BEAUFORT COUNTY.
  - SUBJECT PROPERTY DOES NOT APPEAR TO BE AFFECTED BY THE BEACHFRONT SETBACK REQUIREMENTS OF THE S.C. BEACH PROTECTION ACT OF JULY 1, 1988.
  - BUILDING SETBACKS, WHETHER SHOWN OR NOT, SHOULD BE VERIFIED BY THE LOCAL BUILDING AUTHORITY OR ARCHITECTURAL REVIEW BOARD.
  - USE OF THIS PROPERTY MAY BE AFFECTED BY THE TERMS OF COVENANTS RELATING TO THIS PLANNED RESIDENTIAL COMMUNITY.
  - HORIZONTAL DATUM IS SC STATE PLANE, NAD83.

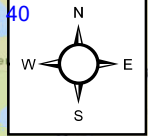
THIS MAP IS A GENERAL REPRESENTATION OF THE LOCATIONS OF 404 WETLANDS (FRESHWATER WETLANDS) LOCATED WITHIN THE PROPERTY AS SHOWN. THESE WETLANDS ARE SUBJECT TO REVIEW AND APPROVAL BY THE U.S. ARMY CORPS OF ENGINEERS, CHARLESTON DISTRICT. THE WETLANDS HAVE BEEN LOCATED AS FLAGGED BY NEWKIRK ENVIRONMENTAL, INC.



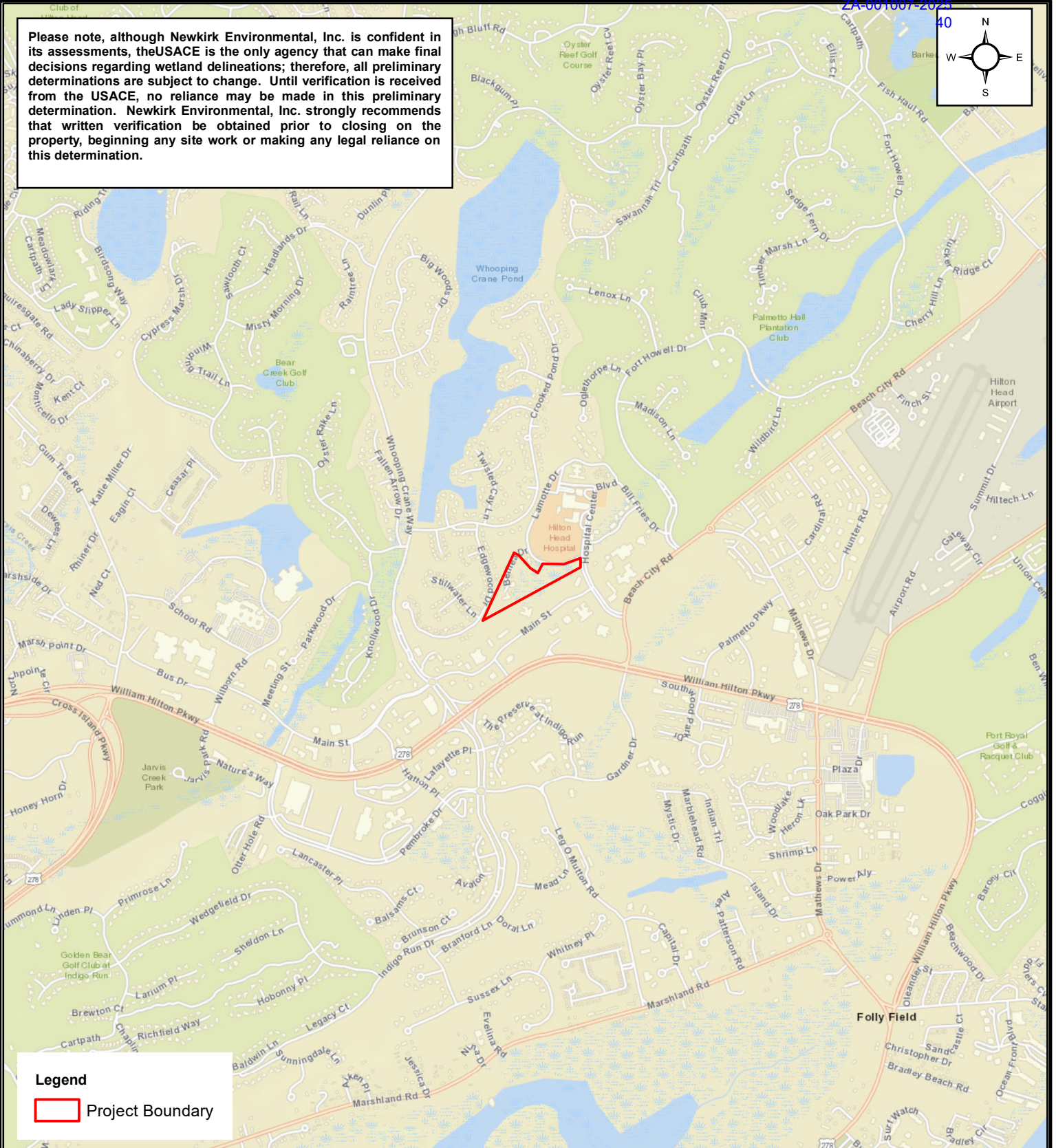
SITE CALCULATIONS FOR:  
PARCELS 337, 337A, & 452, BETHEA DRIVE, LAMOTTE DRIVE, HILTON HEAD ISLAND, BEAUFORT COUNTY, SOUTH CAROLINA  
PREPARED FOR: ABODE DEVELOPMENT

DATE: 4/11/2025 SCALE: 1" = 60'  
GRAPHIC SCALE

d.b.a. Sea Island Land Survey, Inc.  
10 Oak Park Drive, Unit C1, Hilton Head Island, SC 29926  
Tel (843) 681-3248 Fax (843) 689-3871  
E-mail: admin@nandinainc.com  
FILE No: 23260.3 DWG No.: 4-23260.3  
COPYRIGHT © BY NANDINA, INC. CAD: BA



Please note, although Newkirk Environmental, Inc. is confident in its assessments, the USACE is the only agency that can make final decisions regarding wetland delineations; therefore, all preliminary determinations are subject to change. Until verification is received from the USACE, no reliance may be made in this preliminary determination. Newkirk Environmental, Inc. strongly recommends that written verification be obtained prior to closing on the property, beginning any site work or making any legal reliance on this determination.



**Legend**

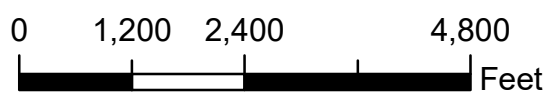
Project Boundary

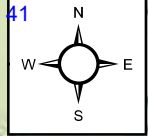
Figure 1: Project Location Map

Project #: 04-5938a Date: April 2025

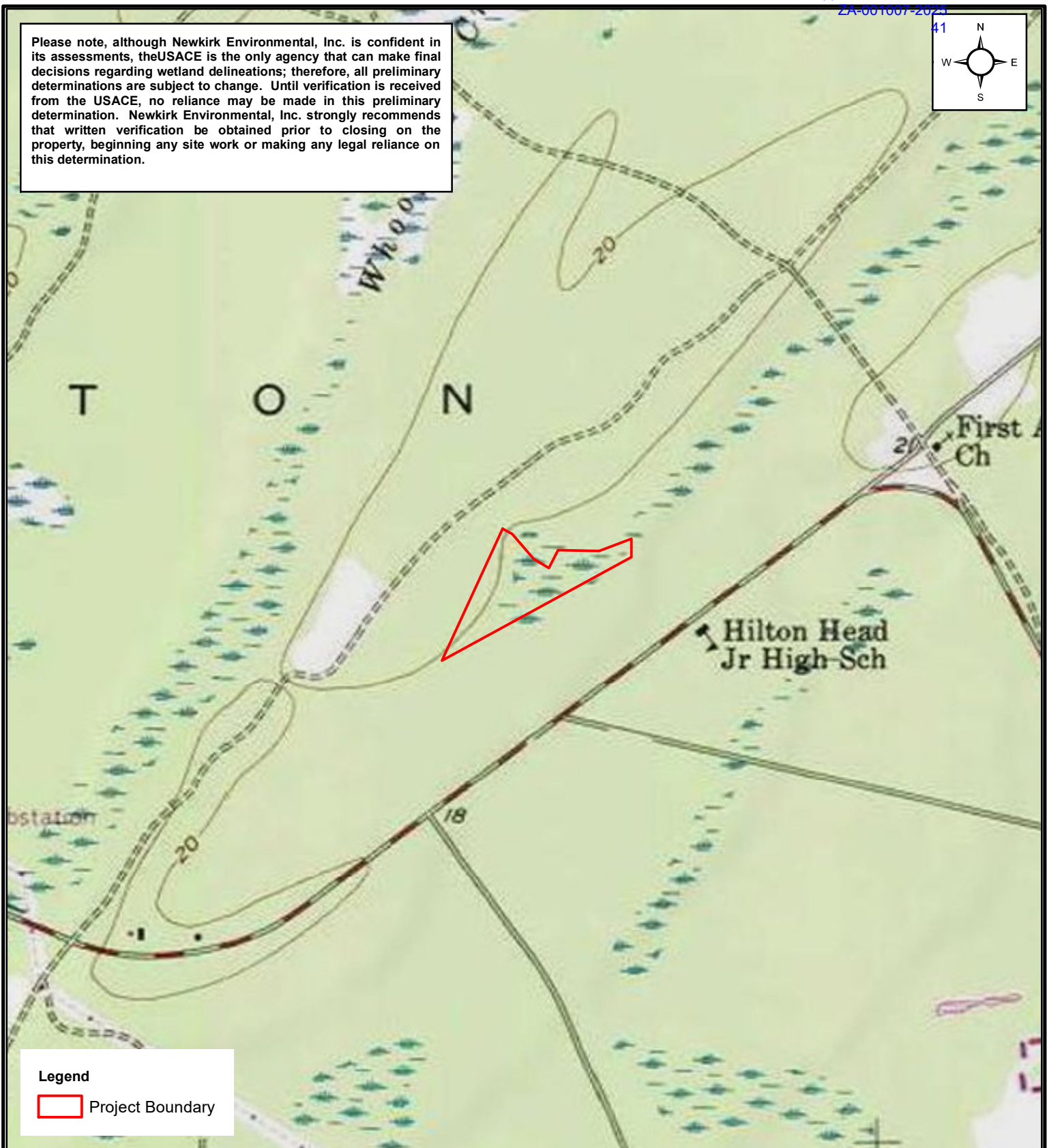
Created by: CAB

18 & 30 Bethea Drive  
 Beaufort County, South Carolina





Please note, although Newkirk Environmental, Inc. is confident in its assessments, the USACE is the only agency that can make final decisions regarding wetland delineations; therefore, all preliminary determinations are subject to change. Until verification is received from the USACE, no reliance may be made in this preliminary determination. Newkirk Environmental, Inc. strongly recommends that written verification be obtained prior to closing on the property, beginning any site work or making any legal reliance on this determination.



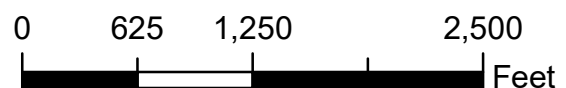
**Legend**  
[Red outline] Project Boundary

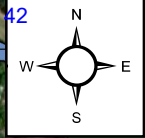
Figure 2: USGS Topographical Map

Project #: 04-5938a Date: April 2025

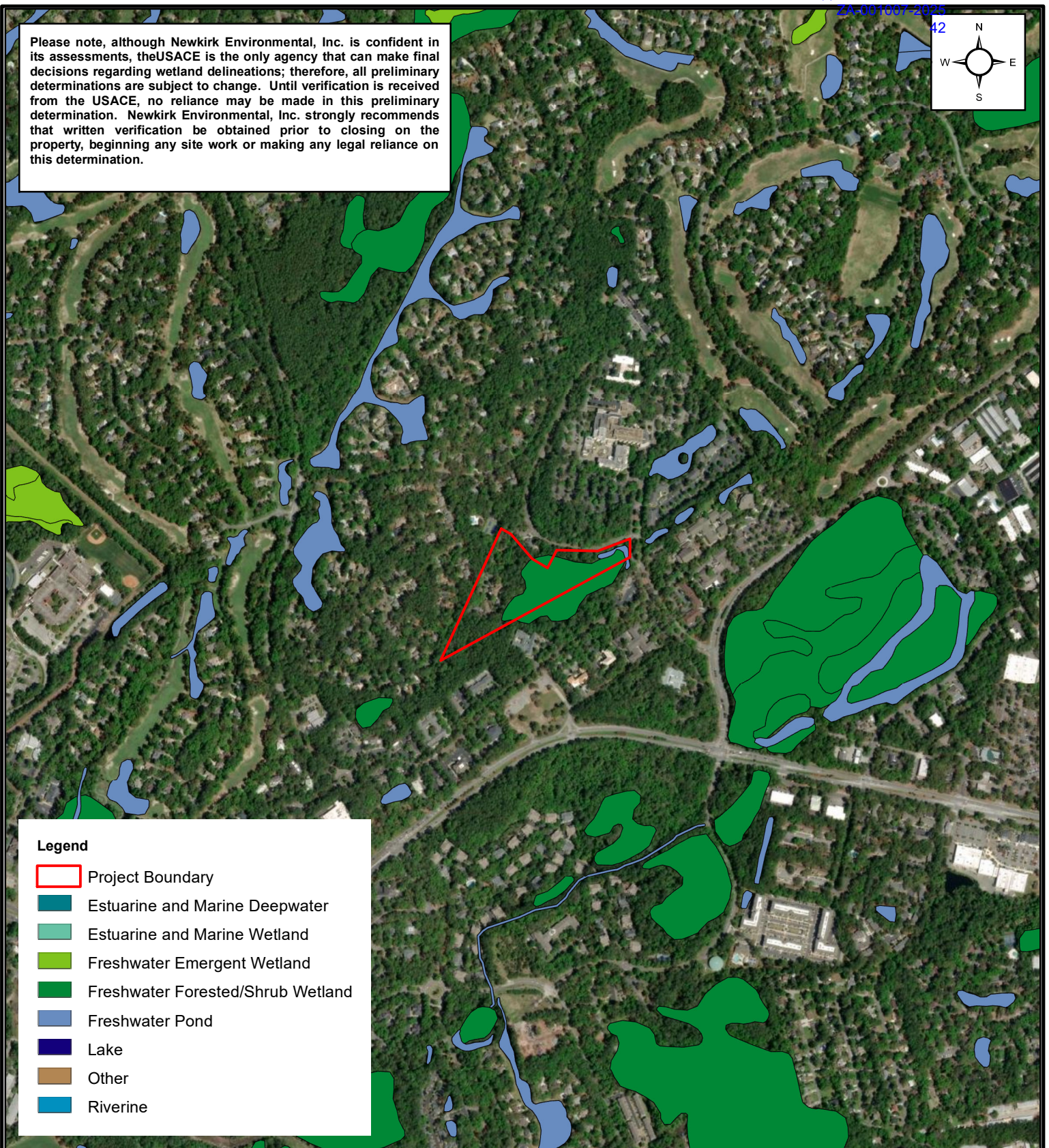
Created by: CAB

18 & 30 Bethea Drive  
Beaufort County, South Carolina





Please note, although Newkirk Environmental, Inc. is confident in its assessments, theUSACE is the only agency that can make final decisions regarding wetland delineations; therefore, all preliminary determinations are subject to change. Until verification is received from the USACE, no reliance may be made in this preliminary determination. Newkirk Environmental, Inc. strongly recommends that written verification be obtained prior to closing on the property, beginning any site work or making any legal reliance on this determination.



**Legend**










-  Project Boundary
-  Estuarine and Marine Deepwater
-  Estuarine and Marine Wetland
-  Freshwater Emergent Wetland
-  Freshwater Forested/Shrub Wetland
-  Freshwater Pond
-  Lake
-  Other
-  Riverine

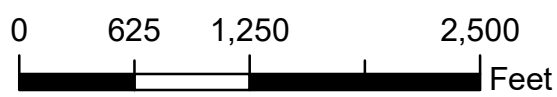
Figure 3: National Wetland Inventory (NWI) Map

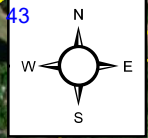
Project #: 04-5938a Date: April 2025

Created by: CAB

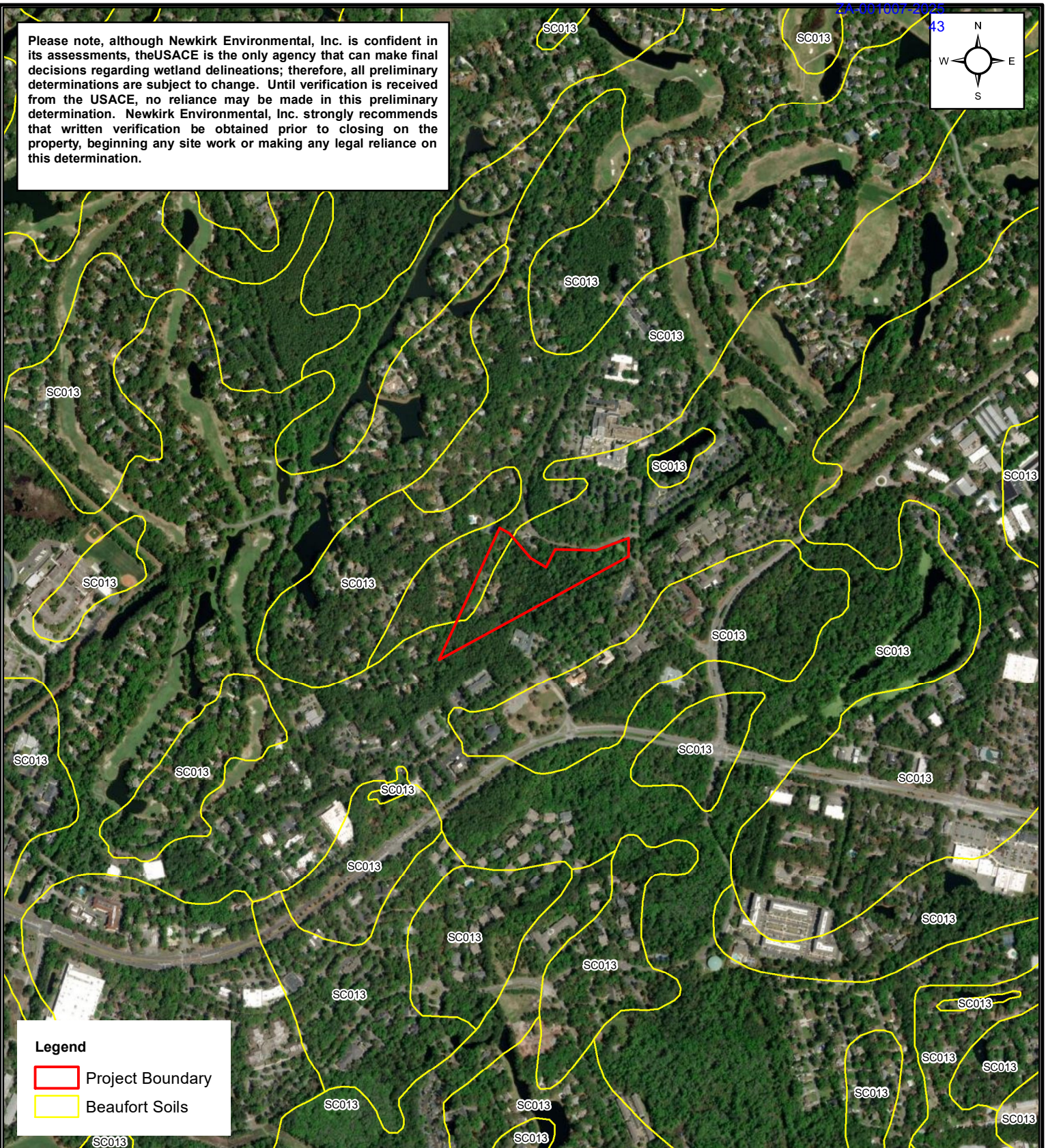


18 & 30 Bethea Drive  
Beaufort County, South Carolina





Please note, although Newkirk Environmental, Inc. is confident in its assessments, theUSACE is the only agency that can make final decisions regarding wetland delineations; therefore, all preliminary determinations are subject to change. Until verification is received from the USACE, no reliance may be made in this preliminary determination. Newkirk Environmental, Inc. strongly recommends that written verification be obtained prior to closing on the property, beginning any site work or making any legal reliance on this determination.



**Legend**

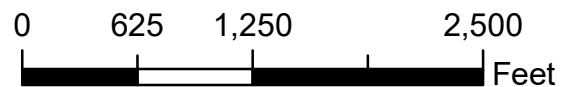
- Project Boundary
- Beaufort Soils

Figure 4: NRCS Soils Map

Project #: 04-5938a Date: April 2025

Created by: CAB

18 & 30 Bethea Drive  
Beaufort County, South Carolina



## Back Matter: Formal Application Outline

Application Letter for Zoning Map Amendment	1
Affidavit of Ownership and Hold Harmless	2
Application for Zoning Map Amendment	3
Attachment A: Property Information	4
Attachment B: Narrative	5
Section 1. Application Summary for ZA-001007-2025	6
Section 2. Development Background	8
Section 3. Development Description	8
Section 4. Workforce Affordability	9
Section 5. Roles and Implementation	10
Section 6. Rezoning Criteria	11
Section 7. PD-2 Design Standards: #CUR-3-88 Palmetto Headlands / Hilton Head Hospital	14
Hilton Head Medical Workforce Housing Conceptual Master Plan	17-18
Proposed #CUR-3-88 Master Plan Overlay: Palmetto Headlands / Hilton Head Hospital PD-2	19-20
Appendix A: Architectural and Community Design Standards Summary	21
Appendix B: Tree Inventory	24
Appendix C: Boundary Maps	25
Appendix D: Associated Maps and Surveys	32
Back Matter: Application Outline	45

2889

**PALMETTO HEADLANDS  
COMMERCIAL TRACTS  
AND  
HILTON HEAD HOSPITAL**

**TEXT**

**CUR 3-88**



**NOTICE OF ACTION TAKEN**

**ACCESS ROAD APPROVAL REQUEST**

**Addressed to Owner:**

Mr. Chuck Pigg  
Greenwood Development  
P.O. Box 5628  
Hilton Head Island, SC 29938

**Copied to Applicant/Agent:**

Mr. Jim Woods  
Hussey, Gay, Bell & DeYoung  
P.O. Box 14247  
Savannah, GA 31416

The Town of Hilton Head Island Planning Commission has reviewed the following request in accordance with LMO Sections 16-7-640 through 16-7-641.

**Approval Date:** 10-4-89

**Application No.:** CUR-3-88

**Project Name:** Palmetto Headlands Commercial Tracts Access Road

**Location:** Off U.S. 278 between Whooping Crane Way and the access to Modern Classic Motors

**Project Site Plan:** Driveway Encroachment Plan, New Access Road, prepared for Greenwood Development Corporation by Hussey, Gay, Bell & DeYoung, March 9, 1989

**Reviewed By:** Planning Commission

**Type of Request:** Commercial

**Non Res. s.f.:** N/A

**Other information:** Access Road approval as required by condition of PUD designation

**Tax Dist.:** 500

**Tax Map:** 8

**Parcel(s):** 4/27

**Site Acre(s):** N/A

**Application filing fee:** N/A

**Zoning Dist.:** C-4

**Trans. Dist.:** 1440

**Type of prior action:** PUD designation granted 1-4-88

**Any other approvals required:** Development Plan Approval of Access Road

P.O. Box 22779, Hilton Head Island, S.C. 29925 (803) 681-9440

Notice of Action Taken,  
Project Name: Palmetto Headlands Commercial Tracts Access Road  
Application No.: CUR-3-88  
Page 2

The Town of Hilton Head Island Planning Commission has found this Request to be in accordance with the Town's Land Management Ordinance and has authorized this approval.

By: Sharon C. Stone  
Title: Current Planner

This approval is subject to the following condition(s):

N/A

cc: Planning Technician  
Project File

Application No. CUR-3-88

TOWN OF HILTON HEAD ISLAND  
40 Palmetto Parkway  
Hilton Head Island, SC 29928  
(803) 681-8396

APPLICATION FOR CONDITIONAL USE REVIEW

Instructions: Please TYPE or PRINT legibly. Attach additional sheets if needed.

	Owner(s) of Record	Applicant(s), if different*
	Greenwood Development Corp.	
Name:	<u>Hilton Head Hospital Trustees</u>	_____
Mailing	<u>P.O. Box 5628</u>	_____
Address:	<u>Hilton Head Island, S.C. 29938</u>	_____
Phone:	<u>(803) 785-1106</u>	_____

\* LMO Section 16-7-603 requires the applicant or the designated agent to have a local mailing address and telephone number.

Tax map number(s) 103 & 299 portion of parcel 27 Tax Map 4 and 15 B and Parcel(s) 103A & 33 and acreage 94 of Property.  
 Property Location: Property is adjacent to Beach City Road & William Hilton Parkway  
 Base Zoning District(s) of Property: C-4  
 Applicable Overlay Zoning Districts: Corridor Overlay District  
 Type of Conditional Use: PUD X Non-Contiguous PUD \_\_\_\_\_ (See Part B of Article VIII)  
 This is a new PUD X or an amendment to an existing PUD \_\_\_\_\_.

Attach the following items:

1. A vicinity map
2. A narrative addressing the proposed development explaining and tabulating the land uses by net acre, number of dwelling units by housing type, residential density and/or square footage of non-residential uses per net acre, open space acreage, potential traffic generation (see Part C of Article VII), overall character and architectural style, the relationship of the proposed development to existing development in the area and other related development features.
3. A master plan schematically showing major streets, major utilities, land uses, entrance locations on existing streets, major open space and buffers and a conceptual drainage plan.
4. A statement of how the proposed development is consistent with the Comprehensive Plan.
5. Filing Fee: \$200.00 payable to the Town of Hilton Head Island. (Show name of project on the face of check.)

NOTE: The Planning Commission may request other relevant information.

To the best of my knowledge, the information on this application and accompanying documentation is true, factual and complete. I hereby agree to abide by all conditions imposed by the Town of Hilton Head Island if this conditional use is granted; I understand that such conditions shall apply to the subject property only, and are a right or obligation transferable by sale.

[Signature] \_\_\_\_\_ Date 5 DEC 88  
 Signature of Applicant (or Duly Authorized Agent)

PROPOSED DEVELOPMENT NARRATIVE

Purpose of P.U.D. Recognition

Palmetto Headlands Commercial Tracts and Hilton Head Hospital Properties are 94 acres located adjacent to Beach City Road (S.C. Highway 44) and William Hilton Parkway (U.S. Highway 278). Palmetto Headlands Commercial Tracts and Hilton Head Hospital Properties are currently zoned C-4. The purpose in designating this site as a P.U.D. is to provide a cohesive well integrated development. Palmetto Headlands Commercial Tracts and Hilton Head Hospital Properties are two areas of emerging growth that would significantly benefit from consolidation of planning goals. The P.U.D. classification will also provide maximum design flexibility (i.e. Market Responsiveness, Environmental Protection, Density Allocations, Infrastructure Planning and Implementation.

Land Use Tabulation

Total Acre = 94  
Total Acres = 94 ac x 17,000 S.F./AC = 1,598,000 S.F.

Open Space Calculations:  
(Site) Total Acres = 94  
Minimum Open Space Requirement (C-4 Non-Residential)=20%  
94 ac x 20% = 18.80 ac.

Wetlands	= 12.24 ac.
Wetland Buffer (30' average)	= 3.24 ac.
20' Buffer (Hilton Head Plantation)	= 1.75 ac.
Lagoons	= <u>3.65 ac.</u>
Total Open Space	<u>20.88 ac.</u>

Trip Generation

<u>Land Use Type</u>	<u>Average Weekday Trip Generation Rate</u>
Commercial Office Park	20.6 T.P.D. per 1,000 S.F.
20.6 T.P.D. x 1,598,000 S.F./1,000 = 32,500 T.P.D.	
32,919	

Site Character Architectural Style

The site will be developed into clustered pods of similar uses. The Hilton Head Hospital Properties will be developed into eight tracts. The existing Hospital site is not part of this application, but will interface with adjacent development to create a medical campus. Tracts G-1 through G-8 will be medical related sites that will be clustered along a peripheral secondary road. The Palmetto Headlands Tracts F-A through F-K will provide a variety of commercial uses with similar land uses clustered, and will coordinate it's site design features with the Hilton Head Hospital Tract. The Palmetto Headlands Commercial Tracts will be developed around existing wetlands and proposed lagoons to create an attractive and environmentally sensitive development. The general architectural style will reflect current successful Island Architecture. The combination of stucco and wood will be the predominant building material.

Adjacent Properties

The Palmetto Headlands and Hilton Head Hospital Commercial Properties is adjacent to existing commercial properties on the south and west. Hilton Head Plantation is adjacent to the northern property line of the subject site. The property to the east is presently undeveloped and is an approved P.U.D. residential development. All required setbacks have been addressed on the Master Plan.

STATEMENT OF CONSISTENCY

The Palmetto Headlands and Hilton Head Hospital Commercial Site has been designed to be consistent with all sections of the Comprehensive Plan. The proposed densities are well below maximum allowable densities in C-4 Zoning District. Open space requirements and maximum impervious site coverage are consistent with C-4 Zoning District requirement. The master plans reflect design standards set forth in Article VIII Parts A-M.

It is the intention of Hilton Head Hospital and Greenwood Development Corporation, owner of Palmetto Headlands Commercial Tracts, to coordinate all site features of their respective properties in a unique opportunity to effectively plan two owner's properties into one P.U.D. Utilities, open space, wetlands, and storm water management will be coordinated between the two entities.

Application No: \_\_\_\_\_

TOWN OF HILTON HEAD ISLAND  
40 PALMETTO PARKWAY  
HILTON HEAD ISLAND, S.C. 29928  
(803) 681-8396

RECEIVED  
9-25-89

REQUEST FOR APPEAL

Instructions: Please TYPE or PRINT legibly. Attach additional sheets if needed.

Name:	Appellant <u>Greenwood Development Corporation</u>	Duly Authorized Agents <u>Jim Woods-Hussey, Gay, Bell &amp; DeYoung</u>
Mailing Address:	<u>P.O. Box 5628</u> <u>Hilton Head Island, S.C. 29938</u>	<u>P.O. Box 14247</u> <u>Savannah, Georgia 31416</u>
Phone:	<u>803-785-1106</u>	<u>912-354-4626</u>

Please summarize the decision you are appealing: Bill Issel interpretation of LMO Section 16-7-827(g) (1) as related to Palmetto Headlands Access onto Highway 278

Please explain the basis upon which you have the right to appeal: The actual distance between the proposed access road and the centerline of Whooping Crane Way exceeds requirement.

Town official or body which made decision: Bill Issel  
Date of Decision: September 15, 1989

If applicable to the nature of the appeal:

Name of affected development: Greenwood Development Loop Access Road  
Base and Overlay Zoning District(s): PUD C-4  
Location of Project: Palmetto Headlands Commercial Subdivision  
Tax Map Number(s) 15 and Parcel(s) 103, 103A, 299, 377 of development

Attach the Following Items:

1. A Narrative Providing:
  - a. A detailed statement of the grounds of the appeal, including citation of any LMO section numbers relied upon.
  - b. A statement of the specific decision requested of the Board of Adjustments.
2. If the appeal is filed by an agent acting on behalf of another party, written certification signed by the other party that such party consents to the appeal.  
Note: LMO Section 16-7-603 requires appellant or authorized agent to have a local mailing address or telephone number.
3. Any other supporting documentation, limited to the elaboration of facts already presented to prior decision makers, which the appellant may wish to submit.
4. Filing Fee: \$10.00 for appeals of the Sign Administrator/\$100.00 for all other appeals. Payable to the Town of Hilton Head Island.

Jim Woods  
Signature of Appellant  
(or Duly Authorized Agent) \_\_\_\_\_  
Date September 25, 1989

LMO 022087 RFA



**OUTH  
AROLINA  
OASTAL  
OUNCIL**

hley Corporate Center  
80 Executive Place North  
ite 300  
arleston, S.C. 29405  
73) 744-5838  
lex (803) 744-5847

hn C. Hayes, III  
airman

Wayne Beam, Ph.D.  
ecutive Director

August 25, 1989

Mr. Malcolm Watkins  
Domestic Wastewater Division  
S. C. Department of Health  
and Environmental Control  
2600 Bull Street  
Columbia, SC 29201

Re: Palmetto Headlands  
Commercial Frontage  
Road  
Beaufort County

Dear Mr. Watkins:

The staff of the S. C. Coastal Council certifies that the above referenced project is consistent with the Coastal Zone Management Program provided that prior to final inspection by S. C. Coastal Council, the applicant must demonstrate to this agency that he has adequately provided for the protection of the freshwater wetlands on site. This must be done by placing the boundaries of these wetlands on a plat and having that plat recorded at the Beaufort County Courthouse so that all future purchasers of these subdivided lots are made aware of the existence of the wetlands. Additionally, since the approved storm water management plan only concerns the proposed roadway and not the future commercial lots, the applicant must also demonstrate to S. C. Coastal Council that the storm water impacts from the future commercial development will be adequately addressed. A deed restriction or some other acceptable, legally binding method must be used to notify and require all future developers of these commercial lots that they must comply with S. C. Coastal Council storm water guidelines. A final site inspection will be required prior to issuance of the Coastal Council's final certification approval.

Sincerely,

H. Stephen Snyder  
Director of Planning  
and Certification

JHA  
JHA:0006DSB

cc: Dr. H. Wayne Beam  
Mr. Christopher L. Brooks  
Mr. George Nelson  
~~Mr. William Woods~~



**SOUTH  
CAROLINA  
COASTAL  
COUNCIL**

Shiley Corporate Center  
280 Executive Place North  
Suite 300  
Charleston, S.C. 29405  
303) 744-5838  
Telex (803) 744-5847

John C. Hayes, III  
Chairman

I. Wayne Beam, Ph.D.  
Executive Director

August 25, 1989

Mr. Carl Richardson  
Water Supply Permitting Section  
S. C. Department of Health  
and Environmental Control  
2600 Bull Street  
Columbia, SC 29201

Re: Palmetto Headlands  
Commercial Frontage  
Road  
Beaufort County

Dear Mr. Richardson:

The staff of the S. C. Coastal Council certifies that the above referenced project is consistent with the Coastal Zone Management Program provided that prior to final inspection by S. C. Coastal Council, the applicant must demonstrate to this agency that he has adequately provided for the protection of the freshwater wetlands on site. This must be done by placing the boundaries of these wetlands on a plat and having that plat recorded at the Beaufort County Courthouse so that all future purchasers of these subdivided lots are made aware of the existence of the wetlands. Additionally, since the approved storm water management plan only concerns the proposed roadway and not the future commercial lots, the applicant must also demonstrate to S. C. Coastal Council that the storm water impacts from the future commercial development will be adequately addressed. A deed restriction or some other acceptable, legally binding method must be used to notify and require all future developers of these commercial lots that they must comply with S. C. Coastal Council storm water guidelines. A final site inspection will be required prior to issuance of the Coastal Council's final certification approval.

Sincerely,

H. Stephen Snyder  
Director of Planning  
and Certification

JHA  
JHA:0006DSB

cc: Dr. H. Wayne Beam  
Mr. Christopher L. Brooks  
Mr. George Nelson  
~~Mr. William Wood~~

## South Carolina Department of Health and Environmental Control

2600 Bull Street  
Columbia, S.C. 29201

Commissioner  
Michael D. Jarrett



Board  
Henry S. Jordan, M.D., Chairman  
John G. Pate, M.D., Vice-Chairman  
William E. Applegate, III, Secretary  
Toney Graham, Jr., M.D.  
John H. Burriss  
Richard E. Jabbour, D.D.S.  
Currie B. Spivey, Jr.

Page 1 of 2

### CONSTRUCTION PERMIT

Permission is Hereby Granted to: Greenwood Development Corporation  
Post Office Box 5628  
Hilton Head Island, SC 29938

for the construction of a potable water source, treatment and/or  
distribution system in accordance with plans, specifications and  
design calculations dated June, 1989, by Roy Maas, P.E., S. C.  
Registration No.: 11201.

PROJECT NAME: Palmetto Headlands - Commercial  
COUNTY: Beaufort

PROJECT DESCRIPTION: Installation of approximately 2,100 LF of 12"  
water line, 3 fire hydrants, and appurtenances.

Water Provided By: Hilton Head Plantation Utilities  
System Number: 0750028

SPECIAL CONDITIONS:

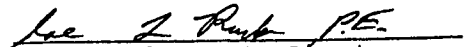
(See Attached Page)

Permit Number: 401650

Date: August 30, 1989

EXPIRATION DATE: Unless construction is completed by  
August 30, 1991 it will be necessary to reapply  
since this permit will no longer be valid.

This is a permit for construction only and does not constitute State  
Department of Health and Environmental Control approval, temporary or  
otherwise, to place this system in operation.

  
Joe L. Rucker, P.E., Director  
Water Supply Construction Division

JWC 891858

cc: Mr. Roy Maas, P.E.  
Mr. George P. Nelson, Jr., District Director  
Mr. Richard Hatfield, District Sanitation Director  
Hilton Head Plantation Utilities, Inc.

**SPECIAL CONDITIONS:**

Construction Permit Number: 401650

Date: August 30, 1989

1. All pipe material, solder and flux shall be lead free (less than 0.2 percent lead in solder and flux and less than 8.0 percent lead in pipes and fittings).
2. Any connection to the plug(s) shown must be approved under a separate construction permit prior to the initiation of any construction of any "on-site" lines.
3. Before final approval to place into operation can be granted, this agency must receive written notification from the S. C. Coastal Council that all conditions of their certification have been met.
4. All PVC pipe shall be NSF approved.
5. Water/sewer line separation shall be in accordance with Section R61-58.4D(12) of the State Primary Drinking Water Regulations.

# South Carolina Department of Health and Environmental Control

2700 Bull Street  
Columbia, S.C. 29201

Commissioner  
Michael D. Jarrett



## CONSTRUCTION PERMIT

Beard  
Moses H. Clarkson, Jr., Chairman  
Oren L. Brady, Jr., Vice-Chairman  
Futa M. Colvin, M.D., Secretary  
Harry M. Hallinan, Jr.  
Henry S. Jordan, M.D.  
James A. Spruill, Jr.  
Toney C. Graham, M.D.

Permission is hereby granted to: Greenwood Development Corporation  
P. O. Box 5628  
Hilton Head Island, South Carolina 29938

for the construction of a waste treatment and/or collection system in accordance with construction plans, specifications, engineering report and Construction Permit Application signed by Roy W. Maas, Registered Professional Engineer, S.C. Registration No: 11201.

Project Description: Project Name: Palmetto Headlands Frontage Road

Approximately 120 L.F. of 8" gravity sewer, 2095 L.F. of 10" gravity sewer, manholes and all other necessary appurtenances.

Effluent to be discharged to Hilton Head PSD/Spray Irrigation in the  
(Stream or Existing System)  
N/A basin at a daily rate not to exceed 0\*  
gallons per day. County in which project is located: Beaufort

Effluent concentrations of those constituents the system is designed to remove or reduce will be as follows: N/A

Coordinates of the discharge point: N/A  
(to nearest 5 seconds)

### Special Conditions:

1. This project must be constructed in accordance with Hussey, Gay, Bell & DeYoung, Inc. Standard Specifications on file with this agency.
2. Before final approval to place in operation can be granted, this agency must receive written notification from the S.C. Coastal Council that all conditions of their certification have been met.

\*This permit is for construction of a dry line only; Individual taps and collection systems tying onto this line must be submitted to S.C. DHEC for review and approval prior to construction, with the flow being permitted at that time.

Permit No: 15,731 Date of Issue: October 6, 1989

Expiration Date: Unless construction is initiated prior to October 6, 1990 it will be necessary to reapply since this permit will no longer be valid.

Treatment Plant Classification: N/A

In accepting this permit, the owner agrees to the admission of properly authorized persons at all reasonable hours for the purpose of sampling and inspection.

THIS IS A PERMIT FOR CONSTRUCTION ONLY AND DOES NOT CONSTITUTE STATE DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL APPROVAL, TEMPORARY OR OTHERWISE, TO PLACE THIS SYSTEM IN SERVICE.

GE/CS.

246

Roy W. Maas  
Bureau of Wastewater and  
Quality Control

**P.U.D. DESIGNATION REQUEST**

**H.H. HOSPITAL PROPERTIES**

**and**

**PALMETTO HEADLANDS  
COMMERCIAL TRACTS**

*for*

**GREENWOOD DEVELOPMENT CORP.**

*and*

**HOSPITAL BOARD of TRUSTEES**

**NOVEMBER, 1988**

**PREPARED BY**

**EDWARD PINCKNEY / ASSOC. LTD.  
P.O. BOX 5339  
HILTON HEAD ISLAND, S.C.**

**HUSSEY GAY BELL & DEYOUNG  
CONSULTING ENGINEERS  
P.O. BOX 14247  
SAVANNAH, GEORGIA**



DEPARTMENT OF THE ARMY  
CHARLESTON DISTRICT, CORPS OF ENGINEERS  
P.O. BOX 919  
CHARLESTON, S.C. 29402-0919

REPLY TO  
ATTENTION OF

July 1, 1988

Regulatory Branch

Mr. Gus H. Bell  
Hussey, Gay, Bell & DeYoung, Inc.  
P. O. Box 14247  
Savannah, Georgia 31416-1247

Dear Mr. Bell:

This is in response to your letter of June 7, 1988 with an attached copy of the preliminary master plan for Palmetto Headlands of Hilton Head Island dated October, 1984, wherein you requested a letter of confirmation on the Corps' earlier positions as expressed in our letters to your firm dated February 15, 1985, and June 4, 1986.

In regard to the February 15, 1985 letter written to Mr. Allan R. Black (formerly with your firm), we had informed him of the Corps decision to exert 404 jurisdiction over the various wetlands as identified by Corps personnel and as depicted on a property plat entitled, "Wetlands at Palmetto Headlands," dated May 1984. Based on this earlier approval, the Corps still holds the position that these wetlands as depicted on the above referenced plat are an accurate representation of the Corps' jurisdictional wetlands located within the boundaries of the Palmetto Headlands tract.

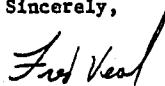
In regard to the June 4, 1986, letter which was written in response to your request for Department of the Army permit requirements for two proposed road crossings at Palmetto Headlands, we had responded that road crossing "B," as indicated on your drawings, would not require a Department of the Army permit since the area was classified as a man-made drainage ditch and not a wetland within the regulatory authority of the Corps. Road crossing "A" did occur in an area that would be classified as wetlands within the Corps jurisdiction; however, you were advised that this road crossing would be authorized by a nationwide permit provided that the conditions contained in the enclosed extract were met. The Corps still holds these positions as stated above, provided that the road crossings are within the same alignments as originally shown on the plan view and are constructed to the specifications as indicated on your cross sections dated May 8, 1986.

I hope this will suffice as an adequate reply in order to alleviate the problems and confusion you and your client may have incurred during the developmental stages of this project. Please feel free to call me if you have any further questions regarding this matter or any future projects that maybe within our jurisdiction.

-2-

A copy of this letter has been provided to Mr. H. Stephen Snyder, South Carolina Coastal Council, Ashley Corporate Center, 4280 Executive Place North, Suite 300, Charleston, South Carolina 29405.

Sincerely,



Fred Veal  
Project Manager  
Regulatory Branch



**SOUTH  
CAROLINA  
COASTAL  
COUNCIL**

Shiley Corporate Center  
80 Executive Place North  
Suite 300  
Charleston, S.C. 29405  
(803) 744-5838  
Telex (803) 744-5847

John C. Hayes, III  
Chairman

Wayne Beam, Ph.D.  
Executive Director

June 6, 1988

Mr. Gus Bell  
Hussey, Gay & Bell Engineers  
P. O. Box 14247  
Savannah, GA 31416

Dear Mr. Bell:

This letter is written in response to your request for a letter of confirmation regarding our approval of the concept plan for Palmetto Headlands prepared by Hussey, Gay & Bell and Ed Pinckney Associates, dated August 31, 1984, which our staff approved in a letter to you of the same date.

Our position on this certification is that we still regard that master plan approval as the position of the Council staff and will certify any Department of Health and Environmental Control, Corps of Engineers or other State or Federal agency permits within the project boundaries based upon the wetland delineations and development proposals indicated on that plan. As you are aware, since the time of our approval of this conceptual plan, the Corps of Engineers permitting requirements for placing fill material in isolated wetland areas have changed significantly. The procedures and requirements for public notice, notification of other affected agencies and the specific permit forms and requirements are the responsibility of the Operations Division of the Corps of Engineers and are subject to the operational agreements that are presently in place between our agencies. I would encourage you to restrict all fill within the project to under an acre as indicated in your letter to Clarence E. Hamm.

I also must remind you to coordinate the development of the Ft. Mitchell area with the S. C. Department of Archives and History as early as possible to avoid any delays in permitting.

Sincerely,

*H. Stephen Snyder*  
H. Stephen Snyder  
Director of Planning  
and Certification

RDM:0365DSB

cc: Dr. H. Wayne Beam  
Mr. Christopher L. Brooks  
RM Mr. Rob Mikell  
Mr. C. E. Hamm

MEMORANDUM

TO: Planning Commission  
FROM: Shannon Stone, Current Planner *SS*  
DATE: December 28, 1988  
RE: Conditional Use Review for The Palmetto Headlands and  
Hilton Head Hospital Commercial PUD

---

This request is for a Commercial and Medical Planned Unit Development (PUD) to be developed by Greenwood Development Corporation and Hilton Head Hospital on ninety-four (94) acres fronting on Beach City Road and William Hilton Parkway. The property is adjacent to Hilton Head Plantation on the north and west; south of the property is existing commercial and vacant property zoned for commercial development; to the east is Palmetto Headlands, an approved, as yet undeveloped, residential PUD.

The property is located in a C-4, Office/Institutional Moderate Intensity Zoning District. In this district, a PUD is permitted with conditional use review. The proposed PUD must be developed with uses permitted in the C-4 zoning district as well as comply with the specific intensity area regulations of that district (LMO section 16-7-808).

This PUD is proposed to include twelve (12) parcels to be developed with commercial uses and nine (9) parcels to be developed with medical related uses. No specific uses have yet been identified for each of these parcels. Some of the permitted by right uses in the C-4 district include offices (governmental, business, professional or general), banks and financial institutions, restaurants to serve primarily the district, and health services. Commercial uses such as businesses involving the rendering of personal services or services to other businesses would require special exception review prior to approval for development. Retail/wholesale uses would not be permitted. An outparcel at the northeast corner of the PUD where Beach City and Bill Fries Roads intersect, has been designated for a Catholic Church, a permitted use in the district. The maximum permitted density in the C-4 district is seventeen thousand (17,000) square feet per net acre.

The attached copy of the Schematic Master Plan identifies the proposed parcel layout as well as pedestrian and vehicular circulation. The commercial use parcels are proposed along Beach City Road and William Hilton Parkway adjacent to existing commercial areas (Main Street Office Park and Modern Classic Motors). These parcels will access on a road running parallel to Beach City and Highway 278. At this time this road does not

Page Two  
Conditional Use Review

connect to the existing Main Street. It would, however, be advantageous to develop such a roadway, as it would provide connections between shopping, hospital and doctor facilities, schools, airport and beach without traveling on William Hilton Parkway. Through the Capital Improvements Program, the Town is pursuing similar connectors in other areas such as the Shelter Cove Connector.

The nine parcels clustered around the existing Hilton Head Hospital are proposed as a "medical campus". These lots will be accessible from an internal roadway which circles the parcels. Walkways will be provided in this area so that pedestrians can move easily between buildings and around the proposed open space areas.

There is an existing wetland in the central part of the site which will be preserved. South Carolina Coastal Council and Army Corps of Engineers approval is required to verify the boundary of this wetland. Preliminary correspondence with these agencies indicates no anticipated problems with developing the PUD as proposed in the conceptual plan. A series of lagoons will also be constructed to handle storm water drainage. Additional engineering related comments should be available from the Town Engineering Department at the Planning Commission meeting.

The applicant's purpose for requesting the PUD designation is to create an organized development, with similar uses located in proximity to one another and providing an internal circulation system for convenient access in and around the development. As proposed, the PUD should be compatible with the character of the neighborhood since it is adjacent to existing and as yet undeveloped commercial uses and will be developed as moderate intensity office/institutional uses consistent with the C-4 zoning district.

The proposed road system should provide safe and efficient circulation within the PUD. Linking the road parallel to Highway 278 and Beach City Road with Main Street, would provide an important access road for travel between business and residential areas. This would be consistent with the Town Comprehensive Plan which recommends that alternative transportation routes be provided to alleviate congestion on Highway 278.

Staff, therefore, recommends approval of the conditional use for a PUD to be developed with commercial/medical uses consistent with those identified in the C-4 zoning district, with the following conditions:

1. That the access onto Highway 278 between Development

Page Three  
Conditional Use Review

Parcels F-B and F-C not be permitted at this time. A study assessing the impacts of this proposed access should be conducted by the applicant and the results presented to the South Carolina Department of Highways and Public Transportation for analysis. The study and Highway Department comments/recommendation(s) should then be referred back to the Planning Commission for a final determination on the approval of this proposed access.

2. That the road proposed to run parallel to Highway 278 and Beach City Road be aligned with Main Street to allow future connection of these roads.

It is recommended that every effort be made by the developers and Hilton Head Plantation to connect the frontage road parallel to William Hilton Parkway with Main Street. Additional traffic studies will be necessary to determine the impact of this proposal, but it appears that such a connection would facilitate travel between business and residential areas while decreasing traffic on Highway 278.



December 21, 1988

Mr. Charles Pigg  
c/o Greenwood Development Corp.  
P.O. Box 5628  
Hilton Head Island, SC 29938

Re: Palmetto Headlands Residential PUD Concerns


Dear Chuck:

As a follow-up to our phone conversation yesterday, I am writing this letter concerning Palmetto Headlands residential PUD. Following is a list of comments by the Town Planning Staff:

1. Natural Resources Administrator's approval of tree removal for golf course crossing the wetlands is subject to comments/concerns/approval of S.C. Coastal Council.
2. The number of trees being removed from the wetland at the northwest corner of the long, open wetland may affect that wetland's stability. Tree cover in this wetland appears to be more than "moderate", based on 1986 aerial photographs of the site.
3. Trees in the wetlands cut for golf course crossings shall be cut at a height of ten (10') feet to maintain habitat for wildlife.
4. No bush hogging will be allowed in set-aside conservation areas. Development will be limited to nature walks and appropriate accessory uses.
5. Concerned about pesticide and herbicide run-off from golf course into lagoons and wetlands.

If you have questions call me or Sally Krebs at 681-8396, or Thomas Brechko at 681-9440.

Sincerely,

  
Bryan D. Wood  
Manager of Current Planning

cc: Thomas Brechko  
Sally Krebs  
Edward Pinckney/Associates

BDW:cf

RECEIVED  
12/21

# MAIN STREET



December 19, 1988

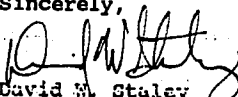
Mr. Bryan Wood  
Town of Hilton Head Island  
Planning and Inspections  
23 Palmetto Parkway  
Hilton Head Island, S.C. 29926

Dear Bryan:

Please accept this letter as confirmation of Hilton Head Plantation Company's agreement to the concept of connecting Main Street to the new roadway proposed by Greenwood Development on the eastern boundary of our Parcel F.

It is our understanding that Greenwood Development has submitted a comprehensive master plan for the property surrounding the Hospital and Beach City Road area. We support the proposed extension of Main Street through this property and agree to coordinate construction of the balance of the road in Parcel F to tie-in with their proposed roadway. If you need additional information prior to the January 4 Planning Commission hearing for this proposed development please let me know.

Sincerely,

  
David W. Staley  
Director of Commercial Sales

DWS/bjg

M E M O R A N D U M

TO: Planning Commission  
FROM: Shannon Stone<sup>SS.</sup>, Current Planner  
DATE: October 2, 1989  
RE: Palmetto Headlands Commercial Access Road

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The attached traffic memoranda are submitted for consideration by the Planning Commission as a condition of approval of the Hilton Head Hospital Properties and Palmetto Headlands Commercial Tracts PUD. The conditional use approval for the PUD was granted by the Planning Commission January 4, 1989. The access road under consideration was not approved at that time pending submission of a traffic analysis showing impacts of the proposed curb cut. A copy of the conditional use approval is attached.

The proposed access road will allow direct access to 278 from a frontage road proposed for the PUD. The access road meets LMO requirements for location of new access on a major arterial (section 16-7-827 g 1). It is located approximately 608 feet west of the right turn into Whooping Crane Way and approximately 531 feet east of the entrance to Modern Classic Motors. The South Carolina Department of Highways and Public Transportation has granted an encroachment permit for the proposed access road. A copy of the site plan is attached.

As summarized in the attached technical memorandum prepared by Traffic Systems International, Inc. (TSI), the proposed access road should reduce vehicular miles traveled, provide direct access to thirteen (13) acres of the proposed development located parallel to 278, and reduce traffic congestion at the Mathews Drive/278 intersection. This report does not, however, address the Town Staff's concern related to potential conflict between vehicles exiting the access road and those merging right on 278 to enter Whooping Crane Way.

This concern about the impact of vehicular weaving movements is addressed in the addendum to the technical memorandum, dated October 2, 1989. This report indicates that during the P.M. peak hour, when traffic is proposed to be the heaviest, there should be no potential conflict between vehicles exiting the access road and those turning into Whooping Crane Way. Vehicles exiting the access road will be turning right only. Because this is an office development, drivers should be primarily local citizens knowledgeable of the Whooping Crane deceleration lane and aware of those merging right to enter Hilton Head Plantation.

Page Two  
Palmetto Headlands Commercial Access Road

Although this study indicates few drivers using the access road will cross to the left lane to turn left at the light and travel south on 278, this scenerio will undoubtedly change when Indigo Run is developed. It is still true, however, that the drivers will be primarily locals who should determine the safest, most expediant way to leave work, probably choosing to exit via the frontage road to avoid the difficulty of crossing lanes on 278.

After review of the technical memoranda on traffic impacts, Staff recommends approval of the proposed access road.



TRAFFIC SYSTEMS INTERNATIONAL, LTD.

P.O. Box 98391

Atlanta, Ga. 30359

August 28, 1989

TECHNICAL MEMORANDUM

To: Jim Woods - Hussey, Gay, Bell & DeYoung, Inc.

From: G. K. Sanderlin - Traffic Systems International, Ltd. *GKS*

Subject: Greenwood Development Corp. Commercial Frontage Road Access onto U.S. 278

It is the intent of this memo to discuss the methodology used by Traffic Systems International, Ltd. (TSI) to evaluate the traffic needs associated with the construction of a new roadway connection between the proposed Main Street extension and U.S. 278. The analysis is based upon a Main Street extension being constructed parallel to U.S. 278 such that internal access/circulation for vehicular traffic will be provided.

Existing access to the potential development is provided by several radial roadways extending from U.S. 278, i.e.,

- o Matthews Drive to Beach City Road
- o Beach City Road (east and west) to Bill Fries Drive.

The intersection of Matthews Drive and U.S. 278 is presently operating at level of service (LOS) "E." Consequently, it would be best that traffic move through that particular intersection and not make any turning movements.

It is anticipated that the new roadway access to U.S. 278 will be approximately 700 feet west of the U.S. 278/Beach City Road intersection. This cut would provide direct access to approximately 13 acres of land. In order to determine the traffic impact on the 13 acres and the associated access roadway needs, a directional distribution of island vehicular traffic was forecast. The forecast was predicated on dwelling units as well as existing traffic volumes. The following distribution was determined:

- o 52% from the east
- o 34% from the west
- o 5% from the north
- o 9% from Hilton Head Plantation.

Since this is not a traffic mitigation plan and no site development plans have thus far been developed, the figure of 17,000 square feet of site density per acre was used to forecast the traffic that would be generated by office land use. The 17,000 square feet per acre density had previously been approved by the Town Planning Board (by-rights).

TECHNICAL MEMORANDUM

Page 2

TABLE 1  
 GENERATION ESTIMATE<sup>1</sup>

	A.M.		P.M.		A.D.T.
	In	Out	In	Out	
4.5 Acres	111	19	14	87	1,354
6.5 Acres	207	24	49	194	1,580
2.0 Acres	71	8	7	39	602
9.0 Acres <sup>2</sup>	102	18	13	80	1,239

52%

TABLE 1A  
 GENERATION ESTIMATE<sup>1</sup>

	A.M.		P.M.		A.D.T.
	In	Out	In	Out	
4.5 Acres	58	10	7	45	704
6.5 Acres	108	12	25	101	822
2.0 Acres	<u>37</u>	<u>4</u>	<u>4</u>	<u>20</u>	<u>313</u>
Subtotal	203	26	36	166	1,839
50% - 9 Acres	26	4	4	21	322

34%

TABLE 1B  
 GENERATION ESTIMATE<sup>1</sup>

	A.M.		P.M.		A.D.T.
	In	Out	In	Out	
4.5 Acres	37	7	4	29	460
6.5 Acres	70	8	17	66	537
2.0 Acres	<u>24</u>	<u>2</u>	<u>2</u>	<u>14</u>	<u>204</u>
Subtotal	131	17	23	109	1,201
9.0 Acres	35	6	4	27	422
50% from U.S. 278 (R.T.)	26	4	4	21	322

TECHNICAL MEMORANDUM

Page 3

<sup>1</sup> Institute of Transportation Engineers, Traffic Generation, 4th Ed.

<sup>2</sup> 9 acres is not part of Greenwood Development Corp. property but could be accessed by their development.

Traffic by nature will take the line of least resistance, particularly if that line provides the shortest distance between two points. Using the intersection of U.S. 278 and Beach City Road as the starting point, the centroid of the 13 acres is approximately 1500 feet via U.S. 278 and a new access roadway, and 2600 feet via Beach City Road. Using Matthews Drive as the starting point, the centroid of the 13 acres is approximately 6200 feet via Matthews Drive and 5300 feet via U.S. 278 and the new access roadway. A new access roadway will reduce the vehicular miles of travel.

In making the traffic assignment, several scenarios were investigated. Using 52% of the traffic traveling west on U.S. 278 would equate to approximately 229 vehicles using one of the following to access the 13 acres during the a.m. peak:

- o Direct access via the new access roadway;
- o Matthews Drive (along with other morning traffic, including the hospital-related traffic);
- o Beach City Road to Bill Fries Drive - to be dispersed with the existing traffic;
- o Whooping Crane Way, if the Main Street extension is constructed to connect with Whooping Crane Way.

Also, during the a.m. peak hour, there are approximately 180 vehicles from the east accessing the 13 acres. Access from the east is more difficult unless the Main Street extension connection to Whooping Crane Way is constructed. Alternative access schemes are:

- o Beach City Road to Bill Fries Drive
- o U-turn at Beach City Road/U.S. 278 and double back (less vehicle miles traveled than previous alternative).

The latter alternative would then account for the original 229 vehicles plus 180 vehicles, for a total of 409 vehicles during the a.m. peak accessing the 13 acres via a new access roadway connection to U.S. 278.

The more interesting of the peak hour access scenarios occurs during the p.m. peak hour. If both the new access roadway to U.S. 278 and the Main Street extension connecting with Whooping Crane Way are constructed, then approximately 115 vehicles will exit the new access roadway onto U.S. 278 and 281 vehicles will exit the Main Street extension. However, if only the new access roadway is constructed, then approximately 254 of 396 vehicles (115 + 281) will use the new connection to U.S. 278. The remaining 142 vehicles will use Matthews Drive.

The most interesting scenario from a traffic standpoint is the "do nothing" alternative whereby the new access roadway connection to U.S. 278 is not constructed. Under this alternative, approximately 233 vehicles will use Beach City Road to access U.S. 278; the remaining 163 vehicles should access U.S. 278 via Matthews Drive, although a small

INDUSTRIES TO 18037851154 P.05

TECHNICAL MEMORANDUM

Page 4

percentage may use Beach City Road. However, if 140 to 160 additional vehicles turn left from Matthews Drive onto U.S. 278, it does not require another capacity analysis to know what the additional left turning traffic will do to an intersection already at LOS-"E."

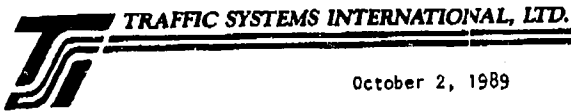
A capacity analysis of the p.m. peak (4:30-5:30) traffic conditions on U.S. 278 at the proposed new access roadway indicated a level of service "D" for the 115 vehicles accessing U.S. 278. The capacity analysis for the a.m. peak hours was not performed because the traffic accessing the new roadway is flowing with the traffic stream and is not in conflict or attempting to negotiate a gap in traffic.

In summary, a new access roadway linking a Main Street extension with U.S. 278 would benefit the employers/employees associated with the future development of the 13 acres in the following ways:

- o It would help reduce vehicular miles of travel.
- o It would provide direct access to the 13 acres from U.S. 278.
- o It would reduce traffic congestion at the U.S. 278/Matthews Road Intersection.
- o It would not have an adverse effect on U.S. 278 at its intersection.

The "T" type intersection is to be constructed as a right turn in - right turn out. It was analyzed using only 13 acres of the total land area available. We therefore feel that this is a conservative estimate.

RECEIVED  
10-2-89



P.O. Box 98391  
Atlanta, Ga. 30359

October 2, 1989

ADDENDUM  
TO  
TECHNICAL MEMORANDUM

As addressed in the Technical Memorandum to Jim Woods, dated August 28, 1989, the proposed commercial frontage road access onto U.S. 278 will function/operate at Level of Service (LOS) "D" during the p.m. peak period. This is the most critical time of operation because of the access road egress onto U.S. 278. The operational and safety aspects of the proposed access road are discussed herein.

The following are excerpts from the Highway Capacity Manual - Special Report 209 - published by the Transportation Research Board, National Research Council, Washington, D.C., 1985 (HCM):

"In general, the capacity of a facility is defined as the maximum hourly rate at which persons or vehicles can reasonably be expected to traverse a point or uniform section of a lane or roadway during a given time period under prevailing roadway, traffic, and control conditions.

Control conditions - Control conditions refer to the types and specific design of control devices and traffic regulations present on a given facility. The location, type, and timing of traffic signals are critical control conditions affecting capacity. Other important controls include STOP and YIELD signs, lane use restrictions, turn restrictions, and similar measures.

Unsignalized Intersections make up the vast majority of at-grade junctions in any street system. STOP and YIELD signs are used to assign the right-of-way to one street at such intersections. This designation forces drivers on the controlled street to judgmentally select gaps in the major street flow through which to execute crossing or turning maneuvers. Thus, the capacity of the controlled legs is based on two factors:

1. The distribution of gaps in the major street traffic stream.
2. Driver judgment in selecting gaps through which to execute their desired maneuvers.

Computational procedures depend on both factors: gap distributions in conflicting traffic streams and the gap acceptance behavior of drivers at such intersections.

The impact of (traffic signal) progression on the gap distribution in a major traffic stream can vary substantially. On one-way arterials, there will be periodic large gaps between platoons through which minor street traffic may easily execute crossing and/or turning movements. Such a condition is likely to permit higher side-street capacities and better operations than the random arrivals assumed by the methodology

Traffic Signal Systems Analysis & Design - Traffic Impact Study  
Parking Demand & Analysis - Lighting Systems  
(404) 325-3301 • (404) 633-0494

OCT-02-1989 09:52 FROM ACTION INDUSTRIES TO 19123546754 P.03

of this HCM.

Gaps in the major street traffic flow are used by a number of competing flows. A gap used by a vehicle from one of these flows is no longer available for use by another vehicle. Gaps are utilized by vehicles in the following priority order:

1. Right turns from the minor street.
2. Left turns from the major street.
3. Through movements from the minor street.
4. Left turns from the minor street.

Right-turning vehicles from the minor street are not assumed to "use up" available gaps. Because such vehicles merely merge into gaps in the right-hand lane of the stream into which they turn, they require only a gap in that lane, not in the entire major street traffic flow. Further, a gap in the overall major street traffic could be simultaneously used by another vehicle. For this reason, the method does not assume that right turns from the minor street impede any of the other flows using major street gaps. The right-turn movement from the minor street, for example, is in conflict with only the major street through movement in the right-hand lane into which right-turners will merge.

The "critical gap" is defined as the median time headway between two successive vehicles in the major street traffic stream that is accepted by drivers in a subject movement that must cross and/or merge with the major street flow. Thus, the required gap for a right turn from the minor street, which involves only a single merging conflict, is shorter than the gap required to execute a left turn from the minor street, which involves a variety of complex conflicts.

The type of control is important as well. At STOP-controlled locations, drivers usually start from a stopped condition, while at a YIELD-controlled location, some proportion of vehicles starts from a low, but moving speed. Geometric conditions can also play a major role in determining the size of the critical gap. Such features as channelized turning lanes, large corner radii, and similar measures, make certain movements easier to execute, and thereby can reduce the critical gap size needed for those movements. For example, a channelized right-turn lane may effectively reduce the angle of the turn at the merge point from 90 deg to some shallower angle.

Weaving is the crossing of traffic streams moving in the same general direction, accomplished by successive merging and diverging. Thus, a simple weaving section may be described as a length of one-way roadway accommodating weaving, at one end of which two one-way roadways merge and at the other end of which they separate."

In summary, the excerpts quoted from a nationally used manual (states, cities, counties, federal government, consultants, etc.) depict the basic operational aspects of an intersection with right turn only traffic.

The morning (a.m.) peak hour traffic does not appear to be a problem. The westbound a.m. traffic is approximately 54% less than the p.m. traffic; consequently, the 229 site-related vehicles should access the site with relative ease of movement. The site-related traffic could transition or merge into the right (outside) lane anywhere from Matthews Drive through Beach City Road to the proposed access road deceleration lane and do so safely. The eastbound traffic access is as described in the Technical Memorandum.

10-02-89 MON 10:12 H.G.B. SAVANNAH

P.01

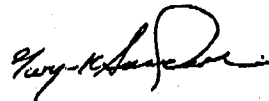
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During the p.m. peak the traffic exiting the site via the proposed access road will merge into the existing U.S. 278 westbound traffic stream. As explained in the excerpts from the HCM, gaps in the existing traffic stream will occur, due in part to the traffic signal change interval at Matthews Drive. This signal gap is not measurable in the capacity analysis, thus making the calculated LOS "D" a conservative estimate. Also, since all the traffic exiting the site via the proposed access road will turn right, a shorter gap in traffic than that normally needed for a left turn or crossing movement will suffice. The right-turn-only movement from a "T" intersection, especially with a one-way traffic movement on the major roadway (no median opening), is much safer because the number of conflict points is greatly reduced from that of a normal intersection. The existing traffic only has to merge into the existing traffic stream and not cross it.

A major advantage of the ingress/egress traffic movement associated with the proposed access road is one of "local knowledge." Motorists entering and leaving the site during the peak traffic periods will, for the most part, be local residents employed at the site. They will know the most expedient way to either enter the site or access U.S. 278, i.e., they will know to stay in the right (outside) traffic lane when accessing the site or Whooping Crane Way.

I cannot foresee the necessity for any type weaving analysis, principally because of the local knowledge factor and the fact that it would be highly unusual for motorists (during the p.m. peak hour) to cross U.S. 278 to access the southbound/eastbound left turn bay at the Whooping Crane Way intersection. Motorists leaving the site desiring to travel east on U.S. 278 can either do so via Main Street extension to Whooping Crane Way or via Main Street extension to Bill Fries Drive to Beach City Road. Additionally, U.S. 278 between the new access road and Whooping Crane Way does not blend itself into any meaningful type of weaving analysis. In essence, it does not follow or fit into any of the weaving type categories.

In conclusion, from a capacity standpoint, the new access road will work and at an acceptable level of service. All traffic movements are safe, since they are all right turns and fit or merge into the existing traffic stream. Sufficient gaps in traffic should be generated by the traffic signal at Matthews Drive to enhance the level of service of the proposed access road. In fact, the proposed access road should help reduce vehicular miles of travel.



HUSSEY, GAY & BELL, INC.  
CONSULTING ENGINEERS

August 29, 1989

Hugh Talcott, Current Planner  
Town of Hilton Head Island  
40 Palmetto Parkway  
Hilton Head Island, SC 29926


RE: Greenwood Development Corporation Commercial Access Road at  
Palmetto Headlands

Dear Hugh,

Please find enclosed one copy of Traffic Study prepared by G. K. Sanderlin of Traffic Systems International. The South Carolina Department of Highways and Public Transportations approval of the above referenced project has been previously submitted to you. If you have any questions for SCDHPT, please contact Charlie Stone at (803) 726-3431.

I trust that the above referenced project will be placed on the September 6, 1989 Planning Commission Agenda. If you have any additional questions do not hesitate to call.

Sincerely,

 Woods

Jim Woods

Enclosure

cc: Chuck Pigg  
Gus Bell  
Roy Maas

ROY HUSSEY  
BENJAMIN E. GAY  
GUS H. BELL  
RICHARD B. DeYOUNG  
LONNIE E. DYI



September 15, 1989

Mr. Jim Woods  
Hussey, Gay, Bell and Deyoung  
P.O. Box 14247  
Savannah, GA 31416

Re: Proposed Access Drive Palmetto Headlands Commercial/Hilton  
Head Hospital PUD

Dear Jim:

This letter will summarize our telephone conversation this morning concerning the proposed access drive.

After closer review of the location of the proposed drive, the administrator of the Land Management Ordinance (LMO), Mr. William Issel, has determined that the proposed drive does not comply with LMO requirements for distance from existing adjacent access points (see LMO section 16-7-827 g 1). Although the access drive location meets or exceeds the five hundred (500) foot distance requirement from the entrance to Modern Classic Motors, it is located less than this required distance from the right turn lane entrance to Hilton Head Plantation at Whooping Crane Way. In interpreting LMO section 16-7-827 g 1, the administrator has determined that the five hundred (500) foot distance must be measured from the centerline of this right turn lane of Whooping Crane Way because this is the nearest "access point" as specified by this section of the LMO.

Because the proposed access drive does not meet LMO requirements, the traffic analysis cannot be considered by the Planning Commission at the September 20, 1989 meeting as originally scheduled. At this time, there are two options available to you concerning approval of this access drive: 1) appeal the decision of the administrator, or 2) request a variance from the requirement of five hundred (500) feet between adjacent curb cuts. Both options require a hearing before the Town Board of Adjustments (BOA). An appeal must be filed (postmarked or received by the Planning Department) within ten (10) days of the decision, or by September 25, 1989 (see LMO section 16-7-677, 678). A variance request must meet the submission deadline for the next regularly scheduled BOA meeting. Copies of the meeting schedule and application forms are attached.

P.O. Box 22779, Hilton Head Island, S.C. 29925 (803) 681-9440

Page Two  
Access Drive

If you decide to proceed with a request to the BOA and they respond favorably to the request, the traffic analysis for the access drive would be eligible for consideration by the Planning Commission as required by the PUD Conditional Use approval.

Please feel free to call 681-8396, with questions or if you require additional information.

Sincerely,



Shannon C. Stone  
Current Planner

cc. Bill Issel  
Bryan Wood  
Tom Brechko

enclosures

SS/

RECEIVED  
9-29-89  
80

HUSSEY, GAY, BELL & DEYOUNG, INC.  
CONSULTING ENGINEERS  
September 29, 1989

Ms. Shannon Stone, Current Planner  
Town of Hilton Head Island  
40 Palmetto Parkway  
Hilton Head Island, South Carolina 29938

RE: GREENWOOD DEVELOPMENT CORPORATION  
ACCESS ROAD

Dear Shannon:

Please find enclosed 3 prints of the Access Point Separation Exhibit for the referenced project. I have also enclosed a revised narrative addressing the interpretation by Bill Issel of LMO Section 16-7-827(g)(1).

I have contacted Gwyn Sanderlin to address safety aspects of the proposed intersection. This information will be submitted when the project goes before the Planning Commission.

If additional information is required, please contact me.

Sincerely,

*J. Woods*  
JIM WOODS

JW/nal

Enclosure

cc: Chuck Pigg  
Gus Bell  
Roy Maas  
Bill Issel

ROY HUSSEY  
BENJAMIN L. GAY  
GUS H. BELL  
RICHARD B. DEYOUNG

NARRATIVE

The administrator of the LMO, Mr. William Issel, interpreted LMO Section 16-7-827 (g)(1).

"Mr. William Issel, has determined that the proposed drive does not comply with requirements for distance from existing adjacent points." "It is located less than this required distance from the right turn lane entrance to Hilton Head Plantation at Whooping Crane Way. In interpreting the LMO Section 16-7-827 (g)(1), the administrator has determined that the five hundred (500) foot distance must be measured from the centerline of this right turn lane of Whooping Crane Way because this is the nearest "access point" as specified by this section of the LMO."

We contend that this is in no way a valid interpretation of LMO Section 16-7-827 (g)(1). The LMO reads:

"No street, driveway or other vehicle access point shall enter a major arterial as designated herein or on the Official Map at a point nearer than 500' from the centerline of an existing or final approved highway, street, driveway or other access point to the centerline of the proposed access point."

Mr. Issel states that the access point begins at the taper of the deceleration lane into Hilton Head Plantation. We contend that the point of access should be measured from the Point of Curvature on the curve into Hilton Head Plantation. The acceleration and deceleration lanes are simply extensions of William Hilton Parkway and are not part of the actual access point into Hilton Head Plantation; thus it is our position that Mr. Issel's interpretation is invalid due to the fact that the distance between the proposed centerline and the nearest access point is 608'.

NARRATIVE

The administrator of the LMO, Mr. Bill Issel, interpreted LMO Section 16-7-827(g)(1). The interpretation was that the distance between the proposed access road and Whooping Crane Way was less than 500 feet. Mr. Issel states that the access point begins at the taper of the deceleration lane into Hilton Head Plantation. We contend that the point of access should be measured from the Point of Curvature on the curve into Hilton Head Plantation. The acceleration and deceleration lanes are simply extensions of William Hilton Parkway and are not part of the actual access point into Hilton Head Plantation; thus it is our position that Mr. Issel's interpretation is invalid.



October 4, 1989

Mr. Chuck Pigg  
Greenwood Development Corporation  
P.O. Box 5628  
Hilton Head Island, SC 29938

Re: Palmetto Headlands Commercial Tracts Access Road

Dear Mr. Pigg:

After review of the site plan submitted for the proposed Palmetto Headlands Commercial Tracts access road (Driveway Encroachment Plan, New Access Road, prepared for Greenwood Development Corporation by Hussey, Gay, Bell and Deyoung, dated March 9, 1989), Town Staff finds that the proposed location complies with the requirements of Land Management Ordinance (LMO) section 16-7-827 g 1 with respect to distance from existing adjacent roads and access points. With this finding, Town Staff retracts the interpretation that the access road is not in compliance with LMO requirements, thus alleviating any need on your part for appealing that decision. In addition, no variance will be required for location of the access road as proposed.

We appreciate your cooperation in clarifying the proposed access road location in relation to adjacent intersections. The appeal filing fee is being returned to you under separate cover. If you have questions or require additional information on this issue, please feel free to call 681-8396.

Sincerely,

*Shannon C. Stone*  
Shannon C. Stone  
Current Planner

c. Bill Issel  
Tom Brecliko  
Bryan Wood  
Jim Woods

SS/

*File - Main St  
extension*



May 10, 1990

William A. Ruth, Esquire  
Ruth, Clabaugh & Hack  
P.O. Drawer 5706  
Hilton Head Island, SC 29938-5706

RE: Whooping Crane Way and Main Street Intersection  
Your File No.: H-87-177

Dear Mr. Ruth:

I am in receipt of your May 3 letter to Bill Issel who has asked me to reply to you inasmuch as the Town has been involved in litigation involving the Whooping Crane and Main Street intersection. Please be advised that the Town will continue to enforce the zoning ordinance according to law. The Town can do no more than that which is allowed by law.

You indicated that the Association is ready to meet with appropriate Town representatives to discuss and work toward a resolution of the issues facing the Association. Bill Issel, myself, and other members of Town staff will be happy to meet with your client at its request.

With best wishes, I am

Very truly yours,

Janet T. Butcher  
Attorney at Law  
Director, Dept. of Legal Services

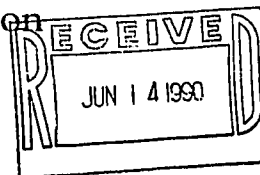
JTB/sc

cc: Mr. J. Martin Gainer  
Curtis Coltrane, Esquire  
Mr. John Present  
Mr. Fred O. Cornett  
Mr. Robert Harrison, President  
Mr. Walter Oswald, Administrator  
Douglas W. MacNeille, Esquire  
Mr. William Issel

P.O. Box 22779, Hilton Head Island, S.C. 29925 (803) 681-9440

Hilton Head Plantation  
Property Owners Association

P.O. Box 22740  
Hilton Head Island, S.C. 29925  
(803) 681-8800



June 13, 1990

Mr. William Issel  
Director of Community Developments  
P.O. Box 22779  
Hilton Head Island, SC 29925

Dear Bill,

I am in receipt of a copy of a letter dated May 10, 1990 Janet Butcher wrote to Bill Ruth in response to his letter to you dated May 3, 1990.

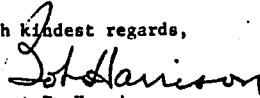
We are appreciative of Ms. Butcher's expression in the second paragraph that the Town would be happy to meet with the Association at its request.

So much time has elapsed since her letter, I thought I'd best write to indicate our interest and activity to prepare for such a meeting. We have not been idle.

The Association engaged Thomas & Hutton to do feasibility studies on the intersection. These drawings have been received and we are now engaging a Traffic Engineering Firm to evaluate them. When this work is completed, we would ask for a meeting with the appropriate Town representatives. Perhaps at that time, you may want to have your traffic consultants give their opinion of the work we are having done.

Thank you for your continued understanding of this matter which is of great concern to us.

With kindest regards,

  
Robert E. Harrison  
President

cc: Mr. J. Martin Gainer  
Mr. John Present  
Mr. Walter E. Oswald, Jr.  
Ms. Janet Butcher

Curtis Coltrane, Esquire  
Mr. Fred O. Cornett  
Mr. Douglas W. MacNeille

REH/mtc

REQUEST FOR FILING FEE REFUND

Reason for refund:  Application withdrawn (50% returned)\*  
 Appeal ~~decided in favor of appellant~~ <sup>withdrawn after Town reevaluation of need for</sup> appeal (100% returned)

\*Minimum filing fee is non-refundable

Name of Project: Greenwood Development Access Road  
Person making request: Shannon Stone  
Amount Paid: \$100.00 Amount Due: \$100.00  
Town Receipt Number: 26779 Date: 9/26/89  
Name of Person or Company to whom the refund should be made:

Mr. Chuck Rigg  
Mailing Address Greenwood Development Corp.  
P.O. Box 5629  
Hilton Head Island, SC 29938

For withdrawn applications, I hereby agree that this refund request shall be considered a formal withdrawal of the above referenced application. No action was taken on this application, and none will be expected until the application is resubmitted.

Shannon C. Stone 10-2-89  
Signature of Applicant (or duly authorized agent) Date

\_\_\_\_\_  
Signature of Appellant Date

FOR OFFICE USE ONLY: -----

Application No: \_\_\_\_\_

TOWN OF HILTON HEAD ISLAND  
40 PALMETTO PARKWAY  
HILTON HEAD ISLAND, S.C. 29928  
(803) 681-8396

RECEIVED  
9-25-89

REQUEST FOR APPEAL

Instructions: Please TYPE or PRINT legibly. Attach additional sheets if needed.

Name:	<u>Appellant</u> <u>Greenwood Development Corporation</u>	<u>Duly Authorized Agents</u> <u>Jim Woods-Hussey, Gay, Bell &amp; DeYoung</u>
Mailing Address:	<u>P.O. Box 5628</u> <u>Hilton Head Island, S.C. 29938</u>	<u>P.O. Box 14247</u> <u>Savannah, Georgia 31416</u>
Phone:	<u>803-785-1106</u>	<u>912-354-4626</u>

Please summarize the decision you are appealing: Bill Issel interpretation of LMO Section 16-7-827(g) (1) as related to Palmetto Headlands Access onto Highway 278

Please explain the basis upon which you have the right to appeal: The actual distance between the proposed access road and the centerline of Whooping Crane Way exceeds requirement.

Town official or body which made decision: Bill Issel  
Date of Decision: September 15, 1989

If applicable to the nature of the appeal:

Name of affected development: Greenwood Development Loop Access Road  
Base and Overlay Zoning District(s): PMD C-4  
Location of Project: Palmetto Headlands Commercial Subdivision  
Tax Map Number(s) 15 and Parcel(s) 103, 103A, 299, 377 of development

Attach the Following Items:

1. A Narrative Providing:
  - a. A detailed statement of the grounds of the appeal, including citation of any LMO section numbers relied upon.
  - b. A statement of the specific decision requested of the Board of Adjustments.
2. If the appeal is filed by an agent acting on behalf of another party, written certification signed by the other party that such party consents to the appeal. Note: LMO Section 16-7-603 requires appellant or authorized agent to have a local mailing address or telephone number.
3. Any other supporting documentation, limited to the elaboration of facts already presented to prior decision makers, which the appellant may wish to submit.
4. Filing Fee: \$10.00 for appeals of the Sign Administrator/\$100.00 for all other appeals. Payable to the Town of Hilton Head Island.

Jim Woods  
Signature of Appellant \_\_\_\_\_ Date September 25, 1989  
(or Duly Authorized Agent)

LMO 022087 RFA

26779	9/25/89	Palmetto Dunes		100.00	Board of Appeals Apped Filing
RECEIPT NUMBER	DATE	NAME	CASH	CHECK	DESCRIPTION - CODE

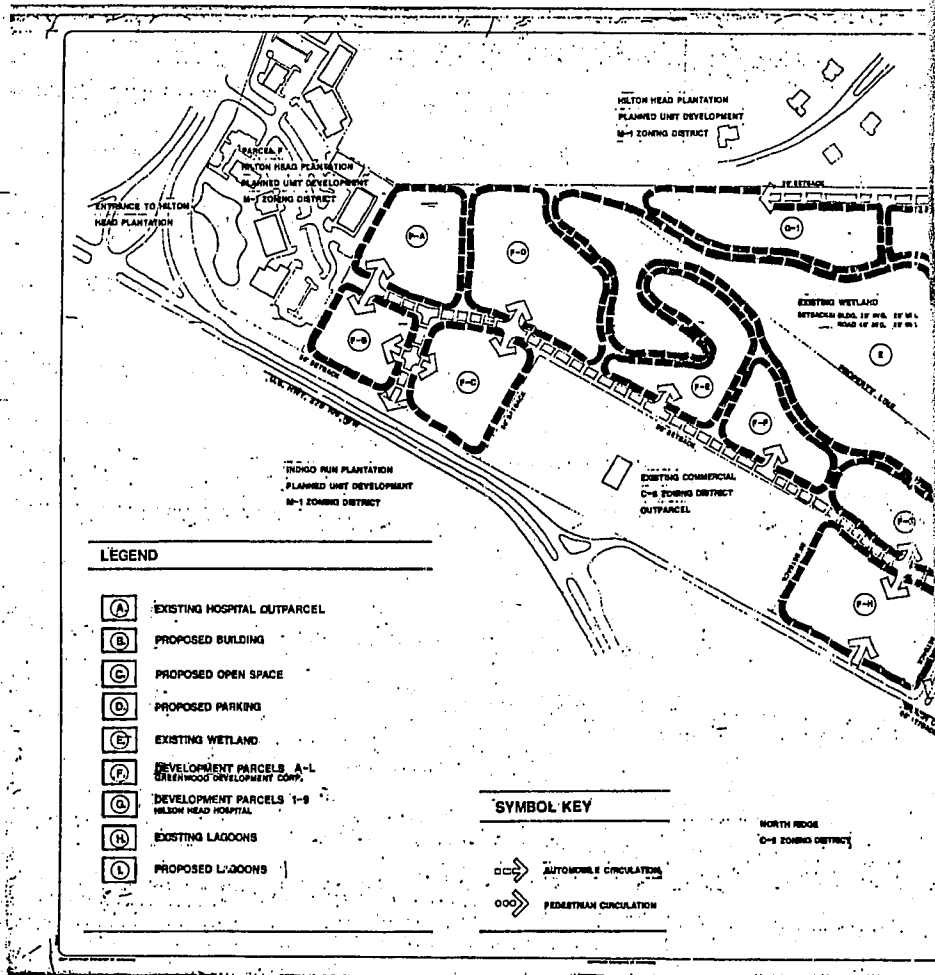
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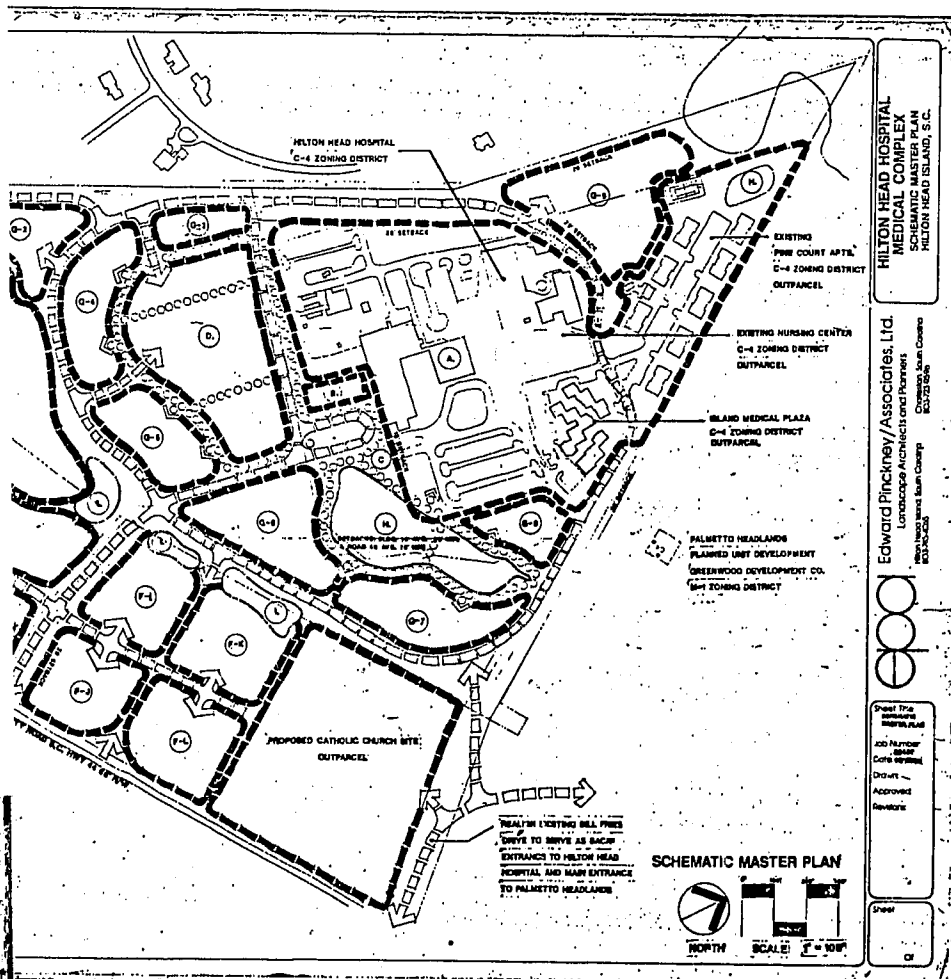
**TOWN OF HILTON HEAD**  
 40 PALMETTO PARKWAY  
 HILTON HEAD ISLAND, SC 29928

DETACH AND RETAIN THIS STATEMENT  
 THE ATTACHED CHECK IS IN PAYMENT OF ITEMS DESCRIBED BELOW. IF NOT CORRECT PLEASE NOTIFY US PROMPTLY. NO RECEIPT DESIRED.

PALMETTO DUNES - RESORT OPERATIONS IMPREST FUND

DATE	ACCOUNT	DESCRIPTION	AMOUNT
9-25-89		Board of Appeals for Palmetto Headlands Commercial-GDC Access Road	100.00
vendor no. 99999			



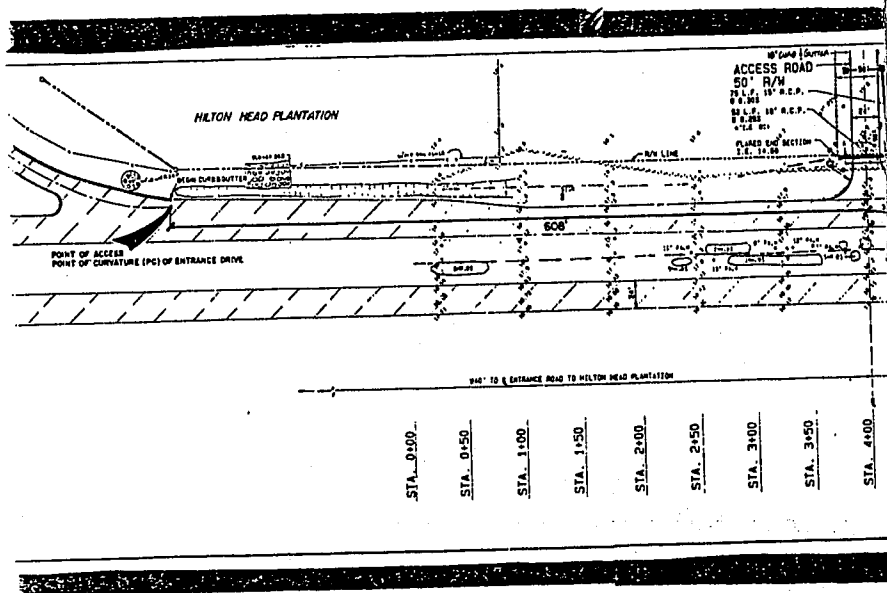


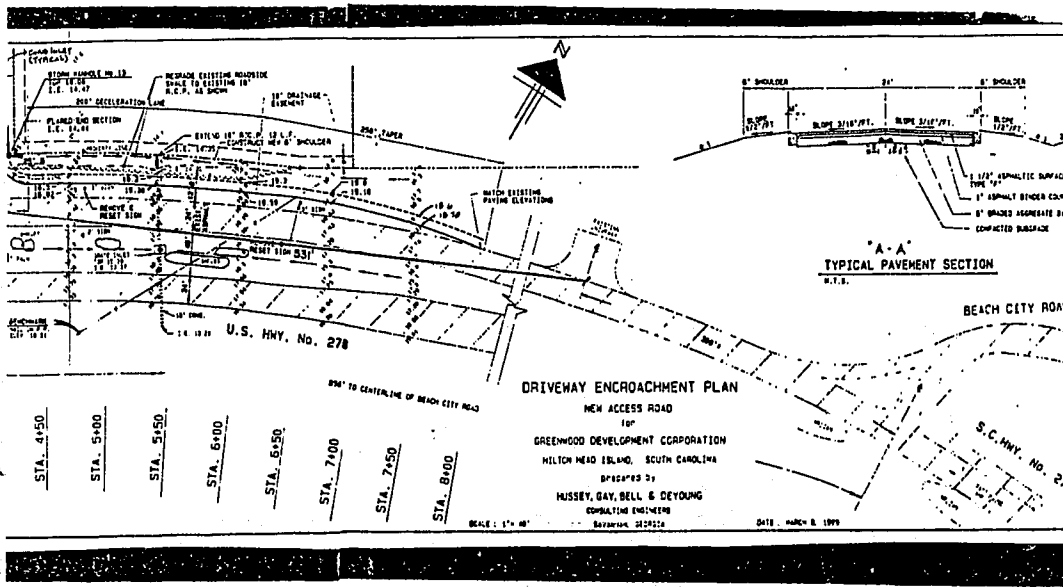
**HILTON HEAD HOSPITAL  
 MEDICAL COMPLEX  
 SCHEMATIC MASTER PLAN  
 HILTON HEAD ISLAND, S.C.**

**Edward Pinckney/Associates, Ltd.**  
 Landscape Architects and Planners  
 1000 Highway 17 North, Suite 200  
 Charleston, South Carolina 29405-1606  
 (803) 799-0200

Sheet Title: **HILTON HEAD HOSPITAL MEDICAL COMPLEX**  
 Job Number: **1000**  
 Date: **10/1/88**  
 Approved: **[Signature]**  
 Revisions: **[None]**

Scale: **1" = 100'**





MEMORANDUM

TO: Bill Issel  
FROM: Janet T. Butcher *Janet*  
DATE: June 26, 1990  
SUBJECT: Hilton Head Plantation POA v. Whooping Crane, LP

-----

This case has now been concluded. It was dismissed by consent of all the parties and the dismissal was "without prejudice." This means that the case can be brought up again in the future if the plaintiff chooses to do so. I am enclosing a copy of the Consent Order. Please note that several conditions are listed on page 2. After you have reviewed the conditions, please call me if you wish to discuss those terms. I will let you know if this case is opened again.

cc: Martin Gainer

STATE OF SOUTH CAROLINA )  
COUNTY OF BEAUFORT )

IN THE COURT OF COMMON PLEAS  
FOURTEENTH JUDICIAL CIRCUIT  
CASE NO: 90-CP-07-100

HILTON HEAD PLANTATION PROPERTY  
OWNERS' ASSOCIATION, INC.

Plaintiff,

-vs-

WHOOPING CRANE, L.P, a Georgia  
Limited Partnership; DAVID W.  
STALEY, as a General Partner of  
Whooping Crane, L.P.; GREENWOOD  
DEVELOPMENT CORPORATION; and the  
TOWN OF HILTON HEAD ISLAND;

Defendants.

CONSENT ORDER OF DISMISSAL  
WITHOUT PREJUDICE

THIS MATTER was commenced by the filing of the Plaintiff's  
Summons and Complaint on January 18, 1990. Thereafter, Answers to  
the Complaint were filed on behalf of the Defendants WHOOPING CRANE  
L.P., DAVID STALEY and GREENWOOD DEVELOPMENT CORPORATION. The TOWN  
OF HILTON HEAD ISLAND has been previously dismissed from the  
proceedings by Consent Order dated May 31, 1990.

IT APPEARING TO THE COURT that as evidenced by the signatures  
of their undersigned counsel, the Plaintiff and Defendants have  
agreed to the dismissal of this action without prejudice in  
accordance with S.C.R.P. 41(a), upon the terms and conditions set  
forth hereinbelow.

IT FURTHER APPEARING TO THE COURT that the such is in the best  
interests of judgment. Now; therefore,

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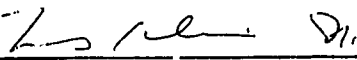
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IT IS ORDERED, ADJUDGED AND DECREED that the above-captioned case should be, and hereby is, dismissed without prejudice upon the following terms and conditions:

1. Defendants WHOOPING CRANE L.P., DAVID STALEY and GREENWOOD DEVELOPMENT CORPORATION, their successors and assigns, shall not connect the roadway on the land described in the Complaint as the Greenwood Tract with the roadway across the land described as Parcel "F" without a permit to do so being issued by the Town of Hilton Head Island;
2. Defendants WHOOPING CRANE L.P., DAVID STALEY and GREENWOOD DEVELOPMENT CORPORATION, their successors and assigns, shall maintain and leave in place a soil berm, with appropriate landscaping on the roadway, between the Greenwood Tract and the Parcel "F", until such time as the connection of the roadway is made in accordance with the terms and conditions of this Order, or a subsequent Order of this Court with notice to all parties of this action;
3. Notwithstanding any approvals from the Town of Hilton Head Island, Defendants WHOOPING CRANE L.P. and DAVID STALEY, their successors and assigns, shall not initiate, cause or allow any action(s) to connect the roadways between Parcel "F" and the Greenwood Tract, nor shall Defendants WHOOPING CRANE L.P. and DAVID STALEY consent to or allow the directed flow of any vehicular traffic from the Greenwood Tract on to and across Parcel "F", without first giving the Plaintiff HILTON HEAD PLANTATION PROPERTY OWNER'S ASSOCIATION, INC. and its undersigned counsel of record, at least thirty (30) days advanced written notice of its intention to initiate, cause or allow such action.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED, that the temporary injunction ordered by this Court on February 9, 1990, is hereby dissolved without prejudice, and the Clerk of Court shall return to the Plaintiff the bond and undertaking in the amount of ONE THOUSAND AND NO/100 (\$1,000.00) DOLLARS.

AND IT IS SO ORDERED.

  
Thomas Kemmerlin *Common Pleas*  
Acting Judge of the Circuit-Court *Time*  
for Beaufort County

Beaufort, South Carolina

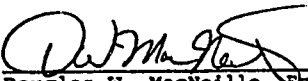
June 15, 1990

I SO MOVE:


RUTH, CLABAUGH & HACK, P.A.

WE CONSENT:


BETHEA, JORDAN & GRIFFIN, P.A.

By:   
Douglas W. MacNeille, Esquire  
Attorneys For Plaintiff  
Hilton Head Plantation Property  
Owners Association, Inc.

P.O. Box 5706  
Hilton Head Island, SC 29938  
(803) 785-4251

By:   
Joseph R. Barker, Esquire  
Attorneys for Defendant  
Greenwood Development  
Corporation

P.O. Drawer 3  
Hilton Head Island, SC 29938  
(803) 785-2171

By:   
Lewis J. Hammett, Esquire  
Attorney for Defendants  
Whooping Crane, L.P. and  
David W. Staley

200 Professional Building  
Hilton Head Island, SC 29928  
(803) 785-8126

T.T. 9/1

STATE OF SOUTH CAROLINA )  
                                  )  
COUNTY OF BEAUFORT      )

IN THE COURT OF COMMON PLEAS  
FOURTEENTH JUDICIAL CIRCUIT  
CASE NO: 90-CP-07-100

HILTON HEAD PLANTATION PROPERTY )  
OWNERS' ASSOCIATION, INC.      )

Plaintiff,                      )

-vs-                              )

WHOOPING CRANE, L.P, a Georgia )  
Limited Partnership; DAVID W. )  
STALEY, as a General Partner of )  
Whooing Crane, L.P.; GREENWOOD )  
DEVELOPMENT CORPORATION; and the )  
TOWN OF HILTON HEAD ISLAND;      )

Defendants.                      )

CONSENT ORDER OF DISMISSAL  
WITHOUT PREJUDICE

THIS MATTER was commenced by the filing of the Plaintiff's  
Summons and Complaint on January 18, 1990. Thereafter, Answers to  
the Complaint were filed on behalf of the Defendants WHOOPING CRANE  
L.P., DAVID STALEY and GREENWOOD DEVELOPMENT CORPORATION. The TOWN  
OF HILTON HEAD ISLAND has been previously dismissed from the  
proceedings by Consent Order dated May 31, 1990.

IT APPEARING TO THE COURT that as evidenced by the signatures  
of their undersigned counsel, the Plaintiff and Defendants have  
agreed to the dismissal of this action without prejudice in  
accordance with S.C.R.P. 41(a), upon the terms and conditions set  
forth hereinbelow.

IT FURTHER APPEARING TO THE COURT that the such is in the best  
interests of judgment. Now, therefore,

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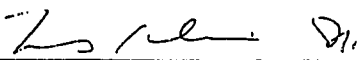
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T/12 27

IT IS ORDERED, ADJUDGED AND DECREED that the above-captioned case should be, and hereby is, dismissed without prejudice upon the following terms and conditions:

1. Defendants WHOOPING CRANE L.P., DAVID STALEY and GREENWOOD DEVELOPMENT CORPORATION, their successors and assigns, shall not connect the roadway on the land described in the Complaint as the Greenwood Tract with the roadway across the land described as Parcel "F" without a permit to do so being issued by th Town of Hilton Head Island;
2. Defendants WHOOPING CRANE L.P., DAVID STALEY and GREENWOOD DEVELOPMENT CORPORATION, their successors and assigns, shall maintain and leave in place a soil berm, with appropriate landscaping on the roadway, between the Greenwood Tract and the Parcel "F", until such time as the connection of the roadway is made in accordance with the terms and conditions of this Order, or a subsequent Order of this Court with notice to all parties of this action;
3. Notwithstanding any approvals from the Town of Hilton Head Island, Defendants WHOOPING CRANE L.P. and DAVID STALEY, their successors and assigns, shall not initiate, cause or allow any action(s) to connect the roadways between Parcel "F" and the Greenwood Tract, nor shall Defendants WHOOPING CRANE L.P. and DAVID STALEY consent to or allow the directed flow of any vehicular traffic from the Greenwood Tract on to and across Parcel "F", without first giving the Plaintiff HILTON HEAD PLANTATION PROPERTY OWNER'S ASSOCIATION, INC. and its undersigned counsel of record, at least thirty (30) days advanced written notice of its intention to initiate, cause or allow such action.

IT IS FURTHER ORDERED, ADJUDGED AND DECREED, that the temporary injunction ordered by this Court on February 9, 1990, is hereby dissolved without prejudice, and the Clerk of Court shall return to the Plaintiff the bond and undertaking in the amount of ONE THOUSAND AND NO/100 (\$1,000.00) DOLLARS.

AND IT IS SO ORDERED.

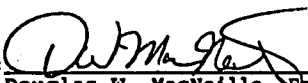
  
Thomas Kemmerlin *Common Pleas*  
Acting Judge of the Circuit-Court *File*  
for Beaufort County

Beaufort, South Carolina

June 15, 1990

I SO MOVE:


RUTH, CLABAUGH & HACK, P.A.

By:   
Douglas W. MacNeille, Esquire  
Attorneys For Plaintiff  
Hilton Head Plantation Property  
Owners Association, Inc.


P.O. Box 5706  
Hilton Head Island, SC 29938  
(803) 785-4251

WE CONSENT:

BETHEA, JORDAN & GRIFFIN, P.A.

By:   
Joseph R. Barker, Esquire  
Attorneys for Defendant  
Greenwood Development  
Corporation

P.O. Drawer 3  
Hilton Head Island, SC 29938  
(803) 785-2171

By:   
Lewis J. Hammett, Esquire  
Attorney for Defendants  
Whooping Crane, L.P. and  
David W. Staley

200 Professional Building  
Hilton Head Island, SC 29928  
(803) 785-8126

T1, 911

12704021.com (jch)

STATE OF SOUTH CAROLINA )  
COUNTY OF BEAUFORT )

IN THE CIRCUIT COURT

Greenwood Development Company, )  
Plaintiff, )

vs. )

COMPLAINT

Joseph White, Johnny White, )  
Rosalee W. Barnwell and Charles )  
White individually and as )  
trustees, Benjamin White, James )  
White, Duncan Mitchell, Hannah )  
Barnwell, Christine Brown, )  
Pearl Alexander, Nellie White, )  
David L. White, Napoleon White, )  
Irvin White, Charles H. White, )  
Sandy White, Lionel E. Green, )  
Helen Jackson, Bessie M. )  
Green, Betty J. Mitchell, )  
Nathan Rivers, as )  
representative of the heirs of )  
Jacob Green, John Doe )  
representing any minor, person )  
under disability or in the )  
military service, or any )  
unknown heir of Benjamin W. )  
White a/k/a Ben White, and any )  
unknown heir of Jacob Green, )  
and Richard Roe representing )  
all other persons or entities )  
claiming any right, title, )  
estate, interest in or lien )  
upon the real estate described )  
in the complaint herein, )

*me*  
*not*

Defendants. )

1. Plaintiff is a South Carolina Corporation with an office in Beaufort County.

2. The real property subject of this action is located in Beaufort County, South Carolina and the named and unknown defendants claim or may claim rights or interests in the subject property.

12704021.com (jch)

STATE OF SOUTH CAROLINA  
COUNTY OF BEAUFORT

IN THE CIRCUIT COURT

Greenwood Development Company,  
Plaintiff,

vs.

90 CP 07 1100

SUMMONS

CLENNETT COURT  
BEAUFORT COUNTY  
SOUTH CAROLINA

90 JUN 14 PM 9 07

Joseph White, Johnny White,  
Rosalee W. Barnwell and Charles  
White individually and as  
trustees, Benjamin White, James  
White, Duncan Mitchell, Hannah  
Barnwell, Christine Brown,  
Pearl Alexander, Nellie White,  
David L. White, Napoleon White,  
Irvin White, Charles H. White,  
Sandy White, Lionel E. Green,  
Helen Jackson, Bessie M.  
Green, Betty J. Mitchell,  
Nathan Rivers, as  
representative of the heirs of  
Jacob Green, John Doe  
representing any minor, person  
under disability or in the  
military service, or any  
unknown heir of Benjamin W.  
White a/k/a Ben White, and any  
unknown heir of Jacob Green,  
and Richard Roe representing  
all other persons or entities  
claiming any right, title,  
estate, interest in or lien  
upon the real estate described  
in the complaint herein,

Defendants.

me  
ACIT

YOU ARE HEREBY SUMMONED AND REQUIRED to answer the Complaint  
in the above entitled action, a copy of which is herewith served  
upon you, and to serve a copy of your Answer upon the subscribers  
at their offices located at 1441 Main Street, Columbia, South  
Carolina 29201 within thirty (30) days after the date of such  
service, exclusive of the day of service; and if you fail to answer  
the said Complaint within the time aforesaid, judgment by default

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will be rendered against you for the relief demanded in the  
Complaint.

Harold W. Jacobs

*James C. Harrison, Jr.*

James C. Harrison, Jr.  
NEXSEN PRUET JACOBS & POLLARD  
1441 Main Street, Suite 1500  
P.O. Drawer 2426  
Columbia, South Carolina 29202

Attorneys for Plaintiffs

Columbia, South Carolina

June 13, 1990

12704021.com (Jch)

3. On information and belief defendants Joseph White and Johnny White are trustees of a trust for the benefit of individual defendants Johnny White, Benjamin White, James White, Duncan Mitchell, Joseph White, Hannah Barnwell, Christine Brown and Pearl Alexander. On further information and belief the res of this trust is two tracts of land, to wit, a 7.11 acre tract and a 10.26 acre tract, deeded to the above-mentioned trustees by deed dated November 17, 1981, and recorded in the Office of the Register of Mesne Conveyances ("RMC") for Beaufort County, South Carolina in Deed Book 338 at page 907 on December 18, 1981. The 10.26 acre tract is described as Out Parcel I, hereinafter "Parcel I" on a plat for Palmetto Dunes Resort, Inc. by Hussey, Gay & Bell dated October 13, 1972, and subsequently revised.

*two  
9/11/14*

4. On information and belief the defendants Rosalee W. Barnwell and Charles H. White are trustees of a trust for the benefits of individual defendants Nellie White, David L. White, Ann Cherise White, Napoleon White, Rosalee W. Barnwell, Irvin White, Charles H. White and Sandy White. On further information and belief the res of this trust is a tract of land containing 19.23 acres deeded to the above-mentioned trustees by deed dated November 17, 1981, and recorded in the RMC office for Beaufort County in Deed Book 338 at Page 903 on December 18, 1981. This tract is described as Out Parcel H hereinafter "Parcel H" on the above described plat.

5. On information and belief, the defendants Lionel E. Green, Helen Jackson, Bessie M. Green, Betty J. Mitchell and Nathan Rivers as representative of the heirs of Jacob Green are owners of

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individual lots of land which comprise a tract described as Out Parcel L hereafter, "Parcel L" on the above described plat.

6. The plaintiff is the owner in fee simple of 766.85 acres described as Parcel 1 on the above-described plat. Plaintiff's property encircles Parcel I and Parcel H except for an unimproved earth road, hereinafter ("road"), located on the southeast boundary of Parcel H. Plaintiff's property is adjacent to Parcel L.

7. The above-mentioned road is narrow, overgrown and impassable in several places except by use of specially equipped vehicles. It traverses plaintiff's property and has a terminus near S.C. Highway Number 333 (Beach City Road) and near S.C. Highway Number 334 (Fish Haul Road). This road is further described in Exhibit A attached hereto and made a part hereof.

*these  
road*

8. Upon information and belief access from Parcel H to the nearest public road is from the above mentioned road, however, Parcel I has no access to a public road. Upon further information and belief, access to the various tracts which comprise Parcel L is either from the above mentioned road or upon S. C. Highway Number 334 (Fish Haul Road).

FOR A FIRST CAUSE OF ACTION

9. Paragraphs one (1) through eight (8) are incorporated herein as if fully set forth.

10. Plaintiff is desirous of improving Tract 1 described above and because it is unable to ascertain from the public records what right of usage, if any, defendants have in the road which traverses plaintiff's property, plaintiff is impeded in the use and

12704021.com (jch)

enjoyment of it's real property. A justiciable controversy therefore exists.

11. The court has jurisdiction of this matter pursuant to S.C. Code Ann. Section 15-53-10 et. seq. (Law. Co-op. 1976)

12. Plaintiff is informed and believes that Parcels H and I are unimproved tracts with no dwellings or other buildings or improvements being located thereon. Some or all of the lots comprising Parcel L may have mobile homes or similar structures located thereon.

13. Plaintiff is informed and believes that defendants have abandoned the use of the road, however, if the Court determines that any defendant has a right of necessary use of the road to access Parcels H and I or the various lots comprising Parcel L that the Court should declare such use to be a reasonable use and that such use be declared to extend no further than to S. C. Highway Number 334 (Fish Haul Road).

*see  
7/21/14*

14. Plaintiff is informed and believes that should the Court determine that defendants or any of them have not abandoned the road or have a right of necessary access that extends further than to Fish Hall Road that it would be equitable, just and reasonable to allow plaintiff to modify the course of said road to accommodate it's plan of development.

FOR A SECOND CAUSE OF ACTION

15. Paragraphs one (1) through eight (8) are incorporated herein as if fully set forth.

16. On information and belief plaintiff has complied with the requirements of S.C. Code Ann. Section 57-9-10 (Law. Co-op. 1976).

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17. The plaintiff is informed and believes that the road is not now nor has ever been dedicated, accepted or maintained by any unit of government.

18. On information and belief no residences or other structures have been located upon Tract 1, Parcel H or Parcel I for a period in excess of fifty (50) years. The road has fallen into disuse and has been effectively abandoned by any former travelers over same.

19. Plaintiff is therefore informed and believes that except to the extent the named defendants or any of them may be found by the Court to have a right of necessary access to Parcels H, I, or the various lots comprising Parcel L that the Court declare the road to be abandoned pursuant to the statutory law of this State.

THEREFORE, Plaintiff prays this Court:

- Five*  
*10/14*
1. Declare the rights of the parties as to the above-referred to road;
  2. If it be determined that the named defendants or any of them have a right of use of the road that such use be determined to be to the nearest public road;
  3. That if it be determined the named defendants have a right of use to the road beyond the nearest public road that plaintiff be allowed to adjust reasonably the course of said road;
  4. That except to the extent the Court determines the named defendants may have a right of use of the road that the Court declare the road abandoned to all other uses pursuant to the statutory law of this State.

12704021.com (jch)

Harold W. Jacobs

*James C. Harrison, Jr.*

James C. Harrison, Jr.  
NEXSEN PROET JACOBS & POLLARD  
1441 Main Street, Suite 1500  
P.O. Drawer 2426  
Columbia, South Carolina 29202

Attorneys for Plaintiffs

Columbia, South Carolina

June 13, 1990

*sent  
2/11*

12704021.com (jch)

EXHIBIT A

The road commences at a point off S.C. Highway 333, also known as Beach City Road, approximately 400' east of the intersection of S. C. Highway 44, also known as Mathews Dr. The dirt road runs in a general northwesterly direction for approximately 1700' and then turns approximately 90 degree and runs in a general northeasterly direction until it's intersection with S. C. Highway 334, also known as Fish Haul Road. The dirt road is contained within the proposed Palmetto Headlands Development also known as Palmetto Hall, and is reflected on a plat which is on file in the Office of the Department of Planning and Inspections in the Town Hall of Hilton Head Island. The unimproved dirt road has at times been incorrectly labeled on the county tax map as being a portion of Bay Gull Road.

*inner*

TOWN OF HILTON HEAD ISLAND  
Planning Commission  
January 4, 1988 - Meeting

Minutes

- I. **CALL TO ORDER:** Chairman Present called the meeting to order at 9:00 a.m.
- II. **ROLL CALL:** Berkey, F. Donnelly, Purtado, Perkins, Present, Shay  
**Absent & Excused:** Sullivan, Wiley, P. Donnelly (all excused)
- III. **APPROVAL OF AGENDA:** The agenda was unanimously approved.
- IV. **APPROVAL OF MINUTES APRIL 20, 1988 - Minutes of the April 20, 1988** were approved as presented.  
**Moved:** F. Donnelly  
**Seconded:** Berkey  
**Vote:** 3-0-3  
Present, Shay & Perkins abstained because they were either not at the meeting or were not on the Commission at that time.
- V. **NEW BUSINESS**

- A. **Proposal for a Conditional Use Review for Palmetto Headlands Commercial Tracts and Hilton Head Hospital Properties to allow a Planned Unit Development on 94 acres located adjacent to Beach City Road and William Hilton Parkway. The property is zoned C-4, Office/Institutional Moderate Intensity zoning District. Applicants/Owners: Greenwood Development Corp. and Hilton Head Hospital Trustees.**

Stone gave an overview of the project as reflected in her memo to the Commission dated December 28, 1988. Staff recommended approval with two conditions as noted in the memorandum. Staff also recommended that every effort be made by the developers (Greenwood and the Hospital) and Hilton Head Plantation to connect the frontage road that parallels U.S. Highway 278 with Main Street.

Robert Guthell, representative for the Hospital, further clarified the advantages of a medical campus concept with pedestrian circulation throughout, and that the long range expansion plans for the hospital prompted the mutually beneficial joint effort. The Hospital and Greenwood Development will establish an Architectural Review Board for the entire PUD.

The Commission discussed the positive aspects of the proposed roadway paralleling U.S. Highway 278 with the possible connection to Main Street. David Staley, representative for Hilton Head Plantation Company, stated that the Company was in favor of the connection but Hilton Head Plantation Property Owners Association approval was necessary for the connection. The Hilton Head Plantation Company was going forward with a traffic study for this connection.

Mr. Zelwisch, representative of St. Francis By the Sea, an adjoining property owner, spoke in favor of the PUD proposal.

**Motion:** That the Planning Commission approve the application for Conditional Use Review with the following conditions:

1. That LMO setback and buffer requirements apply to the perimeter/boundary of the Planned Unit Development (PUD) and to wetlands within the PUD. Any other setbacks and buffers would be by private covenants only.
2. That a ten (10) foot wide bikeway easement be provided within the area bordering and paralleling Highway 278 and Beach City Road with location to be approved by staff.
3. That the access onto Highway 278 between Development Parcels F-B and F-C not be permitted at this time. A study assessing the impacts of this proposed access should be conducted by the applicant and the results presented to the South Carolina Department of Highways and Public Transportation for analysis. The study and Highway Department comments/recommendation(s) should be referred back to the Planning Commission for a final determination on the approval of this proposed access.
4. That the road proposed to run parallel to Highway 278 and Beach City Road be aligned with Main Street to allow for future connection of these roads.

Moved: Furtado  
Seconded: Berkey  
Vote: 5-0-1

F. Donnelly abstained due to possible conflict of interest.

LEGEND	PROPOSED	EXISTING
PAVEMENT		
CONTOURS		
BUILDINGS		
LAGOONS		
WETLANDS		
SWALES		
DITCH INLETS		
WEIR		
FLARED END SECTION		
REINFORCED CONCRETE PIPE TRENCH		
STORM MANHOLE		
PROPERTY LINE		
RID BOUNDARY		
SOFT-USE DRAINAGE		

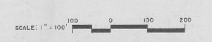


**HDD**  
 HUSSEY, GAY, BELL & DEYOUNG, INC.  
 CONSULTING ENGINEERS  
 SAVANNAH, GEORGIA

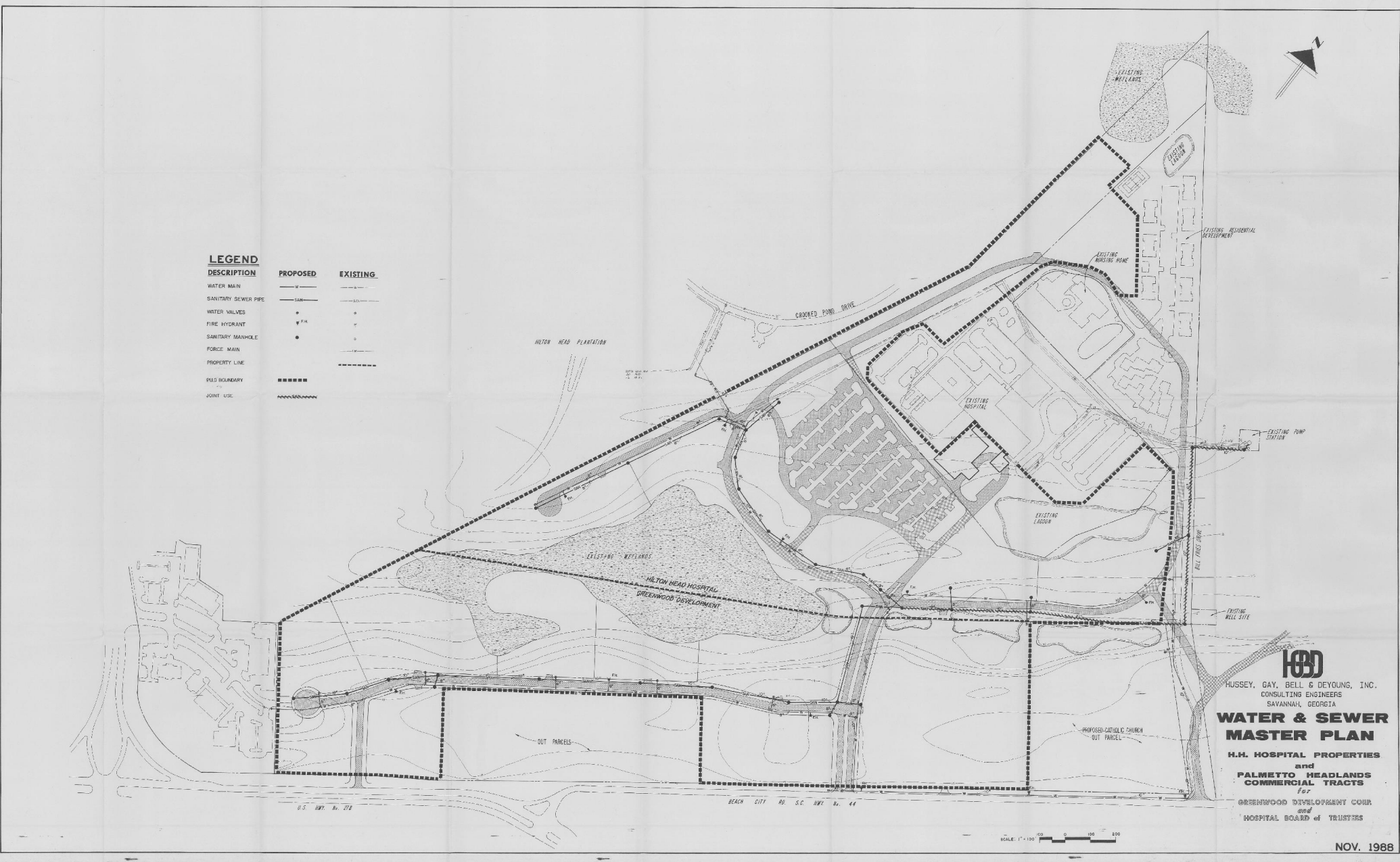
**DRAINAGE MASTER PLAN**

**H.H. HOSPITAL PROPERTIES and PALMETTO HEADLANDS COMMERCIAL TRACTS 1st**

GREENWOOD DEVELOPMENT CORP.  
 and  
 HOSPITAL BOARD OF TRUSTEES



NOV. 1988



**LEGEND**

DESCRIPTION	PROPOSED	EXISTING
WATER MAIN	—W—	—W—
SANITARY SEWER PIPE	—SS—	—SS—
WATER VALVES	•	•
FIRE HYDRANT	• F.H.	•
SANITARY MANHOLE	•	•
FORCE MAIN	—FM—	—FM—
PROPERTY LINE	—	—
PUD BOUNDARY	—	—
JOINT USE	—	—

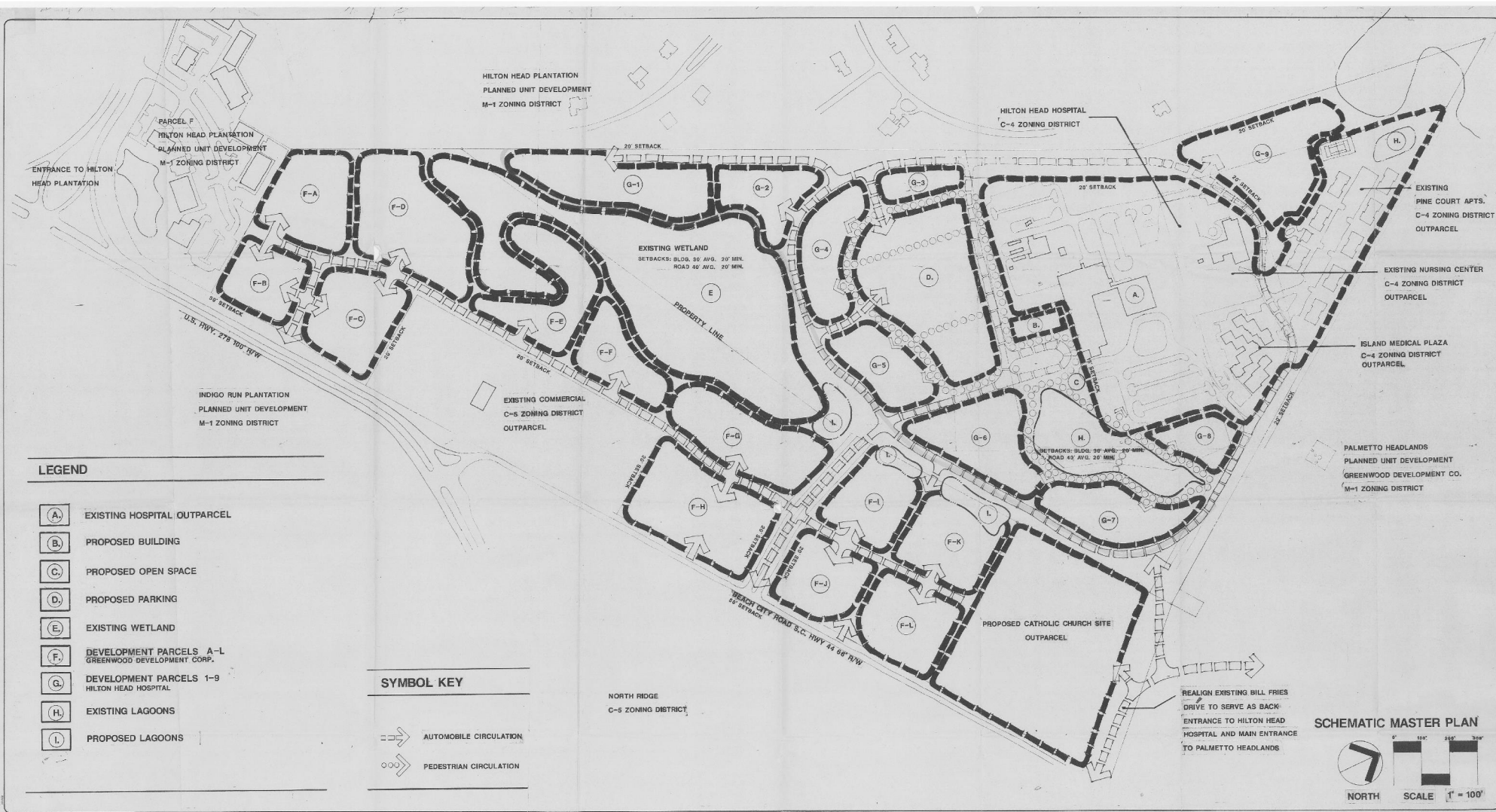
**HSD**  
 HUSSEY, GAY, BELL & DEYOUNG, INC.  
 CONSULTING ENGINEERS  
 SAVANNAH, GEORGIA

**WATER & SEWER  
 MASTER PLAN**

H.H. HOSPITAL PROPERTIES  
 and  
 PALMETTO HEADLANDS  
 COMMERCIAL TRACTS  
 for  
 GREENWOOD DEVELOPMENT CORP.  
 HOSPITAL BOARD of TRUSTEES

SCALE: 1" = 100'

NOV. 1988



- LEGEND**
- (A) EXISTING HOSPITAL OUTPARCEL
  - (B) PROPOSED BUILDING
  - (C) PROPOSED OPEN SPACE
  - (D) PROPOSED PARKING
  - (E) EXISTING WETLAND
  - (F) DEVELOPMENT PARCELS A-L GREENWOOD DEVELOPMENT CORP.
  - (G) DEVELOPMENT PARCELS 1-9 HILTON HEAD HOSPITAL
  - (H) EXISTING LAGOONS
  - (L) PROPOSED LAGOONS
- SYMBOL KEY**
- ==> AUTOMOBILE CIRCULATION
  - o-o-o-> PEDESTRIAN CIRCULATION

HILTON HEAD HOSPITAL MEDICAL COMPLEX SCHEMATIC MASTER PLAN HILTON HEAD ISLAND, S.C.  
 Edward Pinckney/Associates, Ltd.  
 Landscape Architects and Planners  
 1000 N. Orange Blossom Trail, Suite 200  
 Orlando, Florida 32809  
 Phone: 407-241-1111  
 Fax: 407-241-1112  
 Sheet Title: SCHEMATIC MASTER PLAN  
 Job Number: 80457  
 Date: 08/20/88  
 Drawn: Approved: Revisions:





NOTE:  
 TOTAL PARKING SPACES IN HOSPITAL SITE IS APPROX. 300.

DENSITY CALCULATIONS

Gross Square Feet	126,000
64 Beds	
Total Area	15.8 Acres
Density	8,608 Sq. Ft./Acre

IMPERVIOUS SURFACE CALCULATIONS

Total Area	= 15.8 Acres
Impervious Surface	= 5.2 Acres
Lagoon Area = 1.7 Acres x 0.75	= 1.3 Acres
Total Impervious	= 7.5 Acres
% of Impervious Surface on Site	= 47.6% (with wetlands subtracted)
Maximum Impervious Surface Allowed	= 65% of some other possibilities probably closer to 50%

OPEN SPACE CALCULATIONS

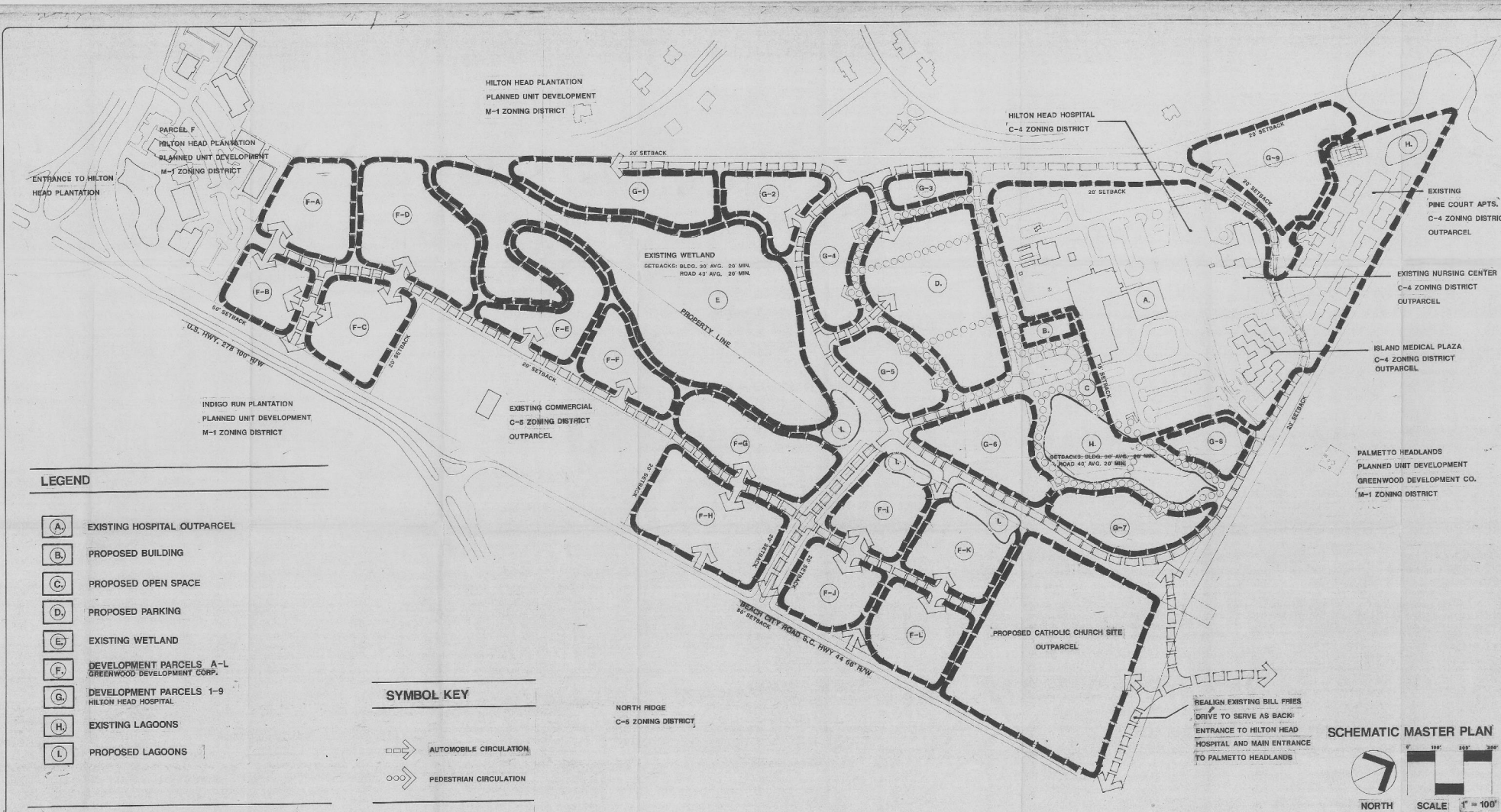
Total Area	= 15.8 Acres
Open Space	= 10.6 Acres
% of Open Space on Site	= 67%
Minimum Open Space Required	= 20%

PARKING CALCULATIONS

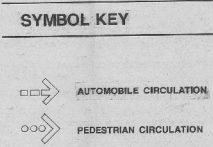
Total Number Parking Spaces	280
Total Open Spaces at Medical Pavilion	175
Total Number Required	400
2 Spaces/Bed (200 beds)*	

\* Based on letter from Tom Warrig dated January 11, 1995. Some parking is shown with the Hospital Pavilion above so any deficiency.

<b>HILTON HEAD HOSPITAL</b>	
HILTON HEAD ISLAND, SOUTH CAROLINA	
HUSSEY, GAY, BELL & DEYOUNG CONSULTING ENGINEERS SAVANNAH GEORGIA	
PROJECT NO. 1000000000	DRAWING NO. 1000000000
DATE: NOVEMBER, 1991	DWG. NO. 1000000000
SCALE: 1" = 100'	



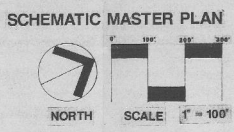
- LEGEND**
- A EXISTING HOSPITAL OUTPARCEL
  - B PROPOSED BUILDING
  - C PROPOSED OPEN SPACE
  - D PROPOSED PARKING
  - E EXISTING WETLAND
  - F DEVELOPMENT PARCELS A-L GREENWOOD DEVELOPMENT CORP.
  - G DEVELOPMENT PARCELS 1-9 HILTON HEAD HOSPITAL
  - H EXISTING LAGOONS
  - L PROPOSED LAGOONS

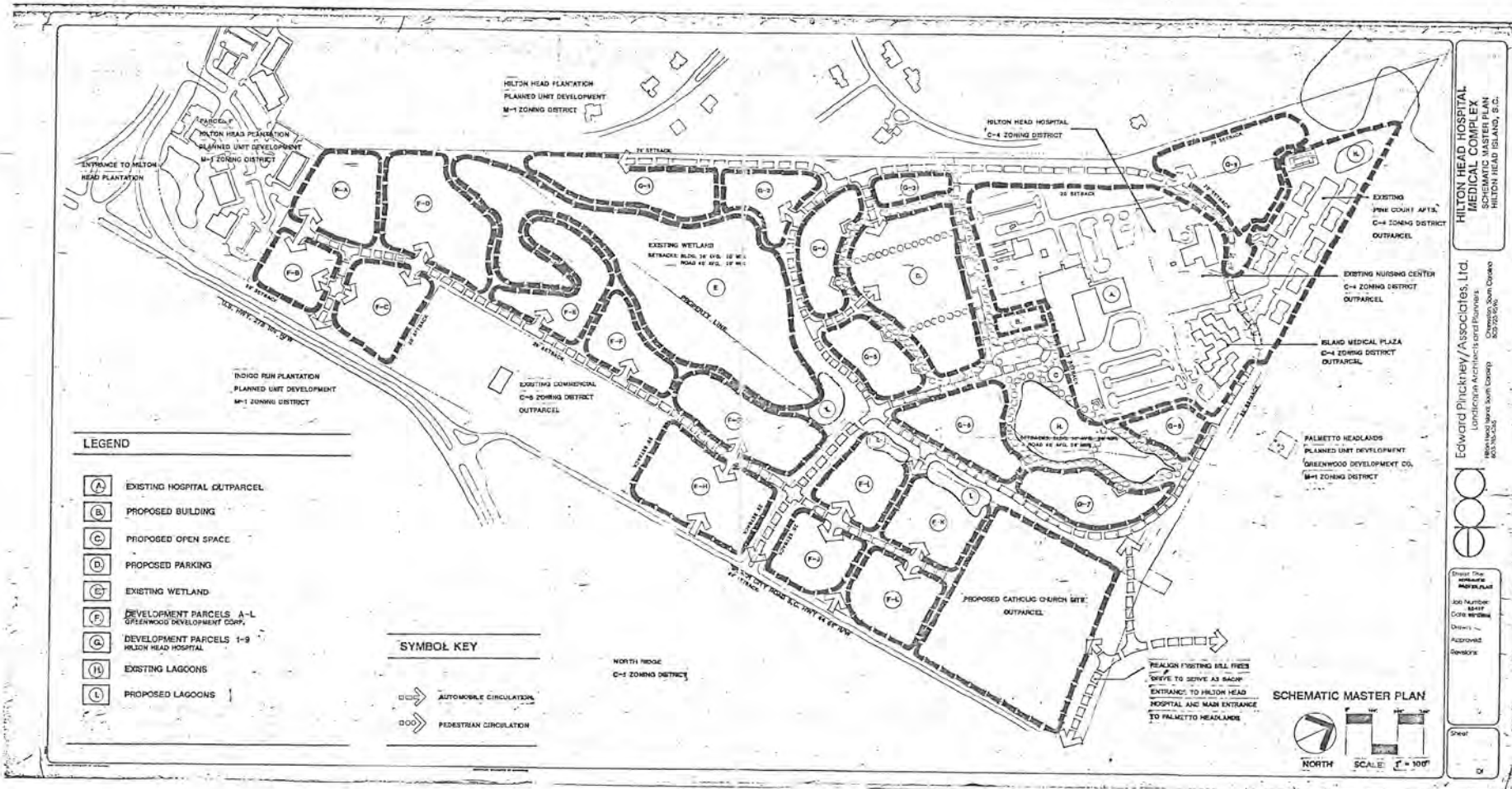


**HILTON HEAD HOSPITAL MEDICAL COMPLEX**  
 SCHEMATIC MASTER PLAN  
 HILTON HEAD ISLAND, S.C.

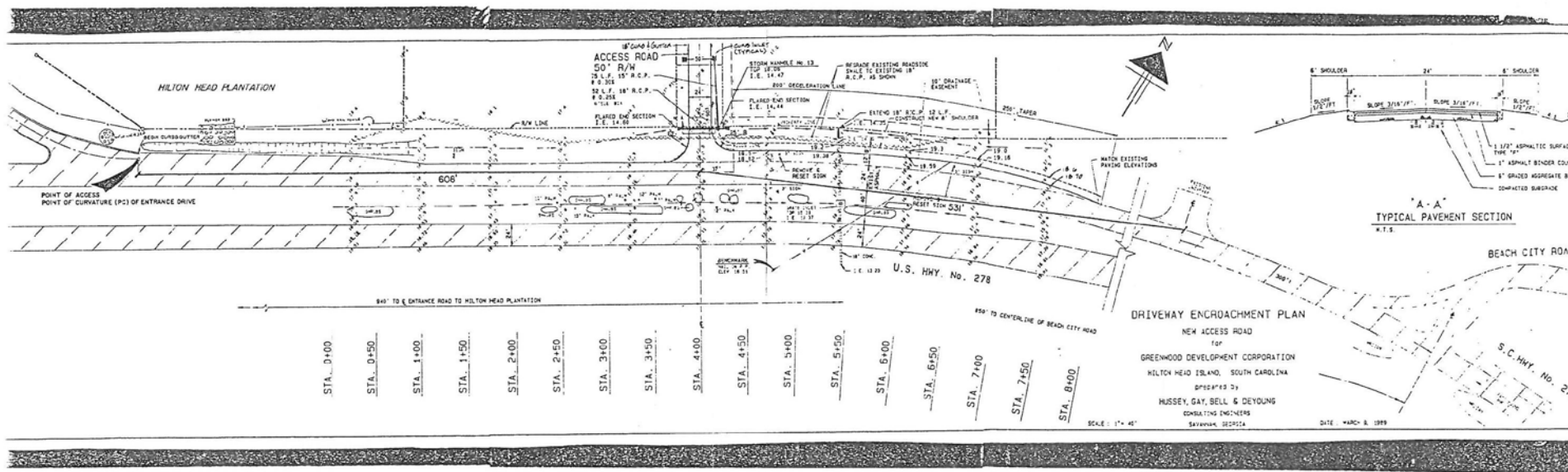
Edward Pinkney/Associates, Ltd.  
 Landscape Architects and Planners  
 Charleston, South Carolina  
 Hilton Head Island, South Carolina  
 803/293-7650

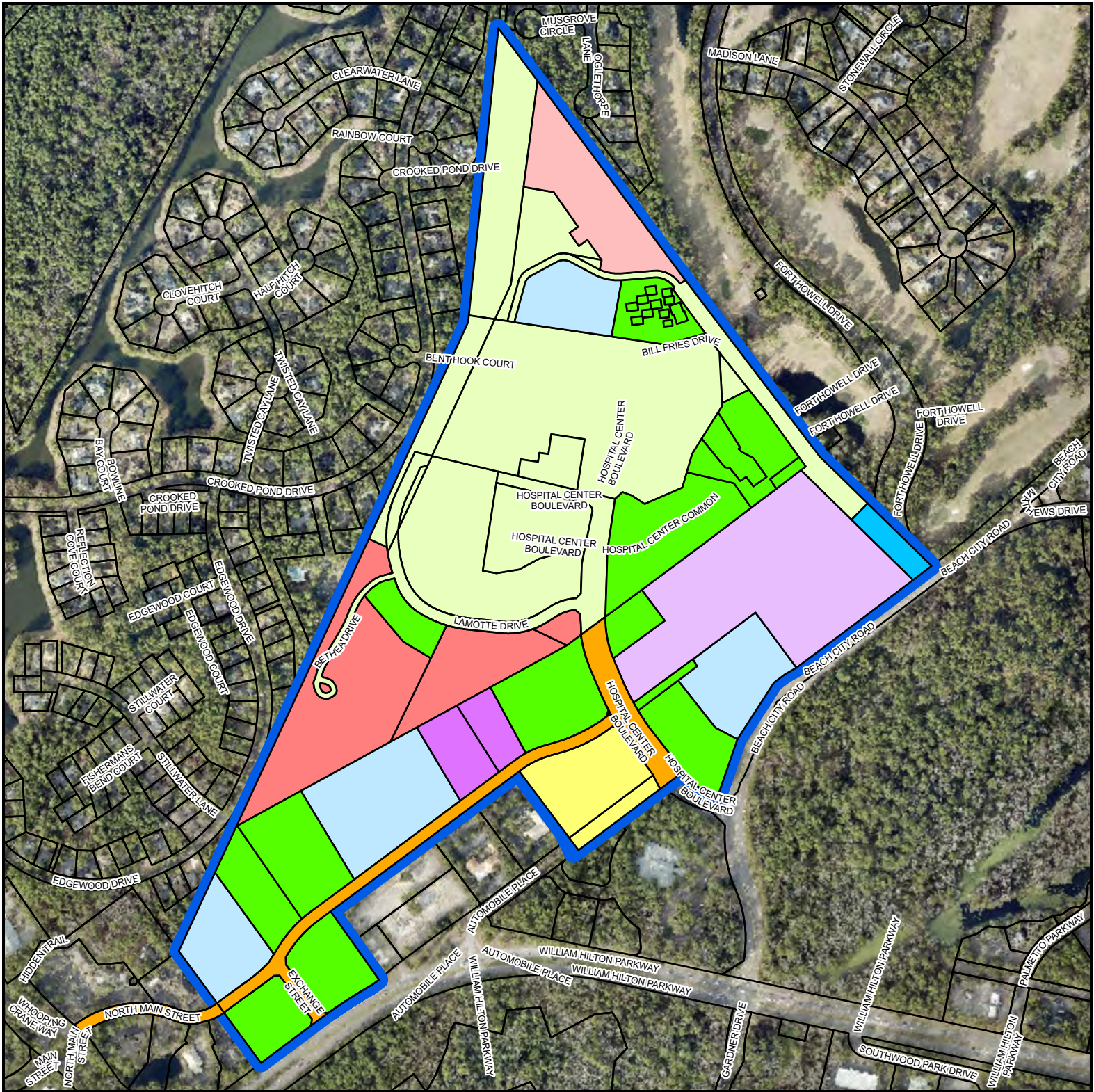
Sheet Title: SCHEMATIC MASTER PLAN  
 Job Number: 8847  
 Date: 06/07/88  
 Drawn: \_\_\_\_\_  
 Approved: \_\_\_\_\_  
 Revisions: \_\_\_\_\_  
 Sheet \_\_\_\_\_ of \_\_\_\_\_



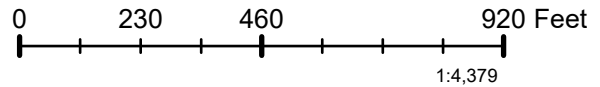


**HILTON HEAD HOSPITAL MEDICAL COMPLEX**  
 SCHEMATIC MASTER PLAN  
 HILTON HEAD ISLAND, S.C.  
 Edward Pinckney/Associates, Ltd.  
 ARCHITECTS AND PLANNERS  
 1001 W. PALMETTO AVENUE, SUITE 200  
 PALMETTO BEACH, SOUTH CAROLINA 29922-5626  
 803.782.0200  
 SHEET NUMBER: 02 OF 02  
 DATE: 08/15/2025  
 APPROVED: [Signature]  
 SHEET: 02





# Palmetto Headlands and Hilton Head Hospital PD-2 Master Plan - Current Use Map



- |   |  |
|---|--|
| <span style="display: inline-block; width: 15px; height: 10px; background-color: red; border: 1px solid black;"></span> Proposed Novant Multifamily Housing | <span style="display: inline-block; width: 15px; height: 10px; background-color: lightblue; border: 1px solid black;"></span> Nursing Homes  |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: lightcoral; border: 1px solid black;"></span> Multifamily                  | <span style="display: inline-block; width: 15px; height: 10px; background-color: limegreen; border: 1px solid black;"></span> Mix of Other Health Services/Office Uses/Commercial Services |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: yellow; border: 1px solid black;"></span> Workforce Housing                | <span style="display: inline-block; width: 15px; height: 10px; background-color: purple; border: 1px solid black;"></span> Vacant Medical District Parcels                                 |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: lightpurple; border: 1px solid black;"></span> Religious Institution       | <span style="display: inline-block; width: 15px; height: 10px; background-color: orange; border: 1px solid black;"></span> Town Owned Right of Way   |
| <span style="display: inline-block; width: 15px; height: 10px; background-color: lightgreen; border: 1px solid black;"></span> Hospital                     | <span style="display: inline-block; width: 15px; height: 10px; background-color: blue; border: 1px solid black;"></span> Palmetto Hall PUD Right of Way                                    |



**Note:** The Town of Hilton Head Island disclaims accountability for this product and makes no warranty express or implied concerning the accuracy thereof. Responsibility for interpretation and application of this product lies with the user. This map is not a legal document.



## TOWN OF HILTON HEAD ISLAND COMMUNITY DEVELOPMENT DEPARTMENT

One Town Center Court, Hilton Head Island, SC 29928

843-341-4757

FAX 843-842-8908

### STAFF REPORT PUBLIC PROJECT REVIEW

Case #	Project Name	Public Hearing Date
PPR-001035-2025	Pickleball Facility	November 19, 2025

Project Location	Applicant
30 Arrow Road Hilton Head Island, SC 29928  Parcel R550-014-000-0763-0000	Neil Eike Town of Hilton Head Island 1 Town Center Court Hilton Head Island, SC 29928

**Application Summary**  
Application for a Public Project Review (PPR) from the Town of Hilton Head Island proposing a new pickleball facility as part of the improvements to Crossings Park on a Town-owned parcel located at 30 Arrow Road.

**Staff Recommendation**  
Staff recommends the Planning Commission find this application to be **consistent with the Town's Comprehensive Plan (Our Plan)** for location, character, and extent based on those Findings of Fact and Conclusions of Law as determined by the LMO Official and enclosed herein.

**Background**  
Parks and Recreation is one of the Major Core Values under the Town's Our Plan. Under the Parks and Recreation Core Value, there are 8 Major Goals, one of them being to provide best-in-class recreation facilities and programs in the Island's public parks, and another being to promote multi-dimensional inclusion and access for all parks, facilities, and recreation programming.

**Description of Project**  
The Town of Hilton Head Island is proposing the development of a new pickleball facility on a Town-owned parcel located at 30 Arrow Road. Currently the property is an undeveloped wooded lot (see Attachment A - Location Map.) Development of this facility will contribute to the Town's Comprehensive Plan goal of providing best-in-class parks and recreation, as well as promoting inclusion, equity and access.  
  
This proposed portion of the Crossings Park development will expand and enhance recreational offerings for the community. A best-in-class public pickleball facility will be built south of Arrow

Road. The facility will include twenty tournament-sized courts, two of which will be fully accessible, addressing the growing demand for pickleball on the island. A new clubhouse building and parking lot will support the anticipated increase in visitors. Additional pedestrian connections along the south side of Arrow Road from Palmetto Bay Road to the site will improve connectivity to the broader park network. (See Attachment C- Location Map)

The proposed improvements will build upon the site’s existing character, enhancing its aesthetic quality to align with the design standards established in Hilton Head Island’s more recent parks. The result will be a park that is clearly identifiable as a Town of Hilton Head Island park, yet distinct in its own identity. The park will be maintained as a welcoming and safe community amenity for both residents and visitors.

**Location, Character, and Extent**

Per Land Management Ordinance Section 16-2-103.Q.4, Public Project Review Standards, in determining whether or not a proposed public project is compatible with the Comprehensive Plan, the Planning Commission shall consider whether the location, character, and extent of the proposed development is consistent with, or conflicts with, the plan’s goals and implementation strategies.

**Summary of Facts and Conclusions of Law**

**Findings of Fact:**

1. LMO Appendix D-24, Application Deadlines, requires applications before the Planning Commission to be submitted to the LMO Official 30 calendar days prior to the meeting. The applicant submitted the application for this project on October 20, 2025.
2. LMO Section 16-2-102.E.1, Hearing Scheduling, states that when an application is subject to a hearing, the LMO Official shall ensure that the hearing on the application is scheduled for a regularly scheduled meeting of the body conducting the hearing or a meeting specialty called for that purpose by such body. The LMO Official scheduled the public hearing on the application for the November 19<sup>th</sup>, 2025, Planning Commission meeting, which is a regularly scheduled meeting of the Commission.
3. LMO Section 16-2-102.E.2, Hearing Notice, requires the LMO Official to publish a notice of the public hearing in a newspaper of general circulation in the Town no less than 15 calendar days before the hearing date. Notice of the November 19<sup>th</sup>, 2025, public hearing was published in the Island Packet on November 2 , 2025, which is 17 calendar days before the hearing date.
4. LMO Section 16-2-102.E.2, Hearing Notice, requires the applicant to mail a notice of the public hearing by first-class mail to the owner(s) of the land directly contiguous to the proposed project no less than 15 calendar days before the hearing date. The applicant mailed notices of the November 19<sup>th</sup>, 2025, public hearing by first-class mail to such owner(s) of the land on October 30, 2025, which is 20 calendar days before the hearing date.

**Conclusions of Law:**

1. The application was submitted 30 calendar days prior to the meeting date, in compliance with LMO Appendix D-24.
2. The LMO Official scheduled the public hearing on the application for the November 19<sup>th</sup>, 2025, Planning Commission meeting, in compliance with LMO Section 16-2-102.E.1.
3. Notice of the public hearing was published 17 calendar days before the meeting date, in compliance with LMO Section 16-2-102.E.2.

4. The applicant mailed notices of the public hearing to owner(s) of land directly contiguous to the proposed project 20 calendar days before the hearing date, in compliance with LMO Section 16-2-102.E.2.

## Summary of Facts and Conclusions of Law

### Findings of Fact:

The adopted Comprehensive Plan addresses the location, character, and extent of this project in the Parks & Recreation and Infrastructure sections.

#### Parks & Recreation Master Plan Part 1

Goal 2. To provide best-in-class recreation facilities and programs in the Island's public parks.

- 2.1: Continue to provide high quality park furnishings and amenities.
- 2.2: Continue to provide a variety of activities and amenities to meet the needs of the community and contemporary trends.

#### Parks & Recreation Master Plan Part 1

Goal 5. To continue to improve and enhance the multi-use trail system on the Island.

- 5.1: Identify areas for improved access to public pathways and expansions of the current system that enhance user experiences in new ways.
- 5.2: Identify areas for pathway enhancements towards ensuring cyclist and pedestrian safety.

#### Park and Recreation System Recommendations (p. 4-32)

- While pickleball courts are provided in public and private facilities across the Island, there is not a pickleball specific complex that supports the competitive and social aspects of this rapidly growing sport.

#### Infrastructure - Core Value

##### Strategies & Tactics

- 5.1.2: Evaluate existing Town facilities and identify opportunities for redevelopment or new construction to provide best-in-class facilities across the Town government.
- 5.2: Ensure the Town continues to provide best-in-class services and facilities that meet or exceed the expectations of its residents and visitors.

### Conclusions of Law:

The Comprehensive Plan supports the **location** of the proposed project.

- The proposed project will add needed pickleball facilities to the Town's park network and will also include expansion of the Town's pathway network. All improvements will include ADA accessibility.

The Comprehensive Plan supports the **character** of the proposed project.

- The proposed project will provide high quality, accessible, recreational facilities, which is in compliance with the Parks & Recreation Master Plan goals.

The Comprehensive Plan supports the **extent** of the proposed project.

- The proposed project supports the Infrastructure Strategy and Tactics to evaluate existing

Town facilities and identify opportunities for redevelopment or new construction to provide best-in-class facilities that meet or exceed the expectations of its residents and visitors, which is in compliance with the Infrastructure Core Value.

- The project is consistent with the recommendations for a pickleball facility found in the Parks & Recreation Master Plan.

**LMO Official Determination**  
The LMO Official determines this application is **compatible with the Comprehensive Plan** for the location, character, and extent as based on the above Findings of Fact and Conclusions of Law.

**Planning Commission Determination and Motion**  
Per LMO Section 16-2-103.Q.4, Public Project Review Standards, the Planning Commission’s role is to determine whether the application is compatible or is not compatible with the Comprehensive Plan for location, character, and extent.

**PREPARED BY:**

SF  
\_\_\_\_\_  
Shea Farrar, Principal Planner and Board  
Coordinator

November 5, 2025  
\_\_\_\_\_  
DATE

**REVIEWED BY:**

SF  
\_\_\_\_\_  
Shea Farrar, Principal Planner and Board  
Coordinator

November 5, 2025  
\_\_\_\_\_  
DATE

TL  
\_\_\_\_\_  
Trey Lowe, Development Services Program  
Manager

November 5, 2025  
\_\_\_\_\_  
DATE

**ATTACHMENTS:**

- A) Location Map/Plans
- B) Narrative

# PARCEL MAP

**Property Information Viewer**

Select locate method (pick, address, parcel number, owner, street name or hydrant number)







Locate by picking parcel


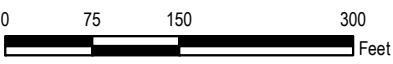
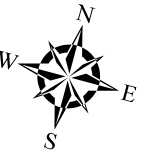
PIN	R350 014 000 0763 0000
LEGAL/DOOR	OFF PALMETTO RD PR21P110*SPLIT 11/84 0.23 AC 14/9180045 149 9055 P29 P070 P174 *6.59 AC DEDUCTED RD R/W/TOT AC INCL 9.6
OWNER	TOWN OF HILTON HEAD ISLAND
GIS ACRES	12.05771628
NEW_ZONE	PR
PLU_NAME	
PLU_ZONE	
PLU_LANDUSE	
NON-PLU_LANDUSE	PUBLIC AND CIVIC
COO (ROW ART)	Parcels within 450 ft of a Major or Minor Arterial Right-of-Way
COO (OR)	
COO (RD)	
COO (GORM BL)	
COO (GORM HD)	
COO (SRC)	
NAME	
NAME	

1:2257 -8991474, 3785812 Current map tool: Pick Parcel

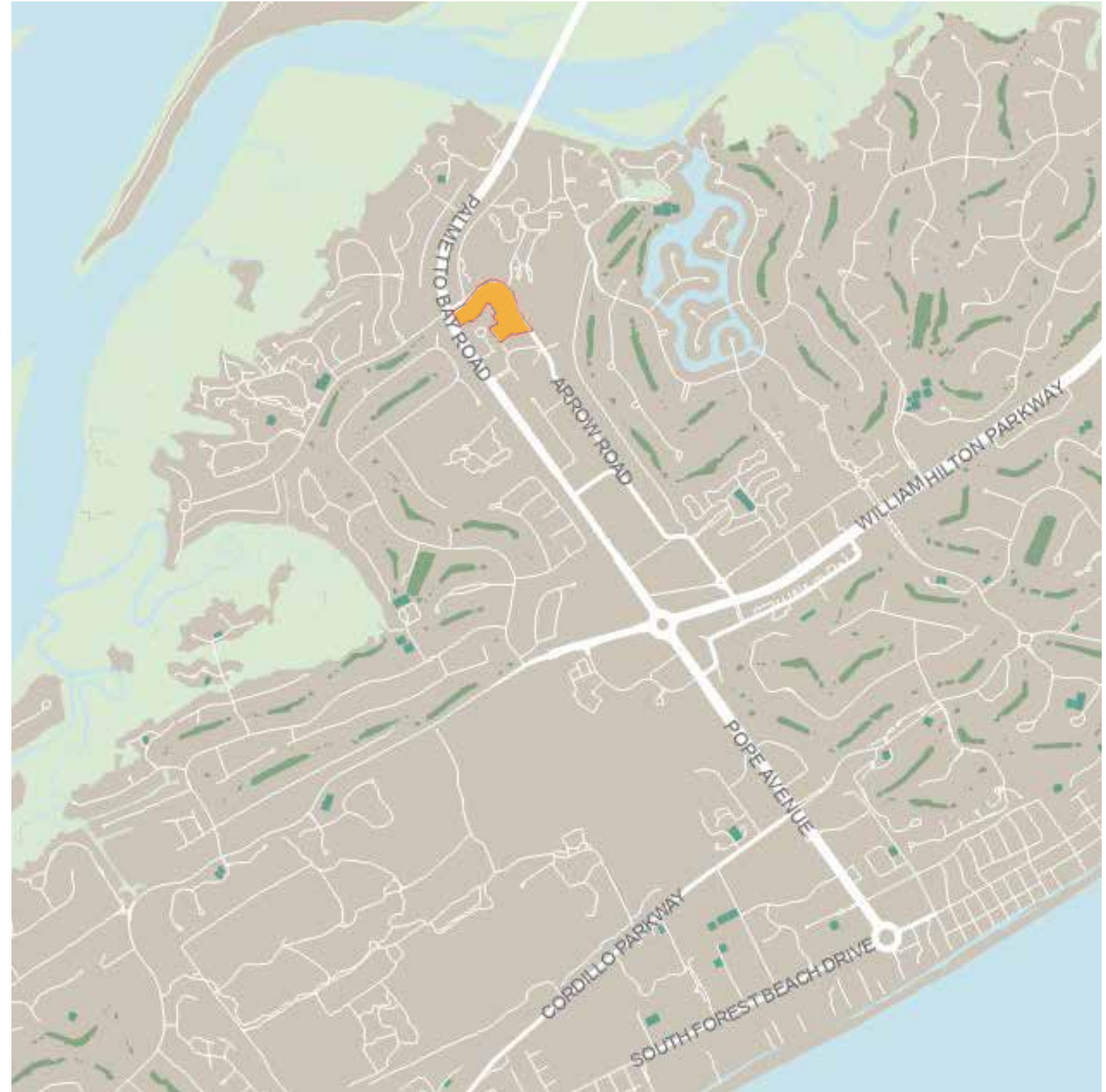
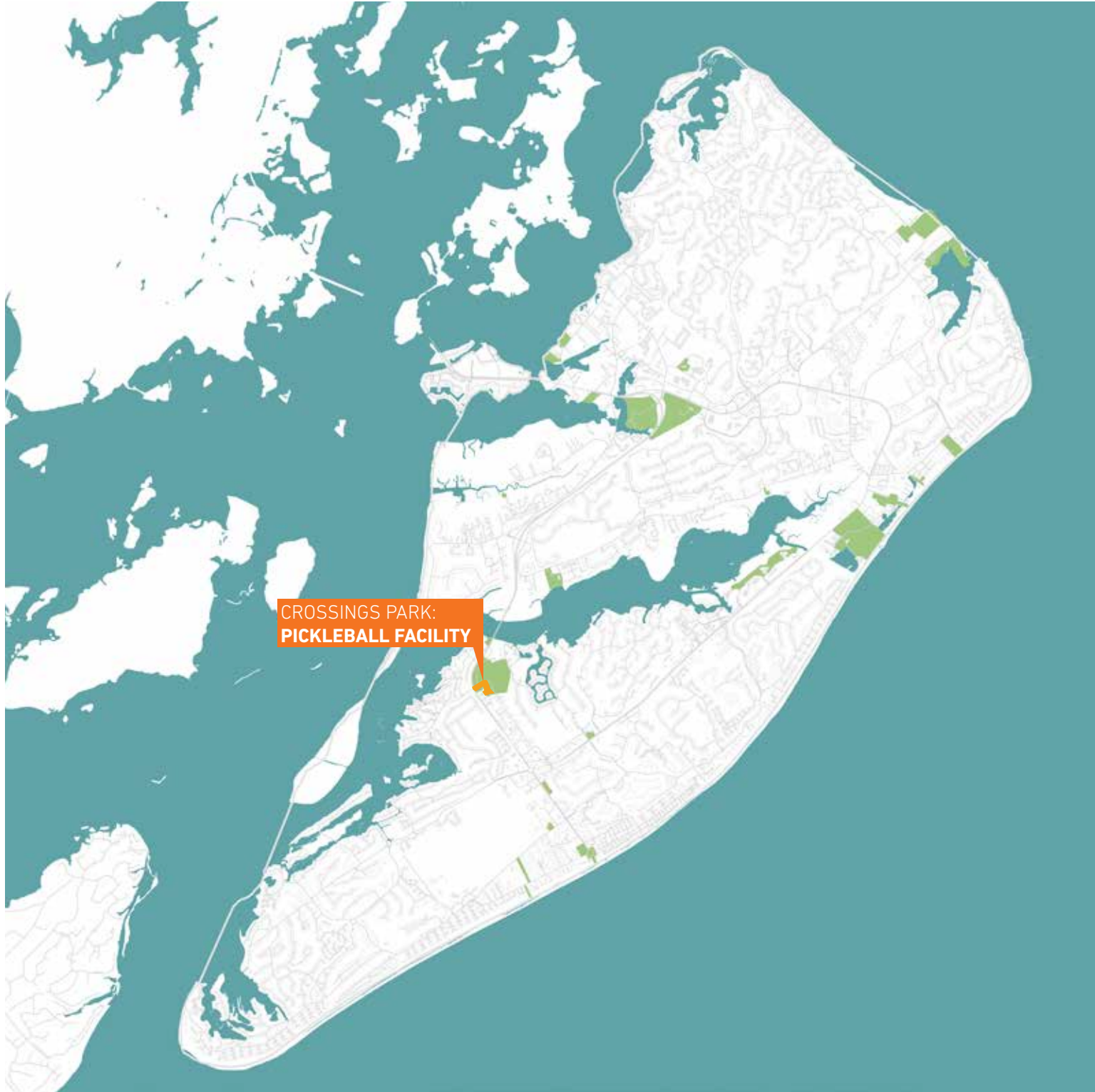
# WATER FEATURES MAP



-  Project Study Area (±5.62 AC)
-  Other Jurisdictional WOUS A (±48 LF)
-  Non-Jurisdictional Wetland A (±0.44 AC)
-  Non-Jurisdictional Feature A (±440 LF)
-  Wetland Data Point
-  Upland Data Point

 <p>235 Magrath Darby Boulevard, Suite 275 Mount Pleasant, SC 29464 Ph: (843) 556-2624 Fx: (843) 556-4329 www.JMT.com</p>	<p><b>Figure 8: Jurisdictional Features Map</b> Town of Hilton Head Island Crossings Park Wetland Delineation Beaufort County, South Carolina Source: ESRI, JMT Date: April 2025</p>	<p>1 inch = 150 feet</p> 	
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# VICINITY MAP



# LEGEND

- 1 LOUNGE & RESTROOMS BUILDING
- 2 20 PICKLEBALL COURTS
- 3 PARKING
- 4 STORMWATER FEATURE
- 5 PATHWAY IMPROVEMENT ALONG ARROW RD.



July 17, 2025

Crossings Park Ph 1 Pickleball Complex  
14 Arrow Road  
Hilton Head Island, South Carolina  
Parcel Number: R550-014-000-0763-0000

**RE: Major Development Plan Review – Project Narrative**

The Town of Hilton Head Island is proposing the redevelopment of a Town-owned parcel within Crossings Park. The proposed improvements will expand on the recreational offerings of the park, serving as an Island-wide and regional destination for pickleball. The property is zoned PR Parks and Recreation and is located within the Corridor Overlay District - OCRM High Tide Line and ROW Arterial.

This first phase of the proposed park development will be the pickleball complex on Arrow Road. As part of the improvement work, a public pathway extension is proposed along Arrow Road, providing pedestrian connections to the skatepark and Bristol Sports Arena. The parcels south of Arrow Road are currently undeveloped.

**Design:**

Building from The Town of Hilton Head Island Parks and Recreation Master Plan which reinforces the goals of having best-in-class parks, a best-in-class public pickleball facility will be built south of Arrow Road, establishing a new destination and activity hub. The facility will include twenty tournament-sized courts, two of which will be fully accessible, addressing the growing demand for pickleball on the island. A new pickleball clubhouse and parking lot will support the anticipated increase in visitors.

The aesthetic quality of the proposed improvements will build on the existing features of the site and elevate these features to meet the design quality established in some of the more recent Hilton Heads parks. The park will be identifiable as a Town Park while distinct in its character.

**Architecture:**

As part of the expanded recreational pickleball offering within the park, new structures will be provided. The proposed pickleball facility will include a 2,830-sf, 1-story clubhouse to support the scheduling and use of courts along with comfort facilities, changing rooms, and offices. This facility will have an FFE of EL. 11.0. There will be (5) shade structures in critical areas of gathering for spectators and players. Additionally, a maintenance building of approximately 200 square feet is planned for maintenance and storage.

The architectural character of these new buildings and shade structures will set a new standard for the park in this phase that other phases will follow, as well as refreshing the current structures. The materials palette and colors will be referential to the character of Hilton Head Island and the surrounding landscape.

**Sustainability:**

The project will support sustainable construction practices and will work to use regionally available materials, products, and services. Pervious pavers will be utilized in all proposed parking bays, matching the character of the pavers in existing parking bays.

Any increase in impervious areas will be addressed with stormwater features that resemble surrounding natural features and will blend in seamlessly with the surrounding preserved landscape of the park. The location and extent of these features will be determined in the final design.

An existing delineated isolated wetland at the proposed pickleball facility will be filled and mitigated as required by the U.S. Army Corps of Engineers, South Carolina Department of Health and Environmental Control, and Town LMO. Adjacent water features on the parcel will be left unimpacted by proposed improvements.

To enhance the park's natural areas, the removal of invasive plant species will allow native vegetation to re-establish in areas adjacent to the scope of this project. Invasive plant species will be mitigated within existing natural areas, allowing native plants to flourish. Additional opportunities for supplemental native planting will be evaluated to stabilize areas where invasive plant species have been removed.

**Landscape:**

The plantings associated with the proposed improvements will utilize native and regionally appropriate plants to blend in with the surrounding preserved natural areas and buffer the views from adjacent roadways to recreational facilities. Strategically, areas of the native landscape along the roadways will be carefully pruned to provide a visual connection between the roadways and public park space without conflicting with the buffer requirements outlined in the LMO. Buffer areas may include existing vegetation, which will be preserved and protected during construction.

Where not impacted by development, existing trees will be preserved and impacts limited to maintain a quality tree canopy. Where development is proposed, trees will be preserved as possible. Where disturbance is unavoidable, tree replacement and mitigation will be provided per Town LMO requirements of 1 caliper inch per 10 caliper inches removed. Existing trees will remain and be protected with tree protection zones per the Town LMO requirements.

Proposed parking lot plantings will include a diverse range of native and regionally appropriate trees, shrubs, grasses, and groundcovers, building on the requirements outlined in the Town LMO requirements of one overstory tree per 50 linear feet of median.

There are no protected species on this property.

**Setbacks and Buffers:**

The proposed development parcel for Phase 1 Pickleball Complex is bounded by Arrow Road (a Minor Arterial) to the east, RM-12 zoning (Moderate-to-High Density Residential) to the west, and LC (Light Commercial) zoning to the south.

In accordance with the Land Management Ordinance (LMO), a Type B buffer is required along both the Minor Arterial and the RM-12 residential boundary. This buffer is illustrated in the Landscape Buffer Plan. Existing trees within the designated buffer areas will be preserved where feasible to maintain natural screening and minimize disturbance. No buffer is required for the LC property to the south.

**Maintenance Responsibility:**

This parcel is Town-owned property, and the Town is responsible for all maintenance.

**R/W:**

Coordination with the Town and SCDOT will be required to obtain encroachment permits for new pathway alignments along Palmetto Bay Road, Helmsman Way, and Arrow Road, along with access permits for the new driveway at the pickleball facility on Arrow Road.

**Traffic:**

Proposed changes to the parcel are expected to have limited impact on the existing level of service for the adjacent roads, Helmsman Way, Arrow Road and Palmetto Bay Road and the Town's ability to provide adequate street facilities.

**Parking Calculations:**

Minimum parking allocations are established from the LMO Parking and Loading Standards and the National Parking Association or the American Planning Association for unlisted uses. Parking space dimensions will be provided per the requirements outlined in the Town LMO of 9' x 18' for standard parking spaces and 10' x 18' at the ends of parking bays. Parking bay ends will be abutted with a 15' landscape median, and parking bays will be separated by a landscape median.

Bicycle Parking will be provided in the development as required by the LMO requirement: 4 bike racks per 10 vehicular spaces (up to 20) and 2 bike racks per 10 vehicular spaces after:  
16 bike racks (to accommodate 32 parking spaces)



Town of Hilton Head Island  
**Planning Commission**  
**2026 Meeting Schedule**

All meetings will be held in Benjamin M. Racusin Council Chambers at Town Hall, One Town Center Court, unless otherwise posted. Changes to meeting dates, times and/or the location will be posted.

Meeting dates are Wednesdays. Application deadlines are Mondays, unless otherwise noted.

<b>PUBLIC MEETING DATES</b>	<b>MEETING TIMES</b>	<b>APPLICATION DEADLINES</b>
January 21, 2026	2:00 p.m.	December 22, 2025
February 18, 2026	2:00 p.m.	January 19, 2026
March 18, 2026	2:00 p.m.	February 16, 2026
April 15, 2026	2:00 p.m.	March 16, 2026
May 20, 2026	2:00 p.m.	April 20, 2026
June 17, 2026	2:00 p.m.	May 18, 2026
July 15, 2026	2:00 p.m.	June 15, 2026
August 19, 2026	2:00 p.m.	July 20, 2026
September 16, 2026	2:00 p.m.	August 17, 2026
October 21, 2026	2:00 p.m.	September 21, 2026
November 18, 2026	2:00 p.m.	October 19, 2026
December 16, 2026	2:00 p.m.	November 16, 2026

All applications for review by the Planning Commission must be received by the Community Development Information Center a minimum of thirty (30) days prior to the public meeting date. Please refer to Chapter 2 of the Town's Land Management Ordinance for additional information.